

Proposed Garage/Carport		
SITE PLAN		
SCALE: 1:1000	DRAWN: LJB	
SHEET: A101	JOB No: 23812	
DATE	REV.	NOTES
10/06/23	B	POWER POLE NOTED

DO NOT SCALE OFF DRAWING - USE FIGURED DIMENSIONS
 MEASUREMENTS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.



1 Site
 1 : 1000

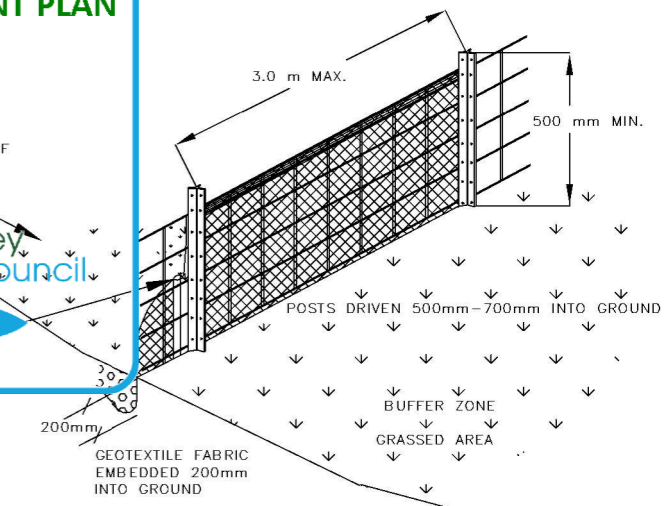
Site Calculations -

Existing Dwelling area	=	60m
Proposed Garage area	=	176m
Proposed Carport area	=	23m
Site Area	=	2.281ha
Landscaped area	=	>40 %

NOTE: NO SIGNIFICANT NATIVE VEGETATION TO BE REMOVED

APPROVED DEVELOPMENT PLAN
 DA 2023.234
 4 December 2023
 R Hicks

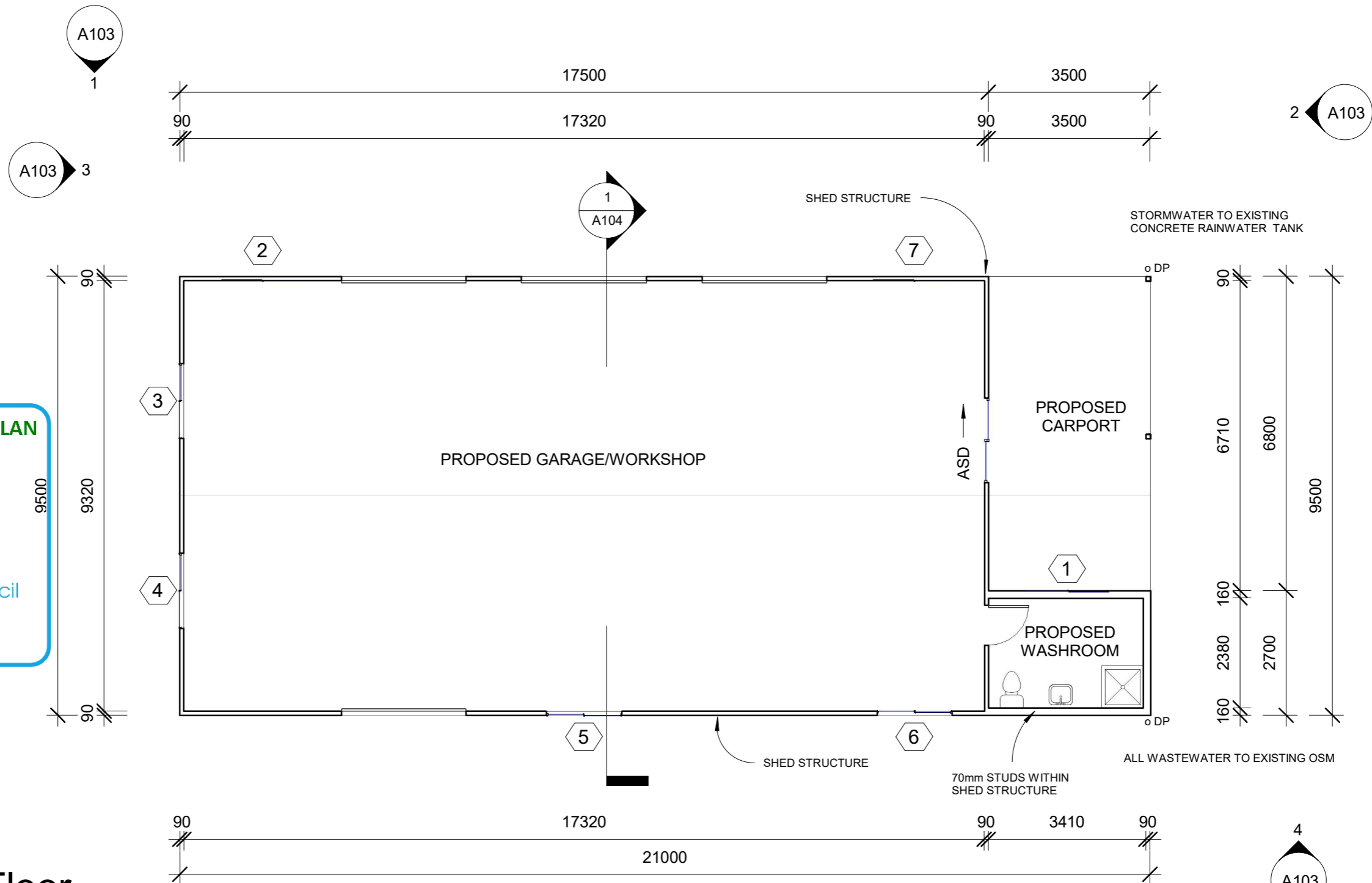
bega valley shire council



TYPICAL SILT BARRIER FENCE (sf)
 (NOT TO SCALE)

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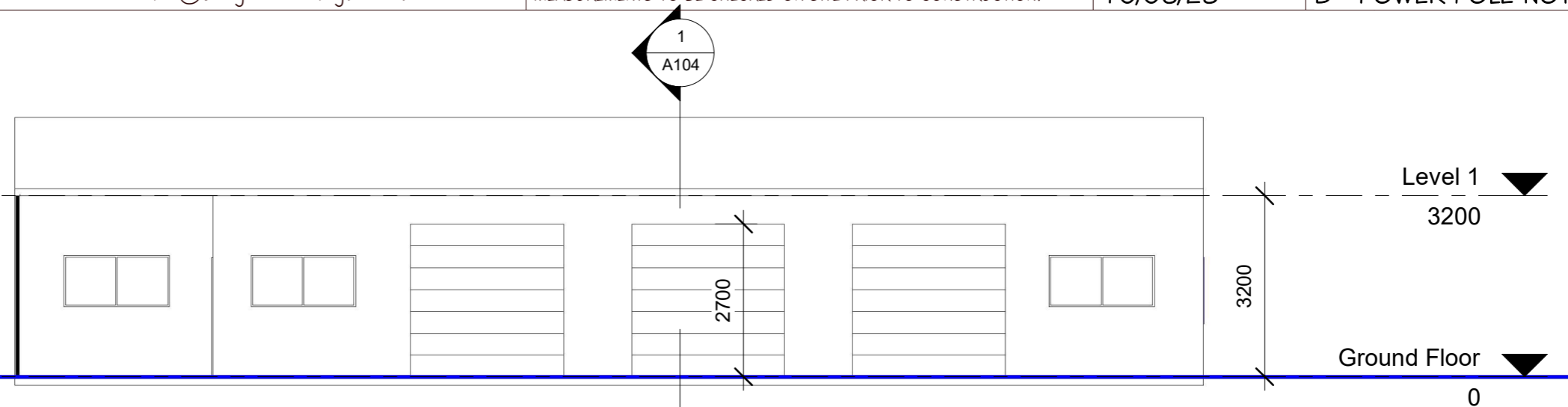
Window Schedule		
Mark	Height	Width
1	860	1810
2	860	1810
3	1200	1570
4	1200	1570
5	1200	1570
6	1200	1570
7	860	1810



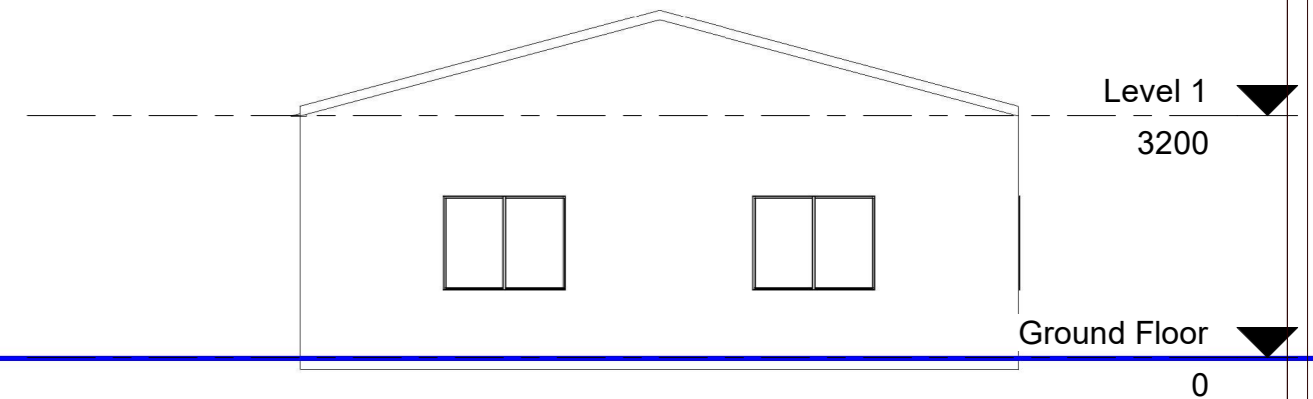
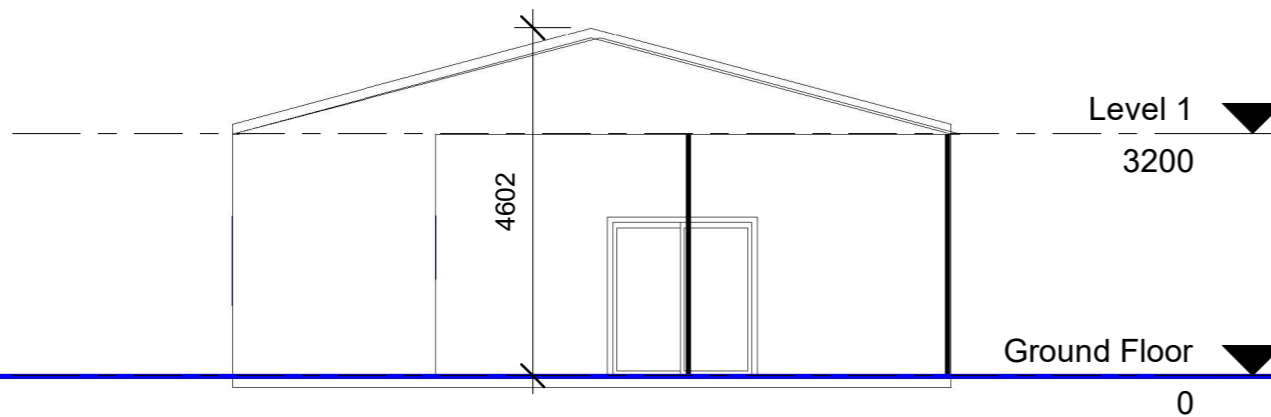
1 Ground Floor
1:100

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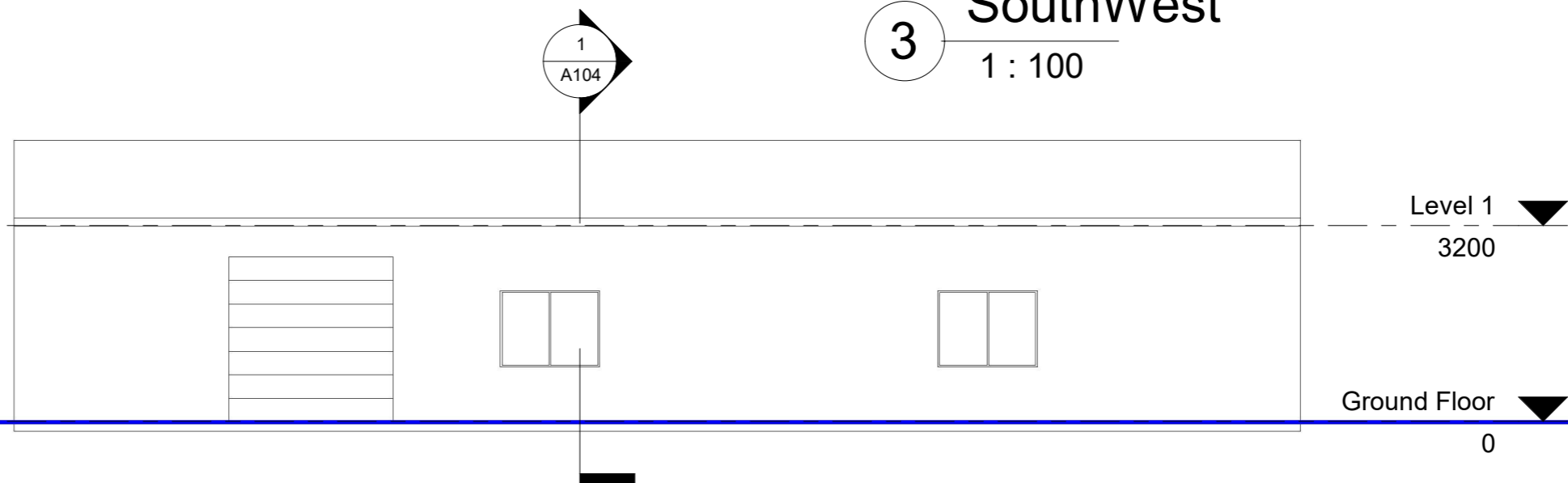


1 NorthWest
 1 : 100



2 NorthEast
 1 : 100

3 SouthWest
 1 : 100



4 SouthEast
 1 : 100