

**SITE PREPARATION NOTES**

ALL VEGETATION & CONCRETE PAVING TO BE REMOVED FROM AREA OF CONSTRUCTION. ANY FILLING UNDER PAVING SLABS TO BE FOR.. GRADE 2A MATERIAL OF 50mm (MAX) SIZE COMPACTED IN 200mm THICK (MAX) LAYERS TO GIVE 100% STANDARD COMPACTION. GRADE UNIFORMLY BETWEEN GIVEN LEVELS

**SITE PLAN NOTES**

ALL FRC, RCP, EW & SEWER QUALITY PVC PIPES UNDER TRAFFICABLE PAVING TO HAVE 450mm MIN. COVER. STORMWATER QUALITY PVC PIPES TO HAVE 600mm MIN COVER. ALL PIPES IN GARDEN AREAS TO HAVE 300mm COVER

**STORMWATER**

- ROOFING AS PER SPEC. FIX ROOFING IN ACCORDANCE WITH MANU. SPEC. AND INSULATION AS PER SPEC.
- PROVIDE ALL COLOURBOND FLASHINGS AS REQUIRED TO PROVIDE A WATERTIGHT INSTALLATION.
- CONNECT ALL NEW DOWNPIPES TO LEGAL POINT OF DISCHARGE AS DIRECTED BY COUNCIL.
- EAVE GUTTERS AS PER SPEC. MIN 1:100 FALL TOWARDS DOWNPIPES.
- ALL DOWNPIPES AS PER SPEC.
- ALL MECHANICAL AND OTHER SERVICES PENETRATIONS THROUGH ROOF SHALL BE FULLY FLASHED AND MADE WATERTIGHT

**TERMITE NOTE:**  
THE PREMISES SHALL BE TREATED FOR TERMITE PROTECTION USING A CHEMICAL BARRIER IN ACCORDANCE WITH AS 3660.1 - 1995. WHERE STIRRUPS SUPPORTING POSTS ARE USED, ENSURE THE STIRRUPS ARE EXPOSED A MINIMUM OF 75mm FROM THE GROUND LEVEL TO ALLOW FOR TERMITE INSPECTIONS.



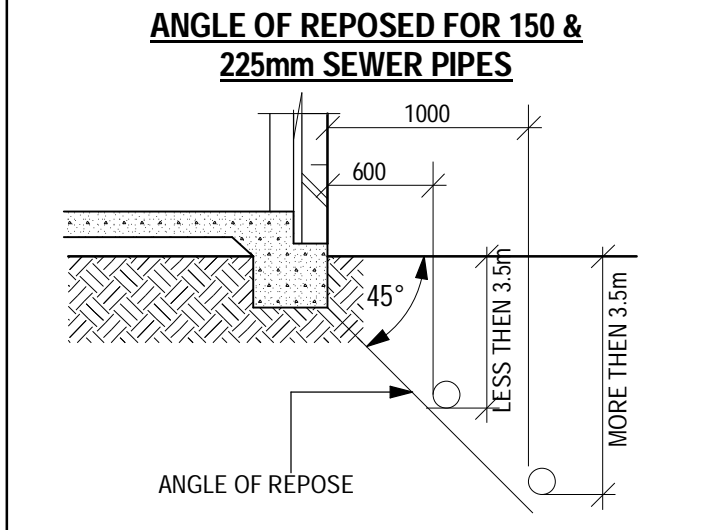
**DWELLING TO BE CONNECTED TO NBN NETWORK**

**CLASS A RECYCLED WATER CONNECTIONS TO DWELLING**

**DRIVEWAY TO BE FULLY CONSTRUCTED WITHIN 3 MONTHS OF THE ISSUE OF THE OCCUPANCY PERMIT**

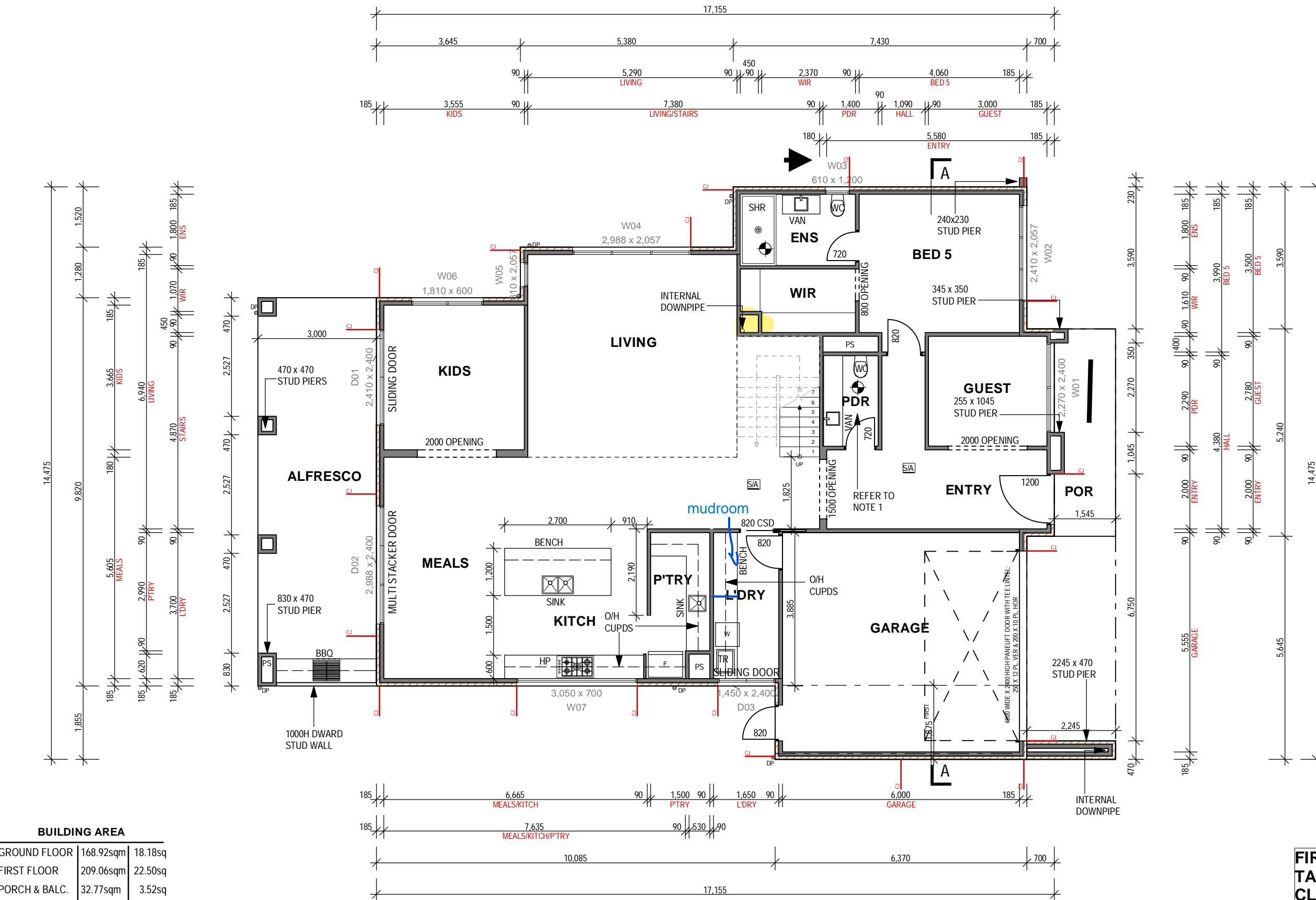
**FRONT LANDSCAPING IN ACCORDANCE WITH DESIGN GUIDELINES AND MUST BE COMPLETED WITHIN 90 DAYS OF THE ISSUE OF THE OCCUPANCY PERMIT**

<b>SITE AREA</b>	441.74 SqM
<b>SITE COVERAGE</b>	58.17%
<b>PERMEABLE AREA</b>	172.45 Sqm (34.07%)



- ENERGY RATING REQUIREMENTS for Unit 1:**
- 1-Install R 0.0 (Added Value) Insulation to Ceiling.
  - 2-Install R 0.0 (Added Value) Insulation to External Walls.
  - 3-Install R 0.0 (Added Value) Insulation to Internal Walls.
  - 4-Install R 0.0 (Added Value) Insulation to all Elevated Floor Area of the First Floor.
  - 5-Aluminium Improved windows and sliding doors to be used throughout except where Timber frame is specified.
  - 6-All windows and external glazed doors on the Ground and First Floor to be Double Glazed (U=0.00; SHGC=0.00).
  - 7-All gaps & cracks to be filled and sealed.
  - 8-All external doors & windows to be weather sealed.
  - 9-Exhaust fans shall be self closing to provide a seal to unwanted ventilation.
  - 10-Any chimneys or flues (if applicable) to be fitted with damper that can be closed to provide a seal to unwanted ventilation.
  - 11-Lighting plan and the installation of lightings should not compromise air leakage and insulation cover.
  - 12-Only Non Vented Downlights and Skylights are to be used if applicable & Downlights covers throughout.

<p><b>COMPOSITE DESIGN &amp; DRAFTING</b></p>	<p><b>STEVE COLAKIDIS</b></p> <p>4 MUSTER DRIVE, AINTREE, VIC 3336</p> <p>MOB: 0417331575</p> <p>EMAIL: <a href="mailto:compositedesigndrafting@gmail.com">compositedesigndrafting@gmail.com</a></p> <p><a href="http://www.composite-design.com.au">www.composite-design.com.au</a></p>	<p><b>REGISTERED</b> Building Practitioner</p> <p>REG No. DP-AD 34591</p> <p>ABN: 86 717 340 607</p>	<p><b>PROPOSED</b></p> <p>DOUBLE STOREY DWELLING</p> <p><b>CLIENT</b></p> <p>UNLIMITED HOMES</p>	<p>THESE DRAWINGS MUST NOT BE SCALED. FIGURED DIMENSIONS TAKE PRECEDENCE. IT IS THE BUILDERS AND ALL SUB-CONTRACTORS RESPONSIBILITY TO VERIFY ALL DIMENSIONS, LEVELS AND EXISTING CONDITIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS AND ORDERING OF MATERIALS. ANY DISCREPANCIES ARE TO BE REPORTED TO THIS OFFICE IMMEDIATELY.</p> <p>THESE DRAWINGS SHALL NOT BE ALTERED IN ANY FORM WITHOUT THE WRITTEN PERMISSION FROM COMPOSITE DESIGN AND DRAFTING. COPYRIGHT ON THESE DRAWINGS AND ASSOCIATED DOCUMENTATION IS OWNED BY COMPOSITE DESIGN AND DRAFTING.</p>	<p>LOT 1546 HYTHE PLACE</p> <p><b>LOCATION</b></p> <p>MICKLEHAM</p> <p><b>DRG NAME</b></p> <p>SITE PLAN &amp; SPECIFICATIONS</p>	<p>drawn S.C</p> <p>scale 1:100, 1:200,</p> <p>plotted 1:2</p> <p>27/02/2023</p> <p>original sheet size A3</p> <p>date 27/02/23</p>	<p>job no 21/037</p> <p>drg no <b>#2</b></p>
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- GENERAL NOTES:**
- S/A HARDWIRED INTERCONNECTED SMOKE DETECTORS TO BE LOCATED AT A MIN. 300mm FROM BULHEADS/WALLS AND 1500mm FROM HABITABLE ROOMS WITH BATTERY BACKUP AS PER NCC 3.7.2 & TO COMPLY WITH AS3786
  - 2340H INTERNAL DOORS THOUGHTOUT AND WINDOW HEAD HEIGHTS AT 2400
  - ALL STAIR TREAD SURFACES OR NOSING STRIP TO BE SLIP RESISTANT IN ACCORDANCE WITH N.C.C TABLE 3.9.1.1
  - DOORS TO WC, POWER ROOMS & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH N.C.C 3.8.3
  - ALL GLAZING TO COMPLY WITH AS 1288-2006 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES)
  - NOTE: ISOLATED PIERS SUPPORTING TILED ROOFS MUST HAVE A BUILT IN 32x0.8mm GALV. STEEL STRAP FIXED TO THE ROOF STRUCTURE AND LOOPED AROUND A 10mm DIAM GALV STEEL ROD BUILT INTO THE PIER NOT LESS THAN SIX COURSES BELOW THE TOP OF THE PIER
  - NOTE 1: PROVIDE TOILET WITH MISTRAL 6220 EXPRESS AIR FAN CONNECTED TO LIGHT SWITCH GIVING 6 AIR CHANGES PER HOUR TO BE DUCTED AND DISCHARGED TO OUTSIDE AIR

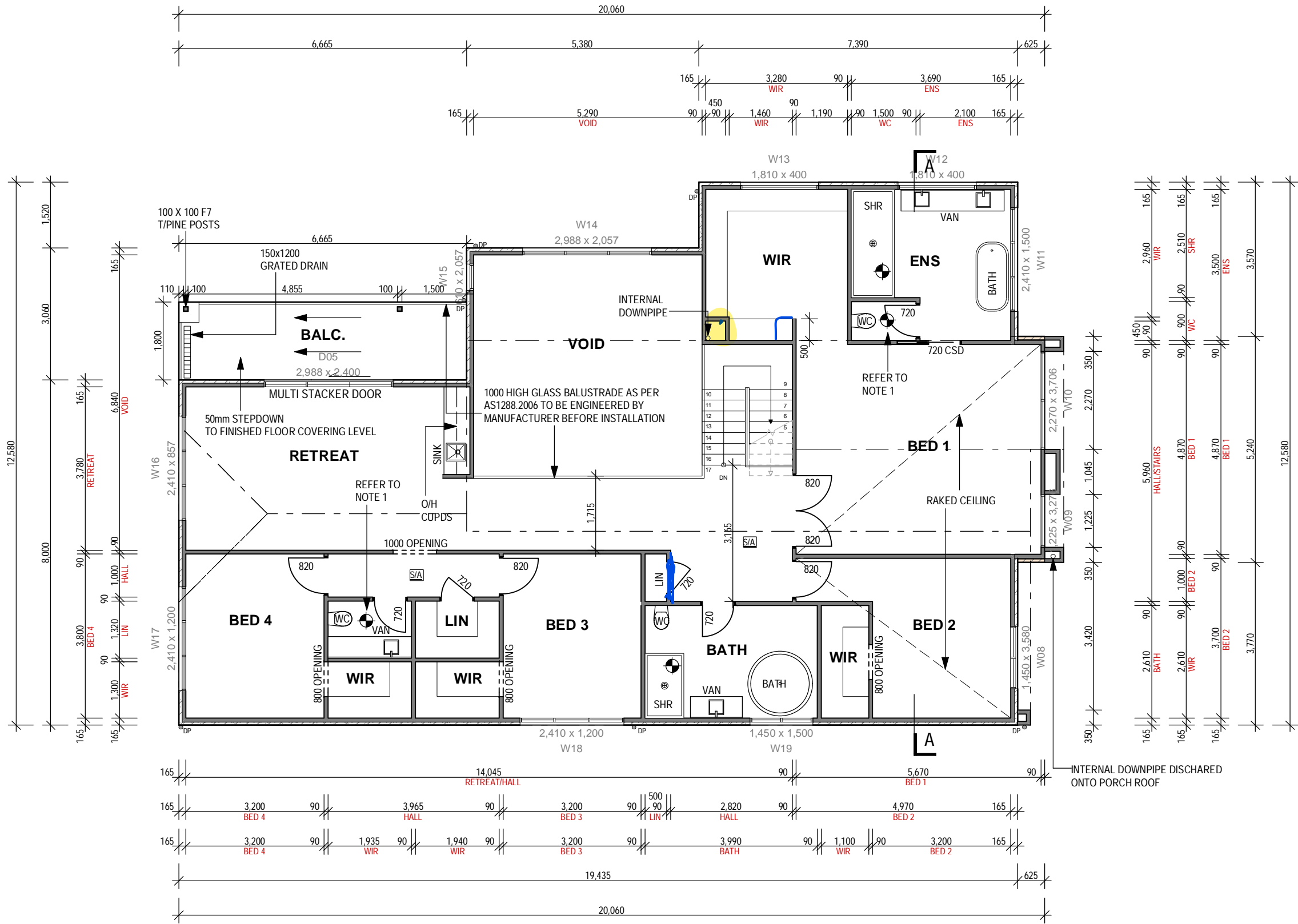
**BUILDING AREA**

GROUND FLOOR	168.92sqm	18.18sq
FIRST FLOOR	209.06sqm	22.50sq
PORCH & BALC.	32.77sqm	3.52sq
GARAGE	35.85sqm	3.85sq
ALFRESCO	29.46sqm	3.17sq
<b>TOTAL AREA</b>	<b>476.06sqm</b>	<b>51.24sq</b>

**FIRST FLOOR OFFSET DIMENSIONS TAKEN FROM EXTERNAL CLADDING, NOT STUD**

**EXTERNAL WALLS TO BE HEBEL CONSTRUCTION**

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	<p>REG No. DP-AD 34591</p> <p>ABN: 86 717 340 607</p>	<p><b>CLIENT</b></p> <p>UNLIMITED HOMES</p>				<p><b>DRG NAME</b> GROUND FLOOR PLAN</p>		



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**FIRST FLOOR WINDOWS TO HAVE A MAXIMUM OPENING OF 125mm**

**FIRST FLOOR CLADDING TO BE ULTRATEX GREY BOARD EIFS WALL CLADDING SYSTEM**



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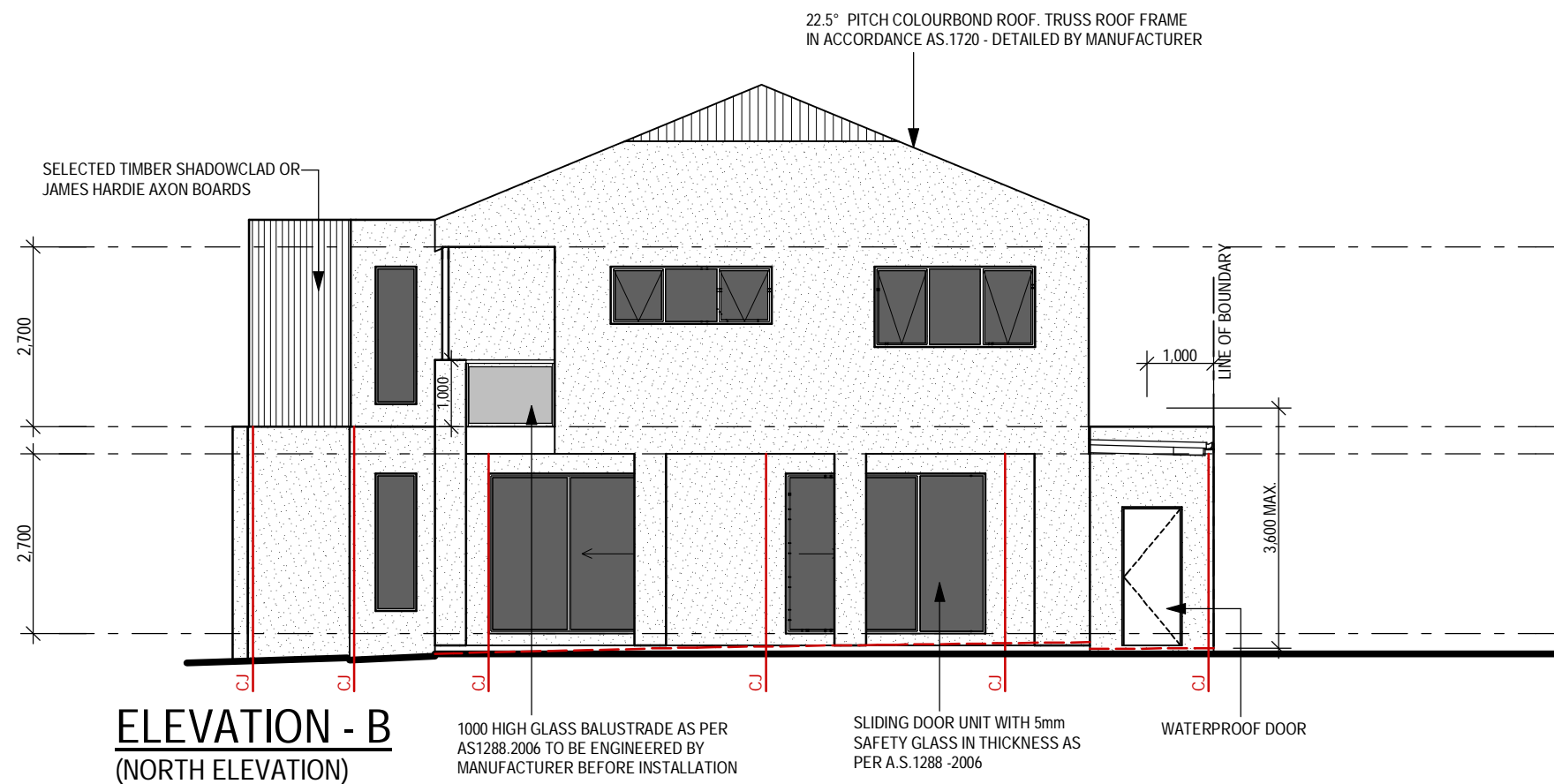
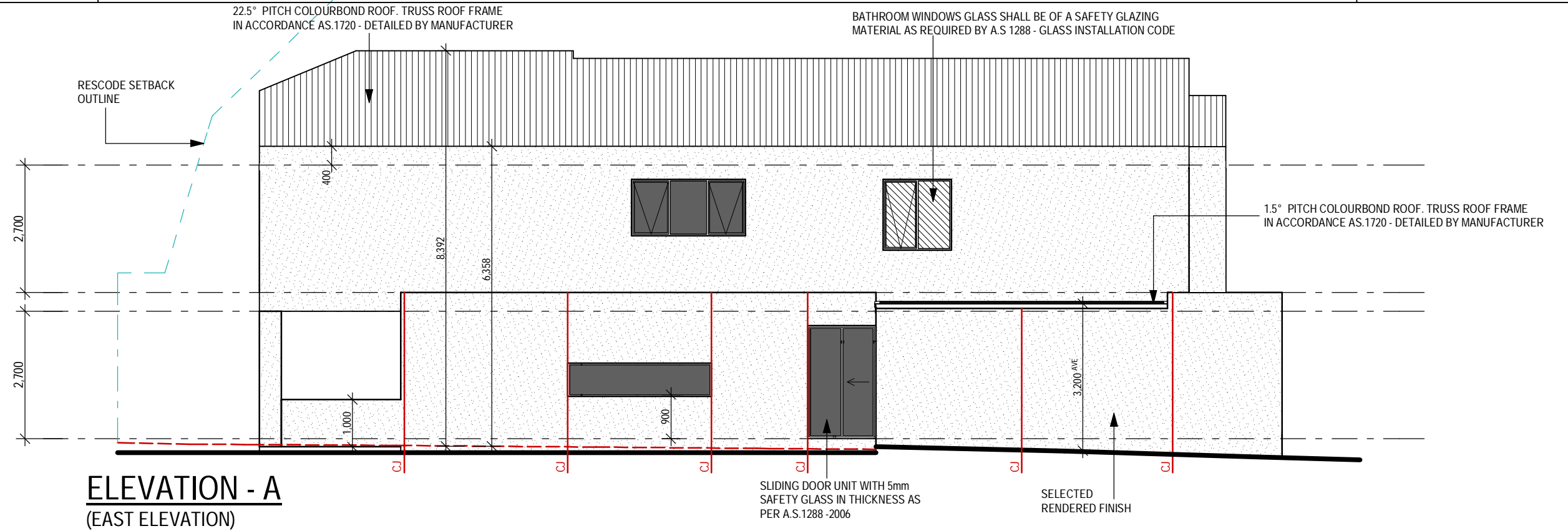
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**LOCATION**  
 MICKLEHAM  
**DRG NAME**  
 FIRST FLOOR PLAN  
 drawn S.C  
 scale 1:100  
 plotted 27/02/2023  
 original sheet size A3  
 date 27/02/23  
 job no 21/037  
 drg no #4

**THRESHOLD NOTE:**  
IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190mm ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS A LANDING SHALL BE PROVIDED NO LESS THAN WIDTH OF THE DOOR LEAF

NOTE: PROVIDE CONTINUOUS BITUMINOUS FLASHING IN MASONRY VENEER CONSTRUCTION, TURNED UP NOT LESS THAN 150mm AND FIXED TO THE FRAME WITH WEEPHOLES AT 1200 CTS ABOVE WINDOWS & DOORS NOT PROTECTED BY EAVES OR THE LIKE. NOTE WEEPHOLES NOT REQUIRED FOR HEAD OR SILL OPENINGS LESS THAN 1.0m WIDE  
-OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED AS FOLLOWS:  
a) ALL OPENINGS MUST BE ADEQUATELY FLASHED USING MATERIALS THAT COMPLY WITH AS/NZS 2904.  
b) FLASHINGS MUST BE SECURELY FIXED AT LEAST 25mm UNDER THE CLADDING AND EXTEND OVER THE ENDS AND EDGES OF THE FRAMING OF THE OPENING

**3** DENOTES MASONRY CONTROL JOINTS AT 6000 CRS MAX. PER RUN OF WALL UNLESS STATED OTHERWISE IN SOIL TEST AND TO COMPLY WITH NOTE CN9 OF CEMENT & CONCRETE ASSOCIATION

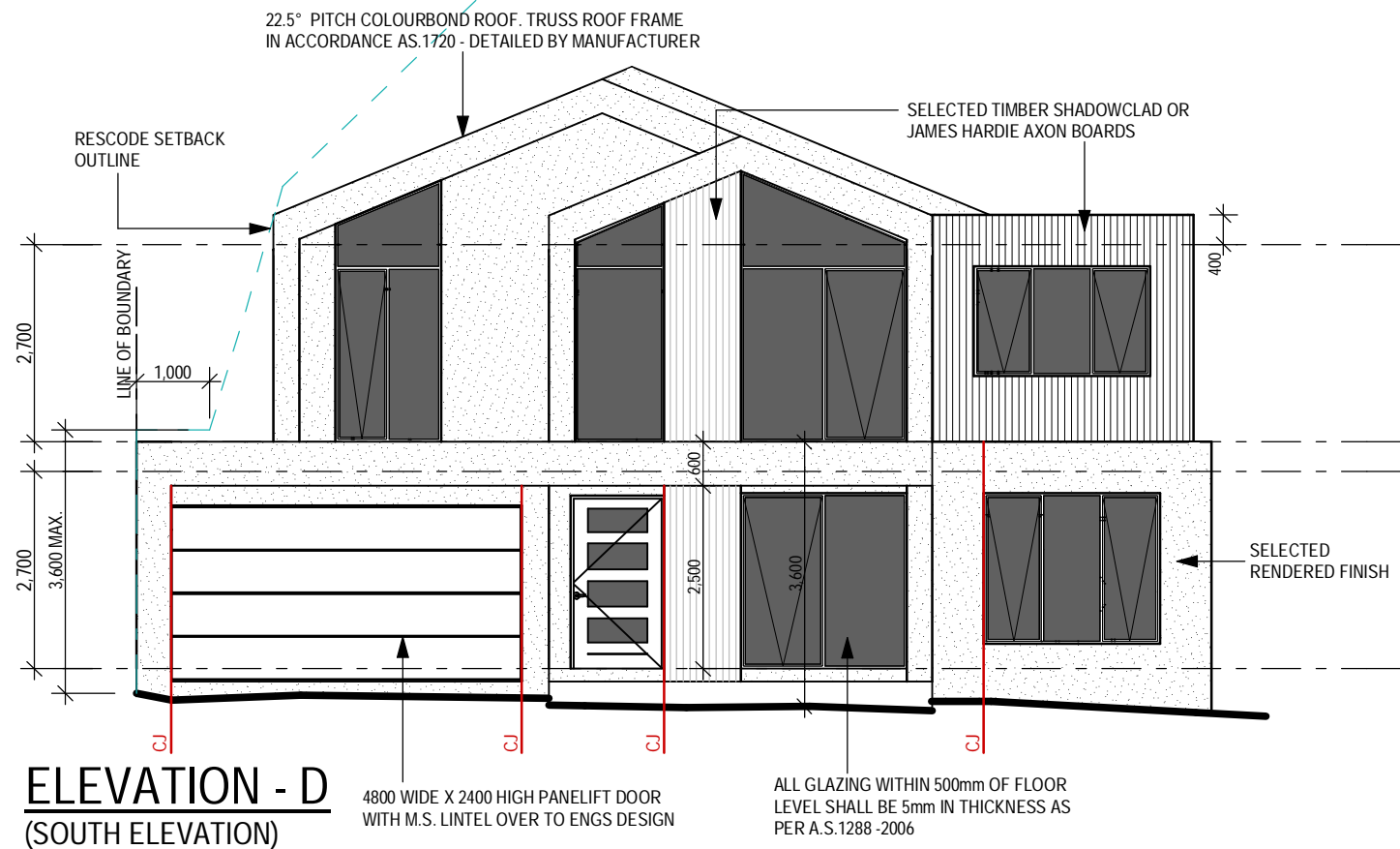
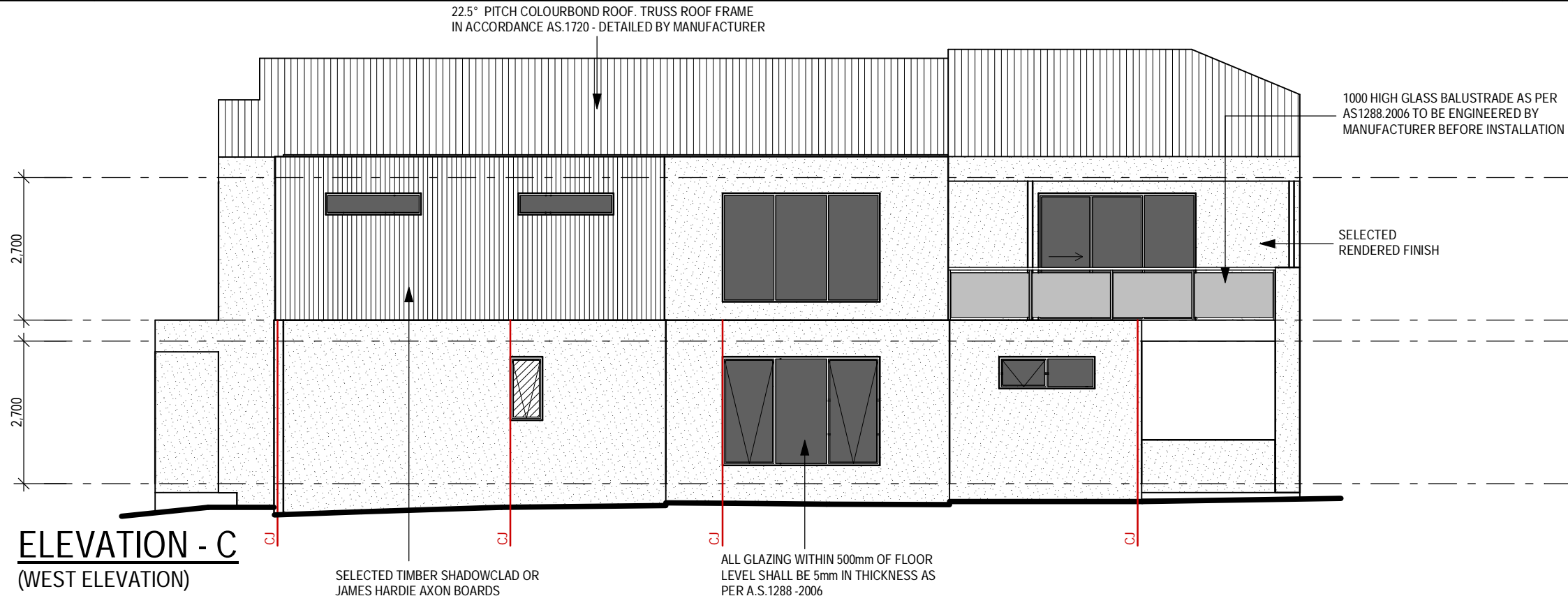


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**FRONT FACADE MATERIAL = 53.46sqm**  
**RENDERED SURFACE - 39.54sqm = 73.94%**  
**STAINED TIMBER LOOK - 6.44sqm = 12.04%**  
**PAINTED TIMBER SURFACE - 7.49sqm = 14.02%**



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**PROPOSED**  
DOUBLE STOREY DWELLING  
**CLIENT**  
UNLIMITED HOMES

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