

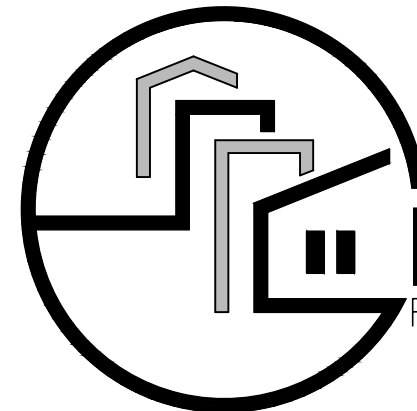
WORKING DRAWING
SUBMISSION
REVISION A

16066

PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH

Architectural Drawings

GNI - General Notes.
WD1 - Site Plan.
WD2 - Ground Floor Plan.
WD3 - Elevations.
WD4 - Sections.
WD5 - Proposed Electrical Plan.



Building
Design
Townplanning
Documentation

MODULARC
Residential Site Potential Specialists

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GENERAL NOTES:

DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY. THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
 A.S. 1288-2006 AND AS2041-1999 GLAZING.
 A.S. 1428 DESIGN FOR ACCESS AND MOBILITY
 A.S. 1562 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING, PART 1 METAL
 A.S. 1684 NATIONAL TIMBER FRAMING CODE
 A.S. 1860 INSTALLATION OF PARTICLEBOARD FLOORING
 A.S. 2049 ROOF TILES
 A.S. 2050 INSTALLATION OF ROOF TILES
 A.S. 2870 RESIDENTIAL SLABS AND FOOTINGS.
 -CONSTRUCTION
 A.S. 2904 DAMP-PROOF COURSES AND FLASHINGS
 A.S. 3600 CONCRETE STRUCTURES
 A.S. 3660.1 TERMITE MANAGEMENT-PART 1 NEW BUILDINGS
 A.S. 3700 MASONRY STRUCTURES
 A.S. 3740 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
 A.S. 3786 SMOKE ALARMS
 A.S. 4055 WIND LOADINGS FOR HOUSING
 A.S. 4100 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

SOIL CLASSIFICATION.
 THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT.
 FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT OR AS PER SECTION NOTES. IF SOIL REPORT PREPARED THEN SOIL REPORT TAKES PRECEDENCE OVER THESE DRAWINGS.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.
 THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHORS WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/ OR RELIANCE.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.
 NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

SUBFLOOR / DRAINAGE:

STORMWATER DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3-2003

THE GROUND BENEATH SUSPENDED FLOORS MUST BE GRADED SO THAT THE AREA BENEATH THE BUILDING IS ABOVE THE ADJACENT EXTERNAL FINISHED GROUND LEVEL AND SURFACE WATER IS PREVENTED FROM PONDING OR ENTERING UNDER THE BUILDING.

SURFACE WATER DRAINAGE:

THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE GRADED TO GIVE A SLOPE OF NOT LESS THAN:
 (1) 25mm OVER THE FIRST 10m FROM THE BUILDING OR
 (11) 50mm OVER THE FIRST 10m FROM THE BUILDING.

ALL NEW STORMWATER DOWNPIPES ARE TO BE A MINIMUM 75mm DIAMETER AND CONNECTED TO THE EXISTING STORMWATER DRAINAGE SYSTEM AND MUST BE SPACED AT ENTRIES NOT EXCEEDING 12.0metres

STORMWATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

SEWER OR SEPTIC TANK SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITIES REQUIREMENTS.

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD.

RAINWATER TANK TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS / SOLAR HOT WATER HEATER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS 2008 (DELETE WHICHEVER IS INAPPLICABLE)

CONSTRUCTION DETAILS:

SLAB ON GROUND - FINISHED SLAB HEIGHTS HEIGHT OF SLAB ON GROUND ABOVE EXTERNAL FINISHED SURFACES MUST BE NOT LESS THEN:
 1) 100mm ABOVE THE FINISHED GROUND LEVEL
 2) 50mm ABOVE IMPERMEABLE (PAVED OR CONCRETED AREAS) THAT SLOPES AWAY FROM THE BUILDING
 3) 150mm

GLAZING TO BE IN ACCORDANCE WITH AS1288-2006 AND AS2041-1999.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES:
 1) ALL ROOMS-GLAZING WITHIN 500mm VERTICAL OF THE FLOOR
 11) BATHROOMS- GRADE A SAFETY GLASS WITHIN 2000mm OF THE FLOOR AS REQUIRED BY THE NEW LAW AS 1288-2006
 111) LAUNDRY-GLAZING WITHIN 1200mm VERTICAL FROM THE FLOOR AND /OR WITHIN 300mm HORIZONTAL FROM ALL DOORS
 SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS

WINDOW SIZES ARE NOMINAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER WINDOWS TO BE FLASHED ALL AROUND.

FULL HEIGHT GLAZING THAT COULD BE MISTAKEN AS AN UNOBSTRUCTED OPENING TO BE MARKED WITH AN OPAQUE BAND NOT LESS THAN 20mm IN WIDTH AND LOCATED SO THAT THE UPPER EDGE IS NOT LESS THAN 70mm ABOVE THE FLOOR AND THE LOWER EDGE IS NOT MORE THAN 12m ABOVE THE FLOOR.

FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEELWORK, BRICK CAVITY TIES, AND STEEL LINTELS ETC. THAT ARE EMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 1650 OR A.S. 3700-1988 TABLE 2.2, HOT DIPPED GALV, 5/LESS STEEL OR CADMIUM COATED.

ALL WET AREAS TO COMPLY WITH B.C.A. F11 OR A.S. 3740-NEW EDITION 2004. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75mm OF THE WALL.

WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE GROUND USE MUST COMPLY WITH AS4654 PARTS 1 & 2-2012

PROVIDE ARTICULATION JOINTS EVERY 6 METRES OR WHERE OPENINGS MORE THAN 300x900mm OCCUR, AT NO MORE THAN 5 METRES

PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 600mm CNTRS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.

Ⓢ DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786-1993 AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.

EXHAUST FANS ARE TO DISCHARGE AIR DIRECTLY TO OUTSIDE AIR AT A RATE OF AT LEAST 25 L/S

THERMAL INSULATION TO COMPLY WITH ENERGY REPORT AS REQUIRED

DESIGN AND INSTALLATION OF SHEET METAL ROOFING IN ACCORDANCE WITH AS 1562.1



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GENERAL NOTES

1. contractor to verify & confirm all dimensions and base work on site before commencing any work.
2. written dimensions to be taken in preference to scaled.
3. any alterations or changes to be submitted to designer for verification before commencing
4. all designers drawings to be read in conjunction together with consultants drawings.
5. all anomalies to be referred to designer for clarification before putting work in hand.

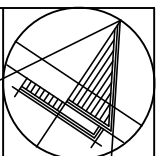
Revision	Date	Amendment
A	SEP. 17	ISSUED TO CLIENT

Client
MATT TAYLOR

Project
PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH

Title
GENERAL NOTES

north



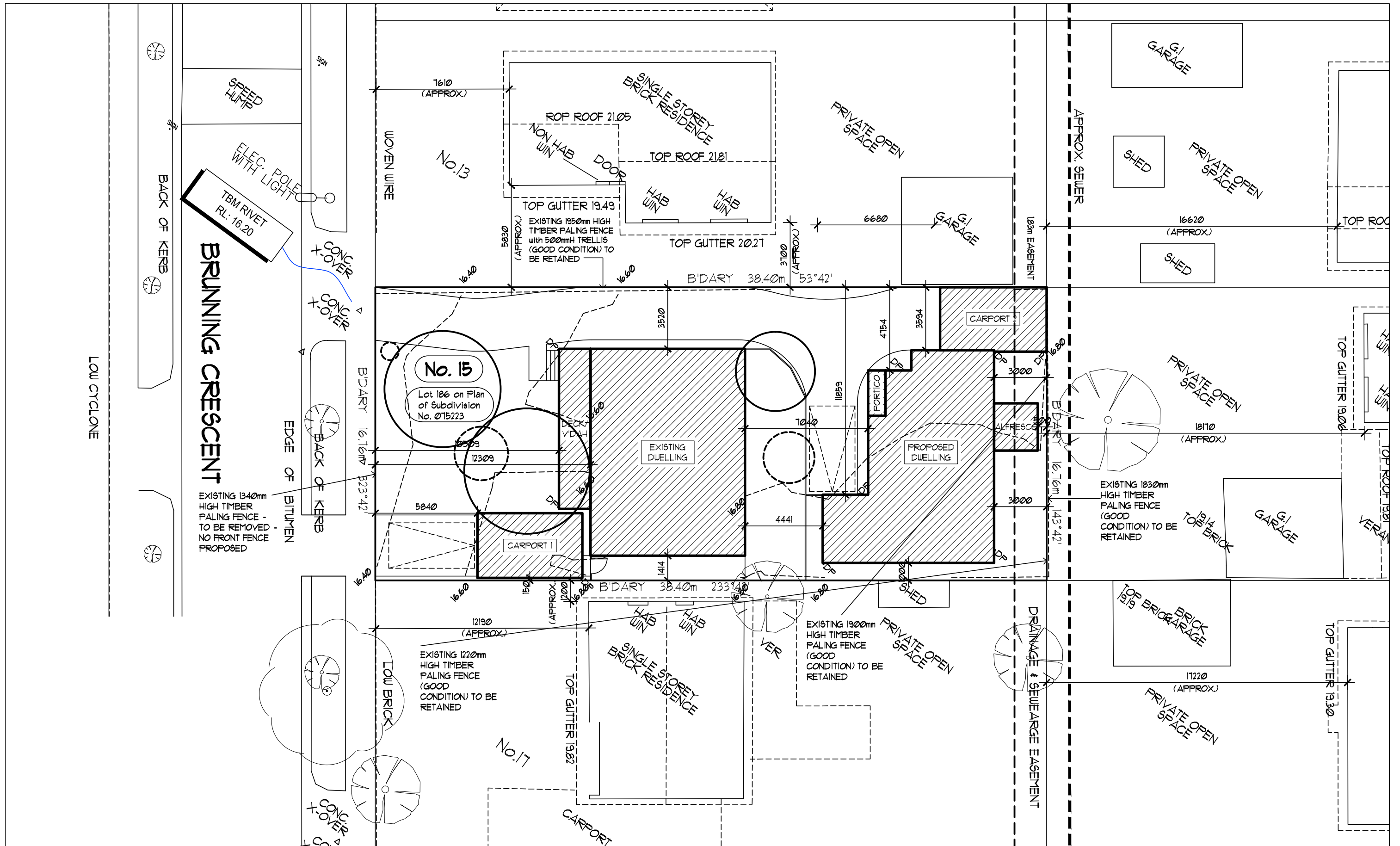
Figured Dimensions to be used in all cases.

Date: SEP. 17.	Scale:
Drawn: M.D.W.-AMB	Checked:

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CAD File Ref: 16066
Drg Series: WORKING DRAWINGS

Drg Number	Revision
GN1	A

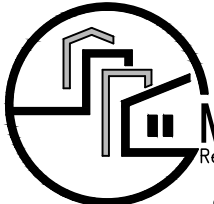


Revision	Amendment	Date	Client
A	ISSUED TO CLIENT	SEP. 17	MATT TAYLOR

Client
MATT TAYLOR

Project
PROPOSED 1 NEW SINGLE STOREY
BEHIND RETAINED SINGLE STOREY AT
15 BRUNNING CRES, FRANKSTON NTH

Title
SITE PLAN

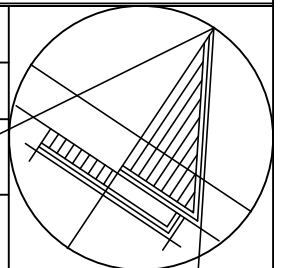


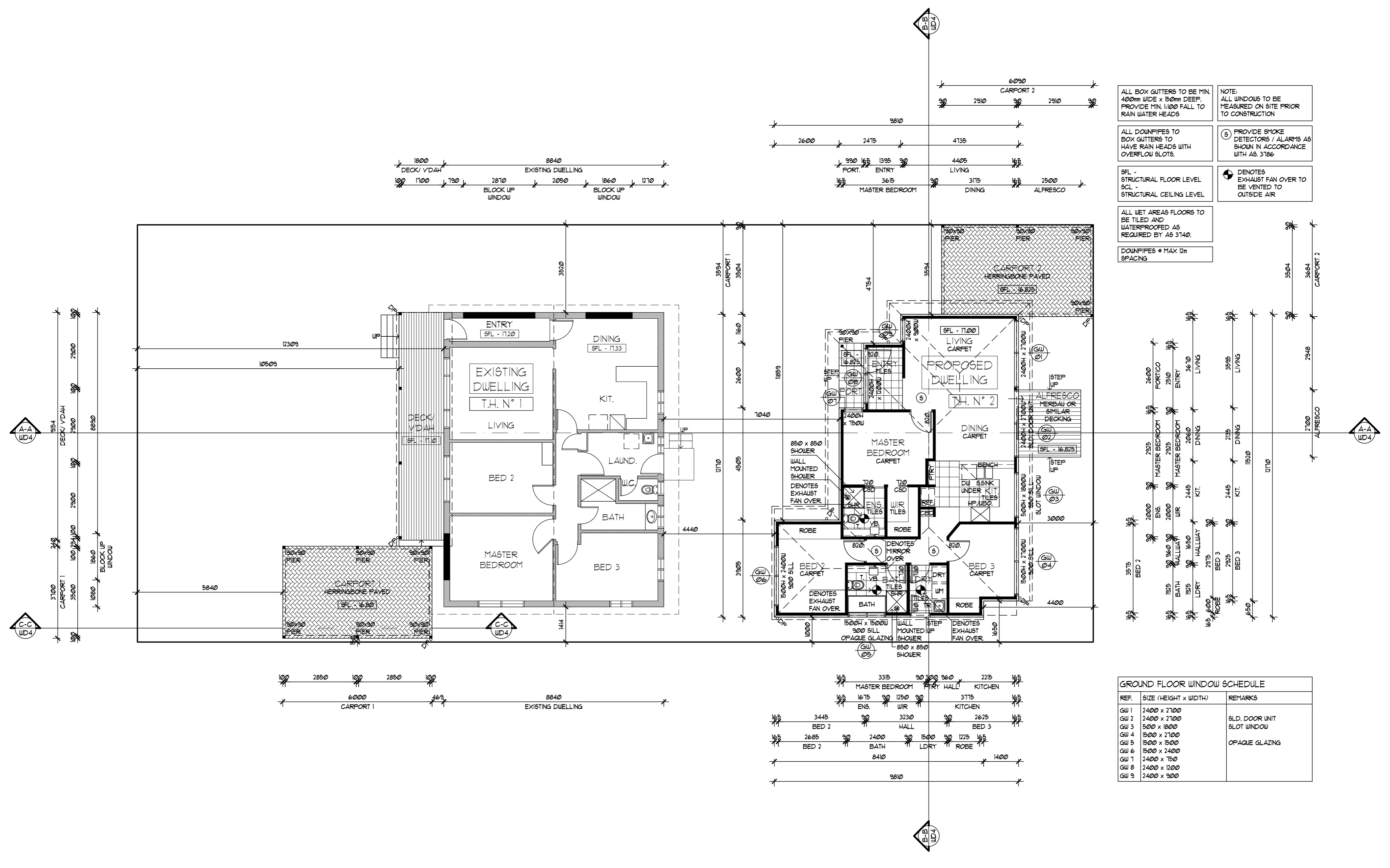
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Building Design
Townplanning
Documentation

Scale 1:200@A3	Plot 1:1
Drawn M.D.W.-AMB	Date: SEP_17.
Project No. 16066	Approved
Drawing Number WD1	Revision A.





- ALL BOX GUTTERS TO BE MIN. 400mm WIDE x 150mm DEEP. PROVIDE MIN. 1:100 FALL TO RAIN WATER HEADS
- NOTE: ALL WINDOWS TO BE MEASURED ON SITE PRIOR TO CONSTRUCTION
- ALL DOWNPIPES TO BOX GUTTERS TO HAVE RAIN HEADS WITH OVERFLOW SLOTS.
- Ⓢ PROVIDE SMOKE DETECTORS / ALARMS AS SHOWN IN ACCORDANCE WITH AS 3186
- SFL - STRUCTURAL FLOOR LEVEL
SCL - STRUCTURAL CEILING LEVEL
- Ⓢ DENOTES EXHAUST FAN OVER TO BE VENTED TO OUTSIDE AIR
- ALL WET AREAS FLOORS TO BE TILED AND WATERPROOFED AS REQUIRED BY AS 3740.
- DOWNPIPES • MAX 12m SPACING

REF.	SIZE (HEIGHT x WIDTH)	REMARKS
GW 1	2400 x 2100	SLD. DOOR UNIT
GW 2	2400 x 2100	SLOT WINDOW
GW 3	1500 x 1800	
GW 4	1500 x 2100	
GW 5	1500 x 1500	OPAQUE GLAZING
GW 6	1500 x 2400	
GW 7	2400 x 1500	
GW 8	2400 x 1200	
GW 9	2400 x 900	

Revision	Amendment	Date	Client
A	ISSUED TO CLIENT	SEP. 17	MATT TAYLOR

Project
PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH

Title
GROUND FLOOR PLAN

Building Design
 Townplanning
 Documentation

Scale
 1:100@A2

Plot
 1:1

Drawn
 M.D.W.-AMB

Date
 SEP. 17.

Project No.
 Approved

Title
16066

Drawing Number
 WD2

Revision
 A.

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O. = OPENABLE WINDOWS
F. = FIXED GLASS

FFL = FINISH FLOOR LEVEL
SCL = STRUCTURAL CEILING LEVEL

FINISHES SCHEDULE

WALLS

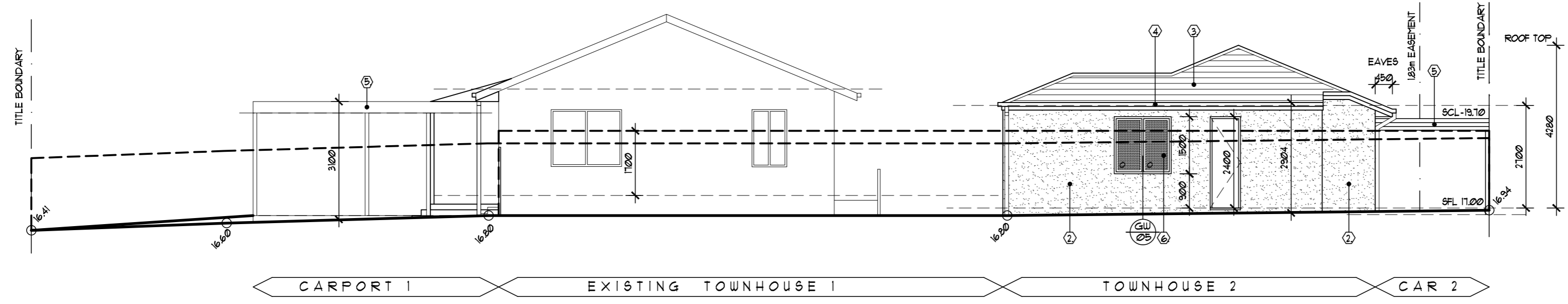
- ① RENDER FINISH TO MANF/SPEC'S. DARK BLUE/ GREY COLOUR - DULUX 'HURRICANE'.
- ② RENDER FINISH TO MANF/SPEC'S. WHITE COLOUR - DULUX 'NARKIN WHITE'.

ROOFING

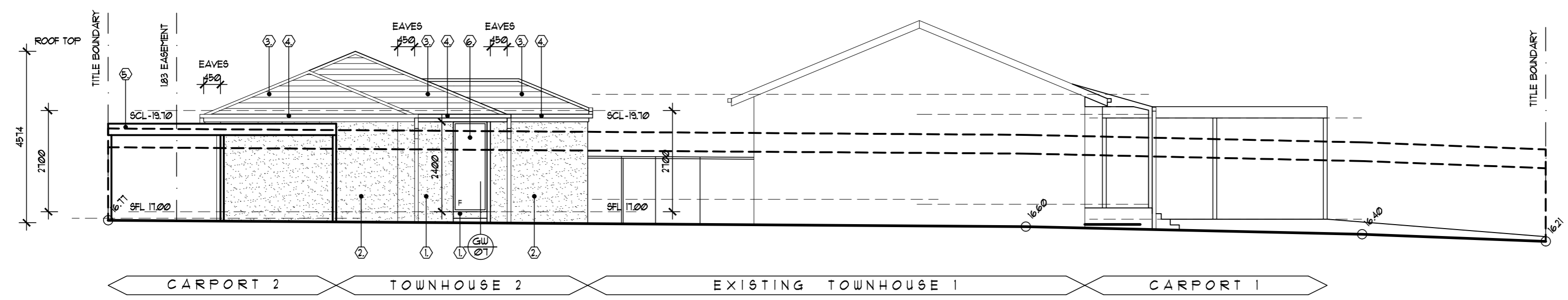
- ③ SELECTED CHARCOAL COLOURED CONCRETE ROOF TILES #22.5° PITCH
- ④ COLORBOND FASCIA & GUTTER (WOODLAND GREY)
- ⑤ ZINCALUME 'KLIP-LOK' TRAY DECK ROOF SHEETS # 1° PITCH BEHIND PARAPETS WITH NATURAL COLOUR FINISH.

WINDOWS/DOORS

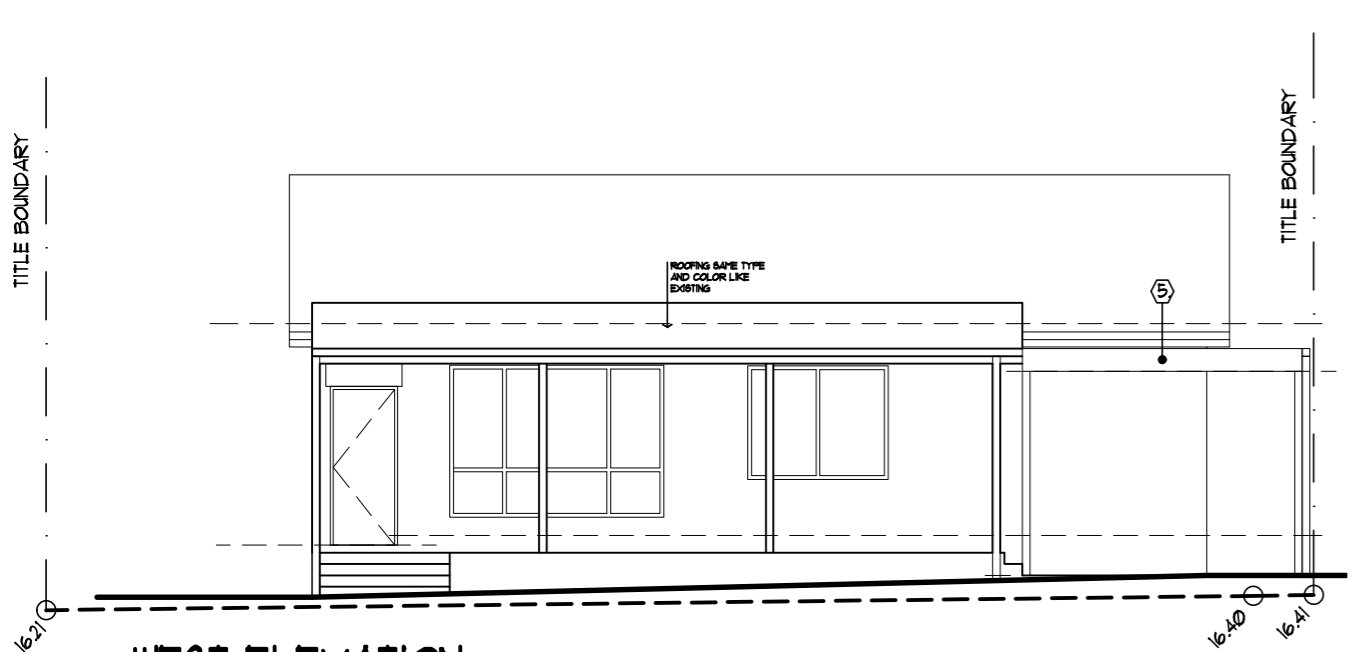
- ⑥ ALUMINIUM FRAME WITH 'WOODLAND GREY' COLORBOND POWDERCOAT FINISH TO MANF/SPEC # AS 1288. (TYP.)



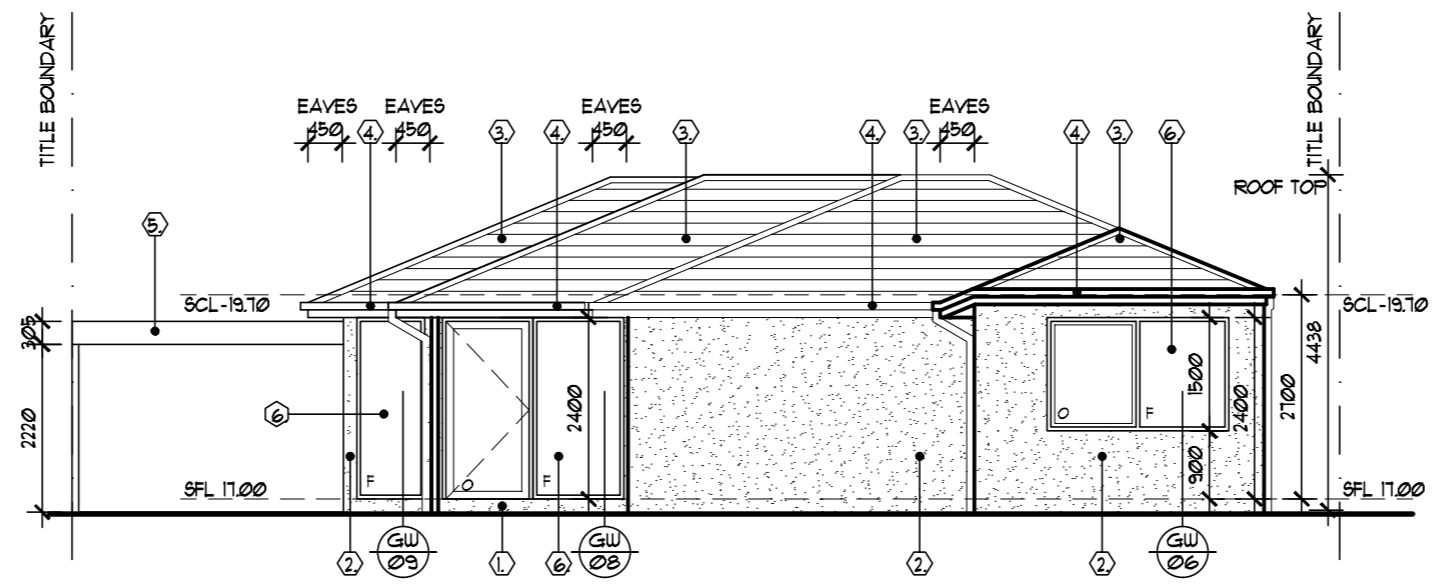
SOUTH ELEVATION



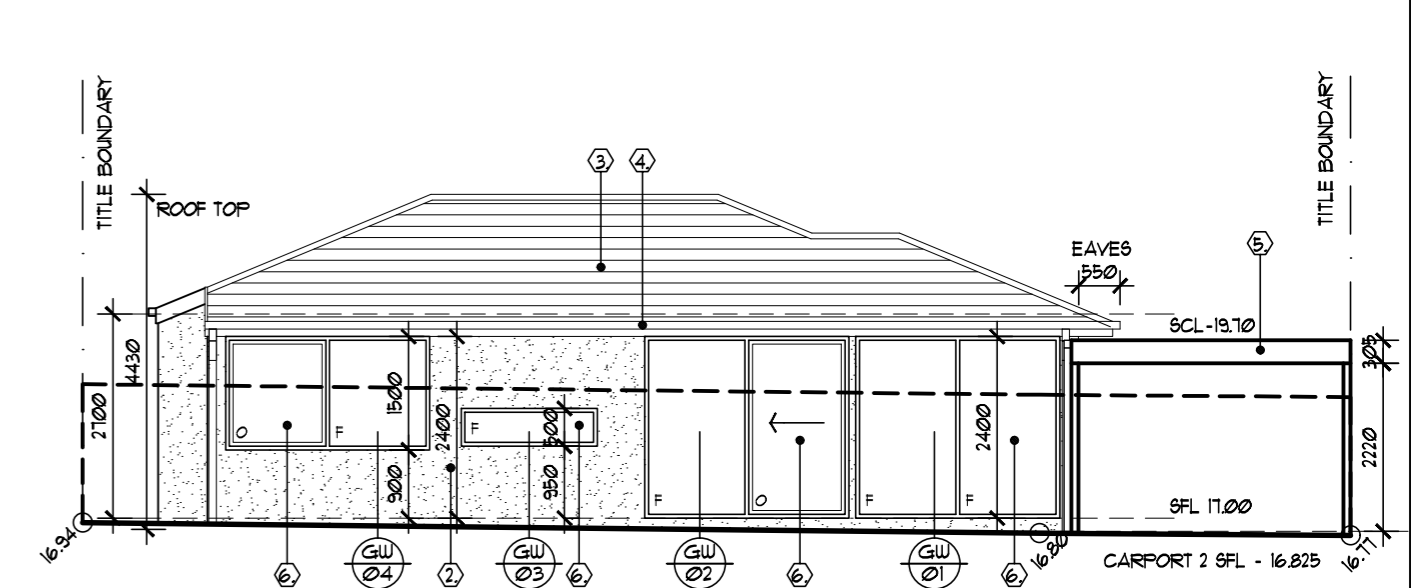
NORTH ELEVATION



WEST ELEVATION
EXISTING TOWNHOUSE No.1

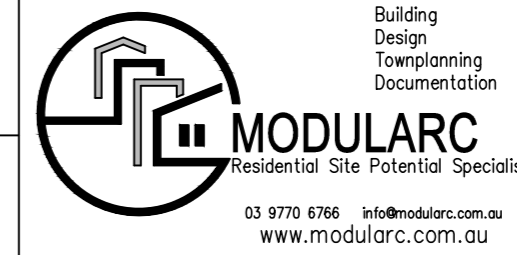


WEST ELEVATION
PROPOSED TOWNHOUSE No.2

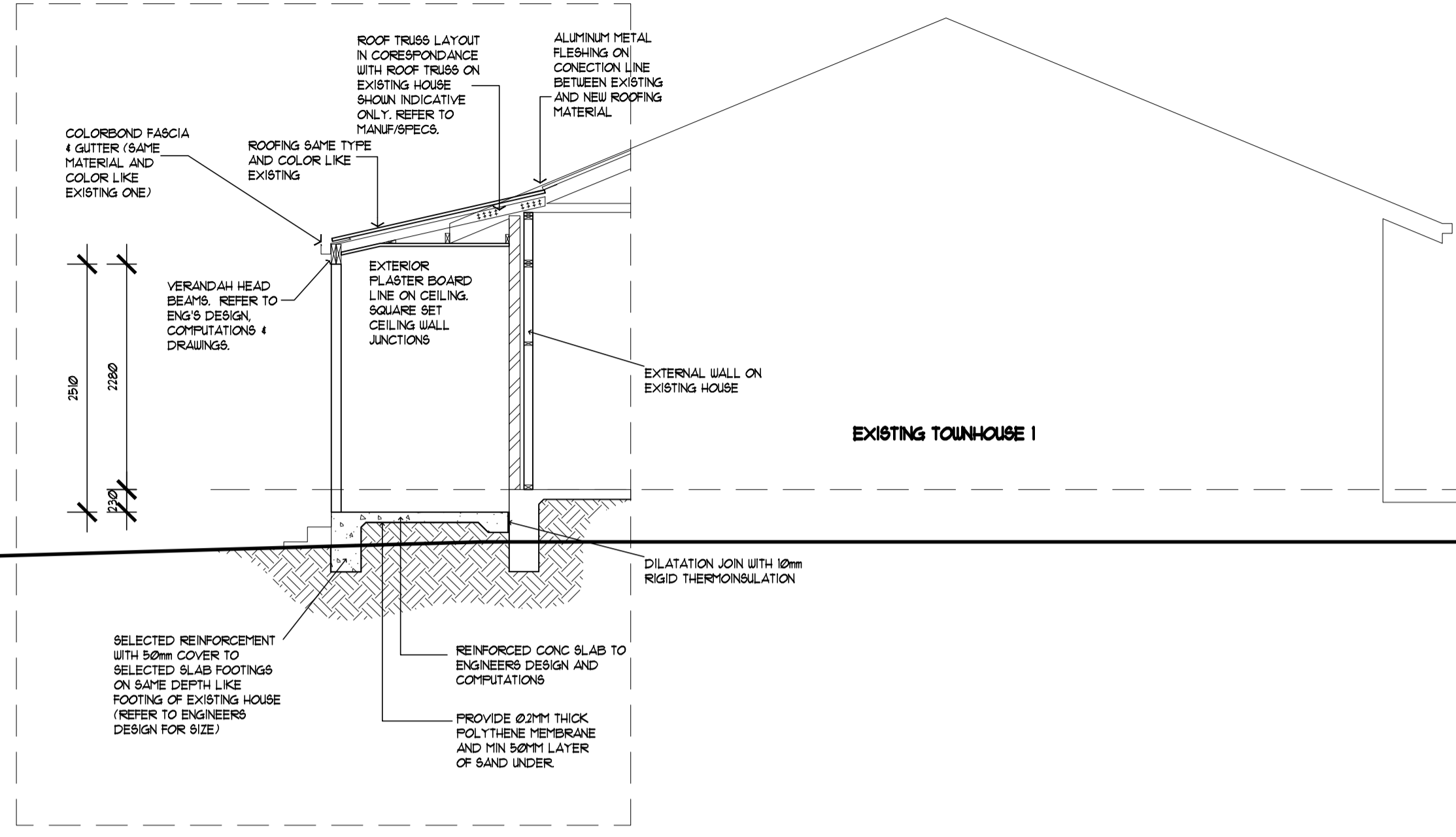


EAST ELEVATION

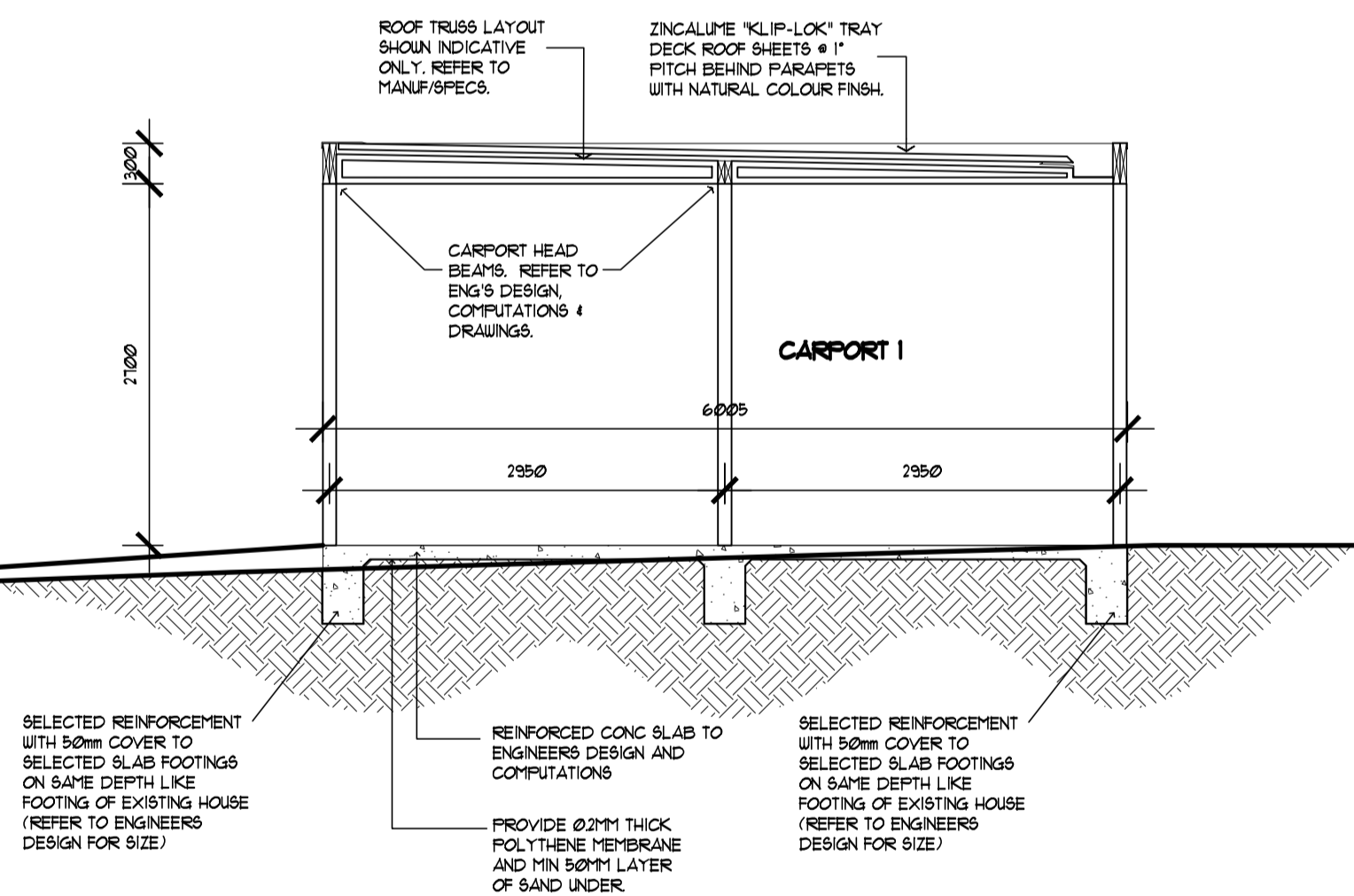
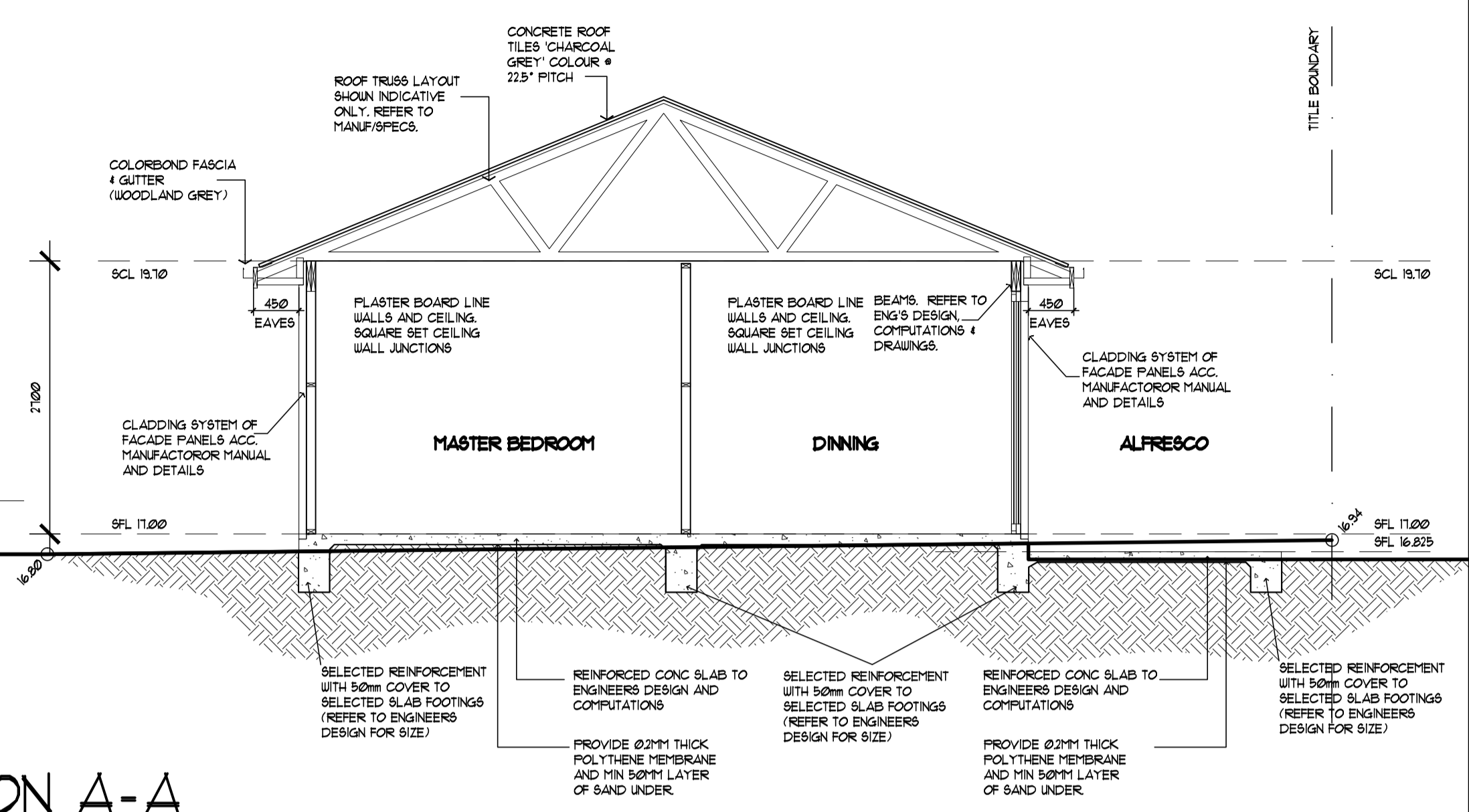
Revision	Amendment	Date	Client	Project	Scale	Plot
A	ISSUED TO CLIENT	SEP. 17	MATT TAYLOR	PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH	1:100@A2	1:1
				ELEVATIONS	Drawn M.D.W.-AMB	Date: SEP_17.
					Project No.	Approved
					Drawing Number	Revision
					WD3	A.



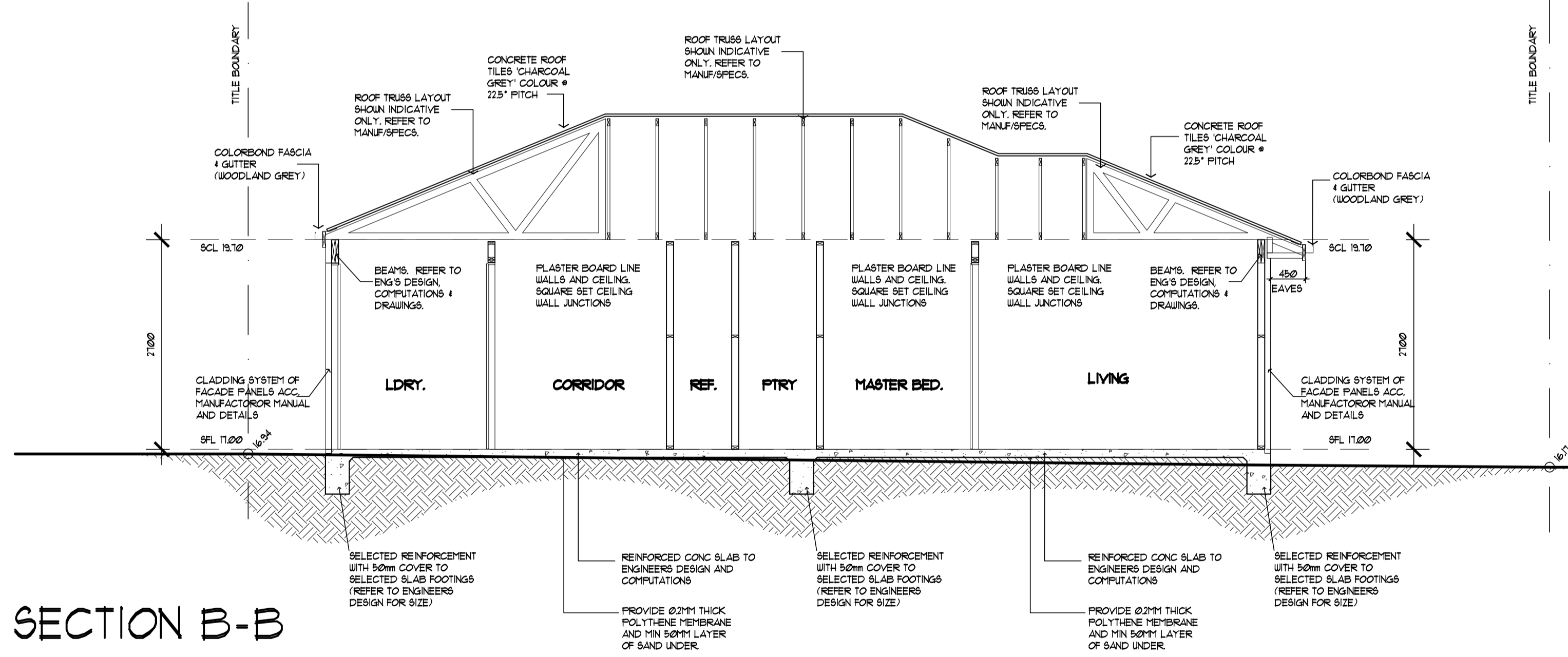
TITLE BOUNDARY



SECTION A-A



SECTION C-C



SECTION B-B

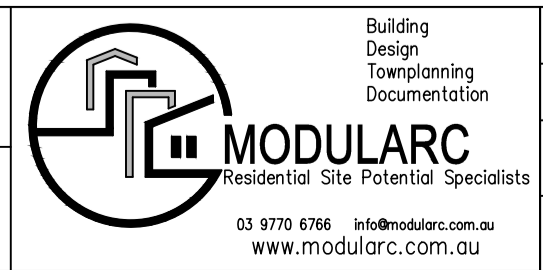
RLW: 5100

SINGLE STOREY FRAMING SPECIFICATION					
Roof:	Concrete Tiles				
Ceiling Height:	2100	Floor:	Slab		
Roof Construction:	Trusses @ 600 ctrs.				
MEMBER	SIZE	Grade	CTRS	SPAN	NOTES
Top plates	50x10	FB pine			truss loads
	50x45	FB pine			no truss loads
Bottom plates	50x35	FB pine			
Studs	50x35	FB pine	450		truss loads
Studs at sides	50x10	FB pine		1800	
	50x30	FB pine		2100	
	50x10	FI Kd hud		4200	
	50x30	FI Kd hud		4800	
Timber Lintels	140x45	FI Kd hud		2000	
	130x45	FI Kd hud		2600	
	140x45	FI Kd hud		3100	
	130x45	FI Kd hud		3500	
Nogging	50x35	FB pine		4300	

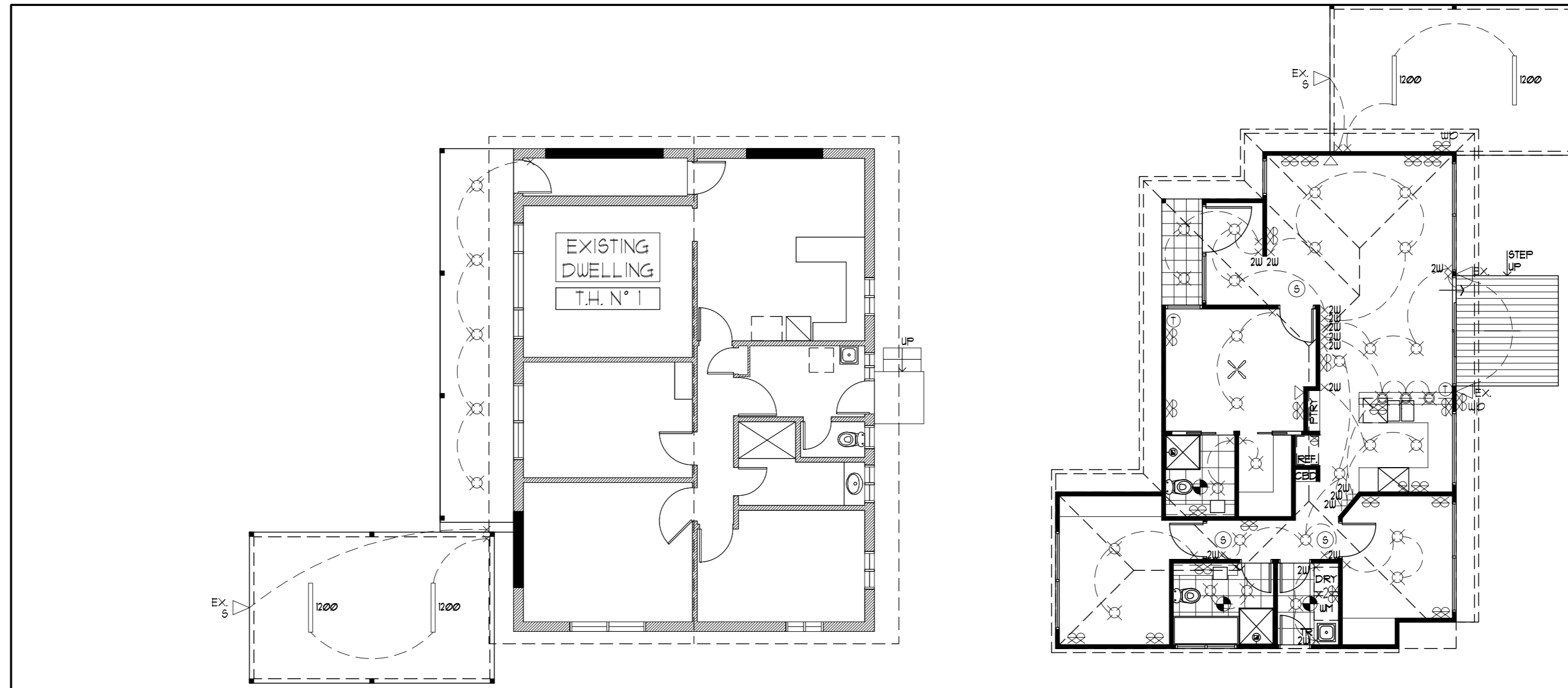
Revision	Amendment	Date	Client
A	ISSUED TO CLIENT	SEP 17	MATT TAYLOR

Project
PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH

Title
SECTIONS



Scale	Plot
1:500@A1	1:1
Drawn: M.D.W.-AMB	Date: SEP. 17.
Project No. 16066	Approved
Drawing Number: WD4	Revision: A.



EXISTING DWELLING

POWER & LIGHTING LEGEND			
	DOWNLIGHT (ASSUMED 18W)		TELEVISION POINT (as selected)
	EXTERNAL WALL MOUNT LIGHT		TELEPHONE POINT (as selected)
	SWITCH		SMOKE DETECTOR
	TWO WAY SWITCH LINE		DOUBLE FLUORESCENT LIGHT UNIT-1200 LONG (BATTEN FIXED)
	DOUBLE GPO		PENDANT LIGHT UNIT
	DOUBLE GPO - EXTERNAL		EXHAUST FAN WITH DRAFT STOPPERS
	SINGLE GPO		EXTERNAL SENSOR LIGHT
	DECK LIGHTS		CEILING FAN
	FEATURE LIGHT		

MAX ARTIFICIAL LIGHTING: 5W / sqm
DESIGN AVERAGE: 3.2W / sqm

PROVIDE POWER TO DRIVEWAY FOR EXTERNAL LIGHTING

PROVIDE POWER TO SECURITY SYSTEM, REFRIGERATORS, MICROWAVE, FREEZERS, DISHWASHER, EXHAUST FANS ETC.

PROVIDE COMPUTER CONNECTIONS, PHONE LINE, FAX LINE ETC. AS PER CLIENTS REQUIREMENTS.

NOTE:

* LIGHTING FITTING POSITIONS ARE INDICATIVE ONLY.

* ALARM SIREN & STROBE LIGHT TO BE POSITIONED BY ALARM CONTRACTOR

Note: ADD GPO'S REQUIRED FOR APPLIANCES & HWIS

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A	ISSUED TO CLIENT	SEP. 17	MATT TAYLOR

Client
MATT TAYLOR

Project
PROPOSED 1 NEW SINGLE STOREY BEHIND RETAINED SINGLE STOREY AT 15 BRUNNING CRES, FRANKSTON NTH

Title
PROPOSED ELECTRICAL PLAN

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Documentation

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Scale	Plot
1:100@A2	1:1
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Drawing Number WD5	Revision A.

