

A ResCode (Clause 54 of the Knox Planning Scheme) Assessment has not been undertaken on this application.
An assessment under Part 5 of the Building Regulations is required to be undertaken where applicable.

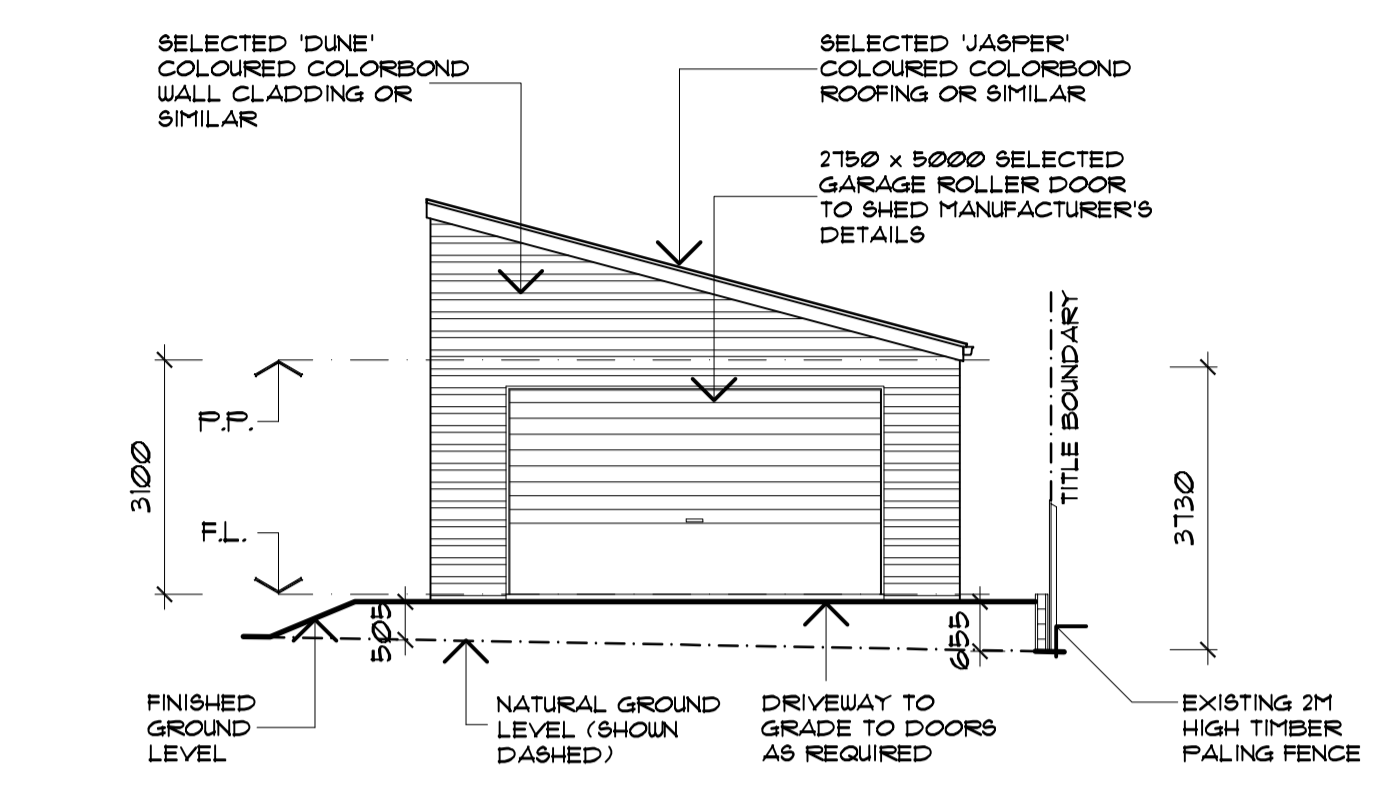
BUILDINGS AND WORKS NOT IN ACCORDANCE WITH THESE PLANS WILL NOT PASS FINAL INSPECTION

GENERAL NOTES

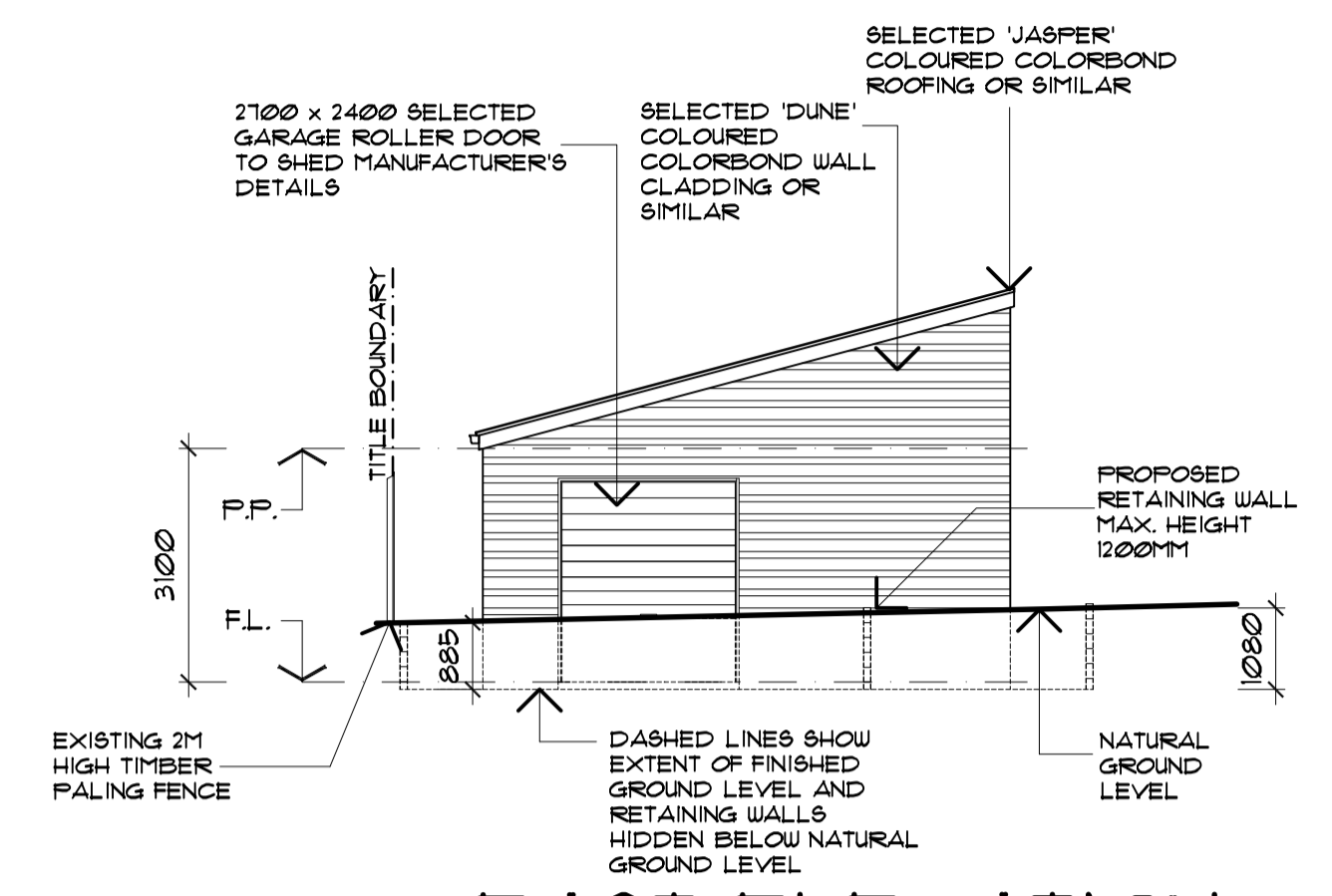
- DO NOT SCALE DRAWING, USE WRITTEN DIMENSIONS ONLY.
- SITE PLAN MEASUREMENTS IN METRES-ALL OTHER MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.
- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2019, NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOL. 1 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2.
- THE OWNER/BUILDER/SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE AS CODES (CURRENT EDITIONS) BUILDING REGULATIONS LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- ALL MATERIAL AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA WHERE AN ALTERNATIVE SOLUTION IS PROPOSED THEN PRIOR TO IMPLEMENTATION OR INSTALLATION IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BUILDING CODE OF AUSTRALIA.
- WHERE THE BUILDING (OTHER THAN A CLASS 10) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA, THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH AS 3660) - 2014.
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
 - ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
 - BATHROOMS - WITHIN 2000mm VERTICAL FROM THE BATH BASE
 - LAUNDRY - WITHIN 2000mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm HORIZONTAL FROM DOORS
 - DOORWAY - WITHIN 300mm HORIZONTAL FROM ALL DOORS
 - SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS
 - SAFETY GLAZING TO COMPLY WITH BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3 AND BCA VOL 1 PART B1.4 FOR CLASS 2 AND 9 BUILDINGS.
- ALL UET AREAS TO COMPLY WITH B.C.A. F11 OR AS 3140 - 2010. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 1500mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 1500mm OF THE WALL.
- PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.
- SUB - FLOOR VENTS TO PROVIDE A RATE OF 15000mm SQ CLEAR VENTILATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm SQ CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
- STAIR REQUIREMENTS - (OTHER THAN SPIRAL STAIRS):
 - RISERS (R) - 150mm MAXIMUM, 115mm MINIMUM
 - GOINGS (G) - 355mm MAXIMUM, 240mm MINIMUM
 - 2R + 1R = 1000mm MAXIMUM AND 500mm MINIMUM
 - RISERS + TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 12mm OR USED CLOSED RISERS.
- ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
- PROVIDE A CONTINUOUS BARRIER ALONG THE SIDE OF ANY STAIRWAY OR RAMP, AND WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND OR TREADS, BARRIER (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
 - 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND VERTICAL WITH LESS THAN 125mm GAP BETWEEN, AND
 - ANY HORIZONTAL ELEMENT WITHIN THE BARRIER BETWEEN 150mm AND 160mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGE IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.
 - WIRE BALUSTRADE CONSTRUCTION TO COMPLY WITH NCC 2016 BCA VOLUME 2 PART 3.8.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2016 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.
- TOP OF HAND RAILS TO BE 865mm MINIMUM ABOVE STAIR NOSING AND LANDINGS.
- CONCRETE STUMPS:
 - 100mm SQ UP TO 1400mm LONG (1 No. HD. WIRE)
 - 100mm SQ, 140mm TO 1800mm LONG (2 No. HD. WIRES)
 - 125mm SQ, 180mm TO 3000mm LONG (2 No. HD. WIRES)
- NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND LEVEL TO BE BRACED, WHERE NO PERIMETER BASE BRICKWORK IS PROVIDED.
- DOOR TO UIC. TO BE FITTED WITH LIFT OFF HINGES UNLESS CLEAR SPACE OF 1200mm BETWEEN DOOR & PAN.
- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND EXISTING WORKS, DURING ALL WORKS. ALL PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS 2601-2001.
- BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4113.1-2010 MASONRY IN SMALL BUILDINGS PART 1: DESIGN.
- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.
- THESE PLANS ARE NEITHER EXHAUSTIVE OR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS. AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.
- WHILST EVERY EFFORT HAS BEEN MADE AND CARE TAKEN IN THE PREPARATION OF THIS DOCUMENT/DRAWINGS, THE ACCURACY OR ITS CONTENT RELIES UPON INFORMATION SUPPLIED BY OTHERS, THEREFORE NO LIABILITY FOR ERRORS OR OMISSIONS WILL BE ACCEPTED BY THIS OFFICE.
- ALL INFORMATION THAT HAS BEEN SUPPLIED FOR THE PURPOSE OF 'RESCODE' IS THE EXISTING CONDITIONS THAT EXISTED AT THE TIME OF MEASURING UP/ COLLATING OF THE REQUIRED NEIGHBOURING INFORMATION. THIS OFFICE WILL NOT BE HELD RESPONSIBLE IF THE NEIGHBOURING INFORMATION HAS ALTERED SINCE.
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF DESIGN 20 EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO DESIGN 20.
- THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.

MATERIALS LEGEND

- 'JASPER' COLOUR SELECTED COLORBOND ROOFING OR SIMILAR
- 'DUNE' COLOUR SELECTED COLORBOND WALL CLADDING OR SIMILAR

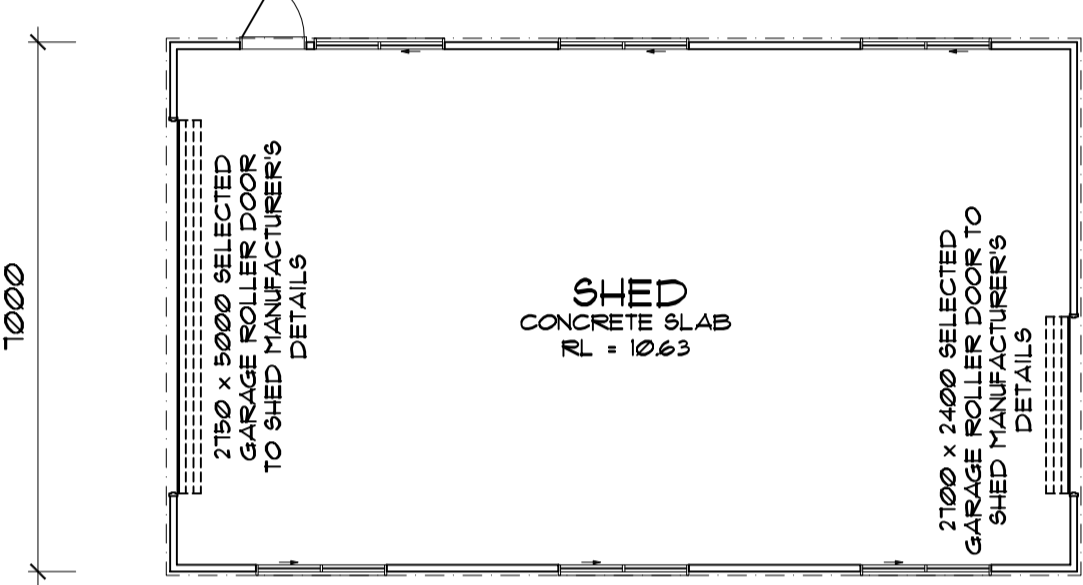


WEST ELEVATION
SCALE 1:100

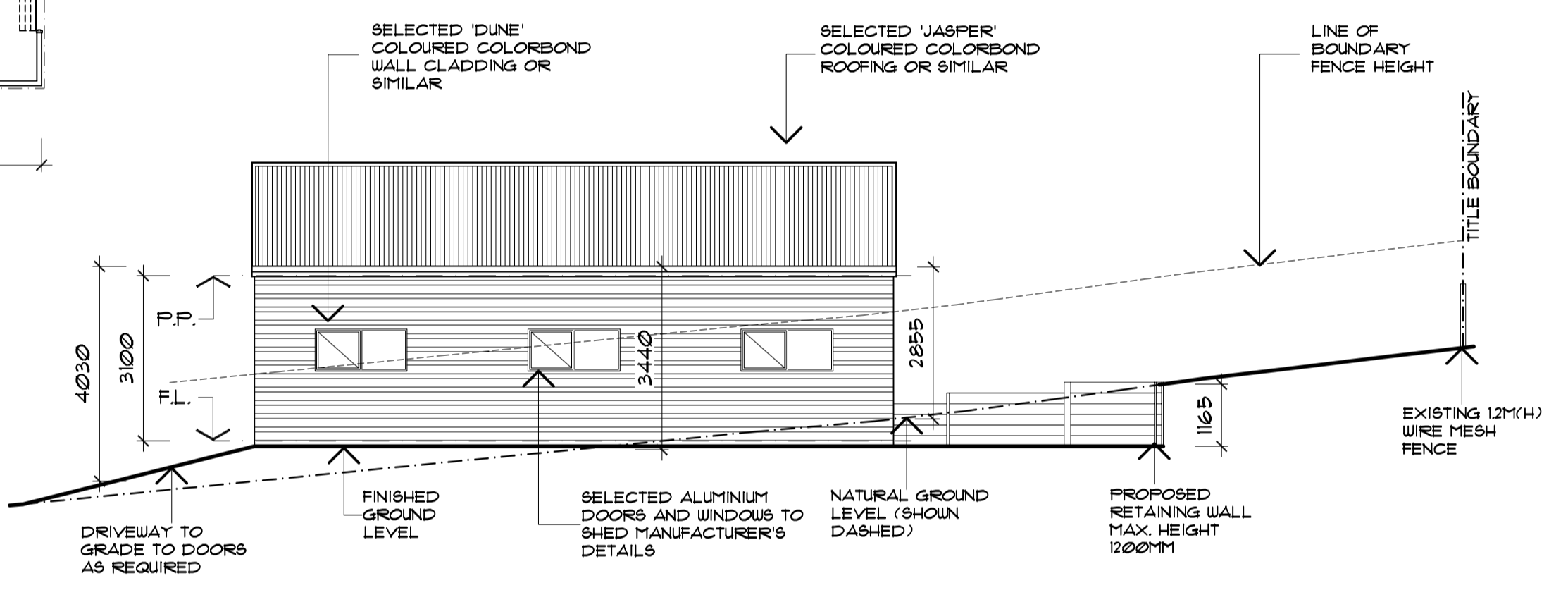


EAST ELEVATION
SCALE 1:100

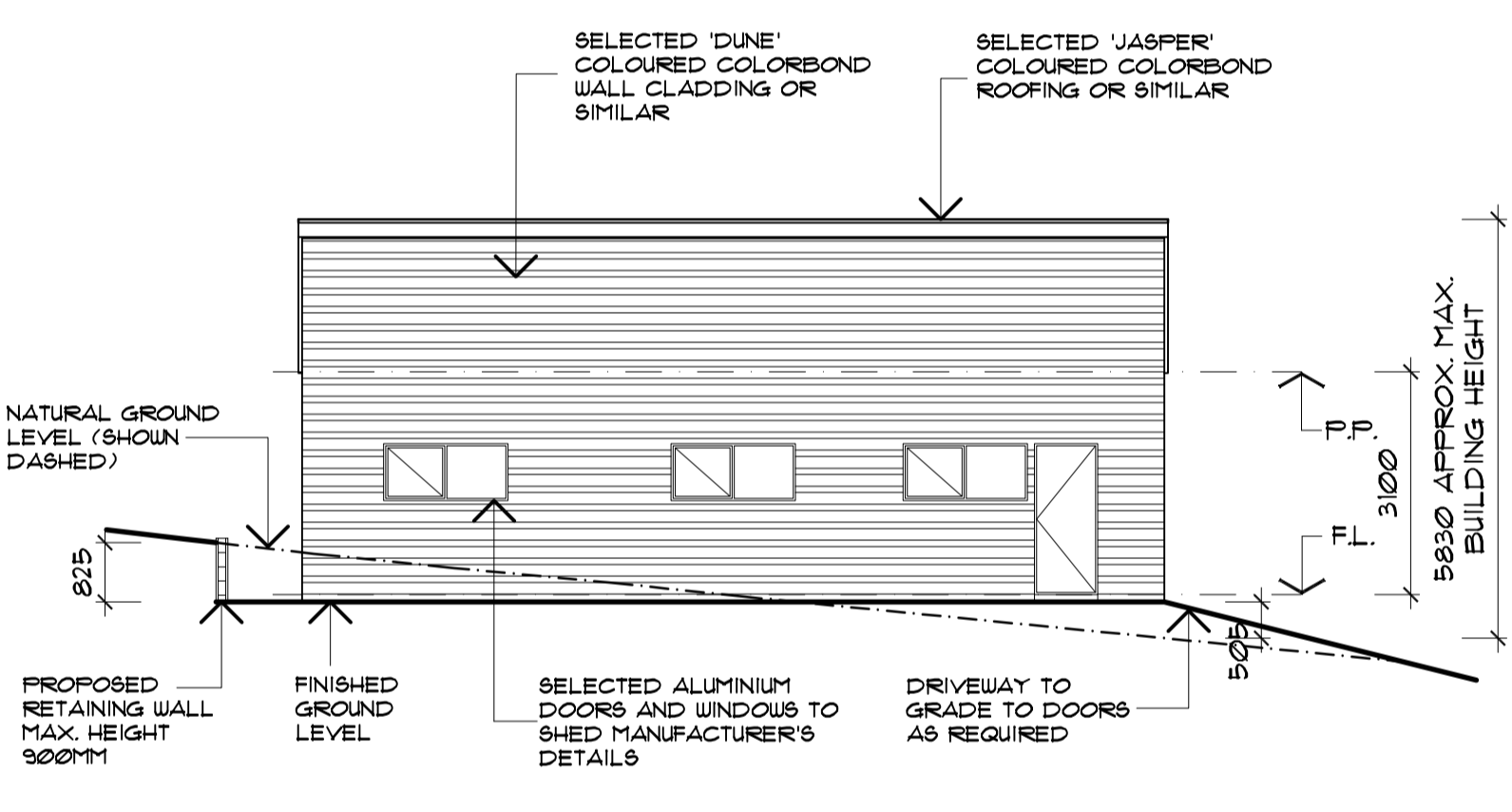
NOTE
SHED TO MANUFACTURER'S DESIGN.



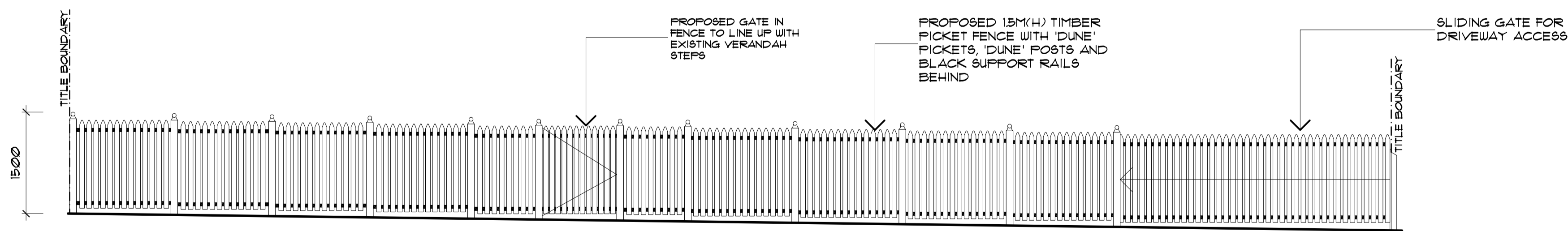
FLOORPLAN
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



FENCE STREETSCAPE ELEVATION
SCALE 1:50

DATE : AUG 18	DRAWN : J.C	
SHEET : 2 OF 2	ISSUE : N	
SCALE : 1 = 50, 1 = 100 @ A1		
DATE	ISSUE	REVISION
SEP/20	G	CLIENT CHANGES
JULY/21	H	CLIENT CHANGES
SEP/21	J	CLIENT CHANGES
SEP/21	K	CLIENT CHANGES
OCT/21	L	CLIENT CHANGES
NOV/21	M	ANSWERED F.I. LETTER
MAR/22	N	ANSWERED F.I. LETTER



Proposed Shed & Fence at 74 Forest Road Ferntree Gully 3156 for L. Apelgren

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CONSTRUCTION DRAWINGS