

3 EDWARD STREET KEW VIC RESIDENTIAL EXTENSION ISSUE FOR CONSTRUCTION

Document List

WD01	COVER SHEET
WD02	FEATURE SURVEY & DEMOLITION PLAN
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Compliance Energy Rating

3.12 Deemed To Satisfy Report

Terry Stamatopoulos
DMN/10/1015

Date: 16/08/2021

GENERAL NOTES

IMPORTANT NOTES:

DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. ALL MEASUREMENTS ARE IN MILLIMETERS.

THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, A.S. CODES, BUILDING REGULATIONS, LOCAL BY-LAWS AND TOWN PLANNING REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

WHERE AUSTRALIAN STANDARDS ARE REFERENCED, COMPLY WITH THE RELEVANT PROVISIONS OF THE APPLICABLE CURRENT EDITION AS PRESCRIBED IN THE BUILDING CODE OF AUSTRALIA.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS.

10mm PLASTERBOARD TO CEILINGS & WALLS, UNLESS INDICATED OTHERWISE.

ALL BUILDING STRUCTURES INCLUDING FOOTINGS ARE NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS.

SLABS AND FOOTINGS TO BE CONSTRUCTED IN ACCORDANCE WITH AS-2870.

CONCRETE STRUCTURES TO BE IN ACCORDANCE WITH AS-3600. AND ALL FORM WORK TO COMPLY WITH AS-3610.

ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH AS-1684.

ALL WALL AND ROOF BRACING (INCLUDING ROOF THE DOWN REQUIREMENTS) TO COMPLY WITH AS-1684.

SOIL CLASSIFICATION:

CLASS 'P'

REFER TO GEOTECHNICAL REPORT BY INTRAX HOUSING SITE NO. 167710

TERMITE TREATMENT:

WHERE A BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTED AREA THE SITE IS TO BE TREATED AND PROTECTED AGAINST SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS-3660.1.

SMOKE ALARMS:

PROVIDE SMOKE ALARMS WHERE LOCATED ON FLOOR PLAN AND CONNECT TO MAIN POWER SOURCE WITH BATTERY BACK-UP IN ACCORDANCE WITH AS-3786. & THE BCA/NCC - volume 2. NOTE: WHERE MORE THAN ONE ALARM IS REQUIRED OR INSTALLED THOSE ALARMS MUST BE INTERCONNECTED.

EXHAUST FANS:

PROVIDE SELECTED EXHAUST CEILING FANS AND INSTALL TO PROVIDE EXHAUST DETAILS. DUCT DIRECTLY TO OUTSIDE FOR METAL ROOFS. (NON HABITABLE ROOMS NOT CONTAINING NATURAL LIGHT OR VENTILATION MUST HAVE AN EXHAUST FAN CONNECTED TO THE LIGHT SWITCH).

INSULATION:

PROVIDE INSULATION TO WALLS, FLOORS AND CEILING AS PER THE REQUIREMENTS OF THE 'THERMAL PERFORMANCE REPORT' AND MUST COMPLY WITH AS-3742. PROVIDE SOUND-DAMPENING AND SARKING TO METAL ROOFS.

MAN HOLES:

PROVIDE MAN HOLE IN CEILING TO GAIN ACCESS TO ALL AREAS WITHIN THE ROOF SPACE. PROVIDE LIGHT SWITCH ADJACENT TO OPENING. CONFIRM FINAL POSITION AND DETAILS WITH OWNER.

LIFT OFF HINGES:

PROVIDE LIFT-OFF HINGES TO A SANITARY COMPARTMENT WHEN A TOILET PAN IS WITHIN 1200mm RADIIUS OF THE DOOR'S HINGE. CONFIRM ON SITE TO BE IN ACCORDANCE WITH PART 3.8.3 OF THE BCA/NCC - volume 2.

NOTES (cont):

INFERRED WORKS:

ALL WORKS NOT SPECIFICALLY CALLED FOR BY THE CONTRACT DOCUMENTS AND DRAWINGS, BUT REASONABLY OR OBVIOUSLY NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORKS SHALL BE DONE AT NO EXTRA COST TO THE OWNER. BUILDER SHALL SATISFY HIMSELF.

EXCAVATION AT BOUNDARIES:

NOTE: BUILDER IS TO ENSURE THAT ANY EXCAVATIONS AT BOUNDARIES DO NOT UNDERMINE EXISTING COMMON OR ADJOINING STRUCTURES AND THOSE NEW CONDITIONS PROVIDE SAFE PASSAGE AT EITHER SIDE. ALL EXCAVATIONS ARE TO BE PROTECTED AGAINST COLLAPSE. FILL: ANY AREA DENOTED AS FILLED ON ANY OTHER DRAWINGS SHALL BE FILLED WITH EXCAVATED OR IMPORTED EARTH. BUILDER IS TO ENSURE THAT ALL FILL IS CLEAN AND FREE OF ANY DEBRIS. REFER TO ENGINEERS PLANS FOR SPECIAL DETAILS.

SECURITY:

BUILDER IS TO MAKE SITE SECURE AND SAFE ON ALL BOUNDARIES.

WINDOWS/DOORS & GLAZING:

ALUMINIUM IMPROVED WINDOW FRAMES AS SELECTED WITH POWER COAT FINISH (REFER TO THE THERMAL PERFORMANCE REPORT FOR MINIMUM THERMAL VALUES).

WINDOW DIMENSIONS GIVEN ARE NOMINAL SIZES ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER CONFIRM ON SITE BEFORE COMMENCING ANY WORKS. WINDOWS MUST BE FLASHED ALL AROUND.

WINDOW DIMENSIONS SHOWN ARE ACTUAL DIMENSIONS TO OUTSIDE OF WINDOW FRAME.

DOOR DIMENSIONS SHOWN ARE OVERALL LEAF DIMENSIONS.

ALL WINDOWS NOTED WITH OBSCURE GLASS MUST BE INSTALLED WITH RESTRICTED VIEWINGS TO A MINIMUM OF 1700mm ABOVE FLOOR LEVEL (WHERE APPLICABLE).

OBSCURE GLAZING IS TO BE WHITE SEMI TRANSPARENT FILM INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. APPLY WHITE TRANSLUCENT FILM TO INSIDE FACE OF GLASS IN ACCORDANCE WITH MANUFACTURERS DETAILS. (CONFIRM WITH ANY PLANNING REQUIREMENTS).

ANY DOORS OR SIDE LIGHTS THAT CAN BE MISTAKEN FOR OPENINGS ARE REQUIRED TO BE PROVIDED WITH SIGHT MOTIFS IN ACCORDANCE WITH AS-1288.

ALL WINDOWS TO BE IN ACCORDANCE WITH AS-2047.

ALL GLAZING IS TO BE IN ACCORDANCE WITH AS-1288.

GLAZING WITHIN 2000mm ABOVE FLOOR LEVEL IN BATHROOMS AND ENSUITES SHALL BE GRADE (A) SAFETY GLASS.

GLAZED PANELS WITHIN 500mm ABOVE THE FINISHED FLOOR LEVEL ARE TO BE GRADE (A) SAFETY GLASS.

GLAZED PANELS IN DOORS AND SIDE LIGHTS WITHIN 1200mm ABOVE FINISHED FLOOR LEVEL ARE TO GRADE (A) SAFETY GLASS.

ANY GRILLS OR VENTS POSITIONED WITHIN DOORS ARE TO BE POWDERCOATED ALUMINIUM VENTILATION GRILLES.

ALL GRILLS AND VENTS ARE TO BE COMPLIANT WITH RELEVANT STANDARDS AND ARE TO BE ASSESSED BY, AND TO READ IN CONJUNCTION WITH, MECHANICAL ENGINEERS DRAWINGS.

ALL EXTERNAL DOORS ARE TO BE WATER RESISTANT AND WEATHER PROOFED APPROPRIATELY.

OPENABLE WINDOW PROTECTION:

IF THE SURFACE BELOW AN OPENABLE WINDOW IS 4.0m OR GREATER FROM FLOOR LEVEL THEN A RESTRICTED OPENING DEVICE MUST BE PROVIDED TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH.

IF THE SURFACE BELOW AN OPENABLE BEDROOM WINDOW IS 2.0m OR GREATER FROM FLOOR LEVEL AND ANY PORTION OF THE OPENABLE SHASH IS BELOW 1.7m ABOVE FLOOR LEVEL, THEN A RESTRICTED OPENING DEVICE MUST BE PROVIDED TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH.

GENERAL NOTES

WINDOW POSITIONING:

ALL WINDOW OPENINGS ARE TO BE CONSTRUCTED TO BE EITHER:
A) ALWAYS LOCATED TO BE CENTER WITHIN LENGTH OF WALLS OR,
B) AS DIMENSIONED.
C) WINDOW HEAD HEIGHT VARIES (REFER TO ELEVATION, WINDOW SCHEDULE).

INTERNAL DOOR POSITIONING:

ALL DOOR OPENINGS ARE TO BE CONSTRUCTED TO BE EITHER:
A) ALWAYS LOCATED TO BE CENTER WITHIN LENGTH OF WALLS OR,
B) ALWAYS TO BE AT AN OFFSET OF 100mm FROM ADJOINING WALL OR,
C) AS DIMENSIONED.
D) DOOR HEADS AT NOMINAL 2400mm (UNLESS NOTED OTHERWISE).

ARTIFICIAL LIGHTING:

THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OR ARTIFICIAL LIGHTING, MUST NOT EXCEED:
A) IN A CLASS 1 BUILDING - MAXIMUM 5^{W/m²}
B) ON A VERANDA OR BALCONY ATTACHED TO A CLASS 1 BUILDING - MAXIMUM 4^{W/m²}
C) IN A CLASS 10a BUILDING - MAXIMUM 3^{W/m²}

WHERE ILLUMINATION POWER DENSITY IS USED, THE ^{W/m²} MAY BE INCREASED WHERE A CONTROL DEVICE IS USED (E.G. DIMMER OR TIMER). REFER TO BCA/NCC - volume 2, TABLE 3.12.5.3 FOR THE ADJUSTMENT FACTOR.

LIGHTING AROUND THE PERIMETER OF A BUILDING MUST BE CONTROLLED BY A DAYLIGHT SENSOR OR HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF MINIMUM 40^{LM/W}

ELECTRICAL SERVICES:

COMPLY WITH THE REQUIREMENTS AND REGULATIONS ADMINISTERED BY THE LOCAL SUPPLY COMPANY.

PLUMBING SERVICES:

ALL PLUMBING, DRAINAGE AND SERVICES MUST COMPLY WITH AS/NZS 3500 & THE BCA/NCC - volume 2. THE BUILDER MUST CONDUCT ALL NEGOTIATIONS, OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES DUE TO CONTROLLING AUTHORITIES.

HEATING AND COOLING:

BUILDER TO CONFIRM WITH OWNER ALL REQUIREMENTS FOR HEATING AND COOLING INCLUDING TYPE, INSTALLATION DETAILS, MANUFACTURERS REQUIREMENTS, ELECTRICAL AND PLUMBING REQUIREMENTS, DOCTWORK AND CONTROLLERS BEFORE COMMENCING ANY WORKS.

WATER PROOFING:

THE BUILDER SHALL ENSURE THE GENERAL WATER TIGHTNESS OF ALL EXTERNAL JUNCTIONS AND SEAL ALL PENETRATIONS.

WATERPROOFING OF WET AREAS BEING BATHROOMS, SHOWERS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS-3740.

PROVIDE WATER RESISTANT FLOOR & WALL COVERINGS TO ALL WET AREAS.

THE WALL SURFACES OF A SHOWER AREA SHALL BE WATER RESISTANT TO A MINIMUM HEIGHT OF 1800mm ABOVE FINISHED FLOOR LEVEL.

WATERPROOFING IS REQUIRED TO THE ENTIRE FLOOR AREA OF ALL ENCLOSED AND UNENCLOSED SHOWERS. WATERPROOFING OF WALLS SHALL BE NOT LESS THAN 150mm ABOVE THE COMPRESSED FIBRE-CEMENT SHEET FLOOR SUBSTRATE. ALL PENETRATIONS, WALL JUNCTIONS AND JOINTS SHALL HAVE WATERPROOFING IN ACCORDANCE WITH AS-3740.

WHERE A SHOWER IS UNENCLOSED OR NOT PROVIDED WITH A SCREEN, THE ENTIRE BATHROOM FLOOR AREA REQUIRES WATERPROOFING, AND IN ADDITION SHALL HAVE A SECOND FLOOR WASTE DRAIN INDEPENDENT OF THE SHOWER.

WHERE A SHOWER IS PROVIDED ABOVE THE BATH, THE FLOOR AREA WITHIN A RADIUS OF 1500mm FROM THE SHOWER OUTLET REQUIRES WATERPROOFING. IN ADDITION PROVISION OF A FLOOR WASTE DRAIN INDEPENDENT OF THE BATH IS REQUIRED.

ALL WET AREAS MUST BE CONSTRUCTED WITH FALL SO THAT WATER FLOWS TO WASTE POINTS WITHOUT ponding (NOMINATE GRADE TO WASTE POINT BETWEEN 1:60 TO 1:80) IN ACCORDANCE WITH AS-3740.

WATERPROOF MEMBRANES INSTALLED IN ACCORDANCE WITH AS-3740. ENSURE ALL EXTERNAL TIMBERS ARE IN ACCORDANCE WITH AS-1684.2 - APPENDIX C - DURABILITY. IF EXPOSED TO THE WEATHER, DURABLE TIMBERS ARE TO BE CLASSIFIED AS H3, IF IN CONTACT WITH THE GROUND, USE H5 AND SEAL APPROPRIATELY.

NOTES (cont):

WEEP HOLES & FLASHINGS:

PROVIDE WEEPHOLES AT MAX. 1200mm CTRS TO ALL EXTERNAL MASONRY WALLS IN ACCORDANCE WITH BCA/NCC - volume 2, PART 3.3.4.

PROVIDE WEEPHOLES OVER OPENINGS IN EXTERNAL MASONRY WALLS AS REQUIRED AT MAX. 1200mm CTRS. EXCEPT WHERE OPENINGS ARE PROTECTED BY EAVES THREE TIMES THE HEIGHT BETWEEN THE WINDOW HEAD AND LOWEST POINT OF EAVE.

THE INSTALLATION OF HEAD AND SILL FLASHINGS OVER AND BELOW OPENINGS IN MASONRY WALLS TO BE IN ACCORDANCE WITH THE BCA/NCC - volume 2, PART 3.5.3.6.

CORROSION PROTECTION:

PROVIDE CORROSION PROTECTION OF BUILT IN STRUCTURAL STEEL MEMBERS INCLUDING BUT NOT LIMITED TO, STEEL LINTELS, SHELF ANGLES, CONNECTORS AND ACCESSORIES INCLUDING WALL TILES IN ACCORDANCE WITH TABLE 4.1 OF AS-4773.1. (CONFIRM ENVIRONMENTAL CLASSIFICATION).

PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH THE BCA/NCC - volume 2, TABLE 3.5.1.1.A.

DRAINAGE NOTES:

STORMWATER AND SULLAGE SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF LOCAL AUTHORITIES.

DP COLORBOND DOWNPIPE
DPS COLORBOND DOWNPIPE WITH SPREADER
DPR COLORBOND DOWNPIPE WITH RAINWATER HEAD

DOWNPIPES SHALL BE MINIMUM 90x90mm or 100x50mm.

ALL EXTERNAL GUTTERS TO BE A SLOTTED TYPE TO PROVIDE OVERFLOW EXTERNALLY.

DOWNPIPES TO BE LOCATED WITHIN 1200mm OF A VALLEY GUTTER WHERE PRACTICAL. WHERE DOWNPIPES ARE LOCATED MORE THAN 1200mm FROM A VALLEY GUTTER, PROVISION FOR AN OVERFLOW MUST BE MADE (SLOTTED GUTTER OR SIMILAR APPROVED).

DOWNPIPE LOCATIONS SHOWN ON PLANS ARE SUGGESTIONS ONLY AND MAY VARY FOR PRACTICAL CONSTRUCTION REASONS. HOWEVER, A MAXIMUM OF 12m OF GUTTER LENGTH TO BE SERVED BY EACH DOWNPIPE.

PROVIDE 90 AGI DRAINS AT BASE OF ALL CUTS, RETAINING WALLS AND TO HIGH SIDE OF BUILDING AND 300mm FROM ANY BOUNDARY. CONFIRM ON SITE.

IMPORTANT NOTE: WHERE THERE IS NO LEGAL POINT OF DISCHARGE ALL STORM WATER MUST BE MAINTAINED ON SITE AND DIRECTED IN AN EXISTING DRAIN.

DOMESTIC WATER TANKS:

SELECTED 12000mm (MINIMUM) RAINWATER TANK TO COLLECT NOT LESS THAN 50m² OF ROOF AREA AND BE INSTALLED TO MANUFACTURERS DETAILS. CONNECT TO TOILET FLUSHING SYSTEM.

PLANNING PERMIT CONDITIONS:

THE SET OF PLANS (WDL-WD7) ARE TO BE READ IN CONJUNCTION WITH ENDORSED PLANNING DRAWINGS AND PLANNING PERMIT CONDITIONS. PERMIT NUMBER: n/a
BUILDER SHALL MAKE HIMSELF AWARE OF ALL PLANNING REQUIREMENTS, PLANNING CONDITIONS AND ASSOCIATED PLANS SHALL TAKE PRECEDENCE OVER ANY OTHER DRAWINGS AND DOCUMENTS UNLESS OTHERWISE APPROVED.

CONTROL JOINTS:

PROVIDE CONTROL JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH AS-3700.
ALL CONTROL JOINTS MUST COMPLY WITH THE SOIL REPORT AND/OR AS INDICATED BY THE STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

ARTICULATION JOINTS:

PROVIDE FULL HEIGHT ARTICULATION JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH THE SOIL REPORT AND THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA TECHNICAL NOTE 61.

THEY ARE REQUIRED TO BE 10mm WIDE WITH A POLYETHENE FOAM BACKING ROD AND FILLED WITH AN APPROVED FLEXIBLE SEALANT TO MANUFACTURERS DETAILS. FINISHED WITH COLOUR TO SUIT.

MUST COMPLY WITH AS-3700-2011. THE BCA/NCC AND OR AS INDICATED BY STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

NOTES (cont):

INTERNAL STAIRS:

N/A

TYPICAL NOTES:
EACH FLIGHT MUST NOT HAVE MORE THAN 18 RISERS.
MINIMUM HEAD HEIGHT TO STAIRWAY MUST NOT BE LESS THAN 2000mm

PROVIDE CONTINUOUS HANDRAIL ALONG AT LEAST ONE SIDE OF STAIR. NON SLIP SURFACE TO BE PROVIDED TO STAIRWAYS, RAMPS AND LANDINGS.

RISERS: @BETWEEN (190mm and 115mm) ALL RISERS TO BE EQUAL.
TREADS: @BETWEEN (240mm and 355mm) ALL TREADS TO BE EQUAL.
OPEN RISERS MUST NOT PERMIT A 125mm SPHERE TO PASS THROUGH AND COMPLY WITH THE BCA/NCC - volume 2, PART 3.9.1.
RISER / TREAD SLOPE RELATIONSHIP MUST COMPLY WITH (2R+Q>=550, <700) AND THE BCA/NCC - volume 2.

STAIRS TO BE IN ACCORDANCE WITH AS-1657.

HANDRAILS:

WHERE THE DISTANCE FROM FINISHED FLOOR LEVEL TO GROUND / FLOOR EXCEEDS 1000mm PROVIDE:
LANDINGS:
HANDRAILS 1000mm HIGH ABOVE FINISHED FLOOR LEVEL.

STAIRS:
HANDRAILS 865mm HIGH MEASURED VERTICALLY ABOVE NOSING OF STAIR.
BALUSTERS MUST BE SPACED TO COMPLY WITH THE BCA/NCC - volume 2 PART 3.9.2 AND SO THAT IT IS NOT PERMISSIBLE FOR A 125mm SPHERE TO PASS THROUGH.

WHERE THE DISTANCE FROM FINISHED FLOOR LEVEL TO GROUND / FLOOR EXCEEDS 4000mm NO ELEMENT WITHIN BALUSTRADE BETWEEN 150mm AND 760mm ABOVE FLOOR CAN FACILITATE CLIMBING.

EXTERNAL STAIRS:

EXTENT, POSITION AND TYPE OF ANY EXTERNAL STEPS ARE TO BE DETERMINED ON SITE TO OWNERS APPROVAL.
RISERS @115mm MINIMUM AND 190mm MAXIMUM / ALL RISERS TO BE EQUAL.
TREADS @240 MINIMUM AND 355mm MAXIMUM.

LETTERBOXES:

INSTALL FITTINGS FOR LETTER AND PAPER RECEPTACLE INTO TIMBER OR MASONRY ENCLOSURE WHERE SHOWN ON PLANS. - CONFIRM WITH OWNER.

OVERLOOKING:

OVERLOOKING OF RECREATIONAL PRIVATE OPEN SPACE REGULATION 419 - COMPLIES.

OVERSHADOWING:

OVERSHADOWING OF RECREATIONAL PRIVATE OPEN SPACE REGULATION 418 - COMPLIES.

DEMOLITION NOTES

GENERAL:

ALL DEMOLITION WORK SHALL BE CARRIED OUT IN A CAREFUL AND SYSTEMATIC MANNER. PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS-2601.

ALL DEMOLITION WORKS AND WASTE REMOVAL SHALL BE UNDERTAKEN BY A LICENSED CONTRACTOR TO ENSURE THE SAFETY OF ALL PERSONS. ALL NECESSARY MEASURES ARE TO BE TAKEN TO AVOID DAMAGE, INTERFERENCE AND PROTECTION OF ADJACENT PUBLIC OR PRIVATE LANDS, PROPERTY AND SERVICES.

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY, OR AS REQUIRED BY THE RELEVANT BUILDING SURVEYOR.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF THE STRUCTURE IS REMOVED.

ALL DEMOLISHED STRUCTURES ABOVE AND BELOW GROUND LEVEL INCLUDING ANY FOOTINGS ARE TO BE REMOVED FROM SITE.

ALL DEMOLISHED MATERIAL AND SEDIMENT MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

ANY WALLS TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED COMPLETELY UNLESS OTHERWISE NOTED. ALL PREVIOUS WALL TO FLOOR, WALL TO CEILING OR WALL TO WALL JUNCTIONS SHALL BE MADE GOOD WITH FINISHES TO MATCH EXISTING. BUILDER SHALL MAKE HIMSELF AWARE OF ALL STRUCTURAL CONSEQUENCES PRIOR REMOVAL AND ALLOW FOR REMOVED WORKS WHERE REQUIRED.

INTERFACES:

ALL INTERFACES BETWEEN NEW AND EXISTING WORKS SHALL BE MADE GOOD TO THE SATISFACTION OF THE OWNER.

SAFETY PROVISIONS:

IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO ANY WORKS TO DETERMINE IF ASBESTOS AND/OR OTHER HAZARDOUS MATERIAL ARE PRESENT IN THE EXISTING BUILDING.

ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR NEIGHBOURING ALLOTMENTS MUST BE ADEQUATELY FENCED AND MADE SAFE PRIOR TO ANY DEMOLITION WORKS.

EXISTING METERS:

LOCATE THE POSITION OF ALL METERS. WHERE A METER IS TO BE RELOCATED OR REPLACED, IT SHALL BE DONE SO UNDER THE DIRECTION OF THE RELEVANT AUTHORITY. APPROVE NEW LOCATION WITH OWNER.

ALL EXISTING ELECTRICAL OUTPUTS, CABLES OR APPARATUS SHALL BE DISCONNECTED BEFORE DEMOLITION COMMENCES.

EXISTING UNDERGROUND TANKS:

ANY SYNTHETIC TANK, STORAGE TANK, SOAK WELL, LEACH DRAIN, OR SIMILAR APPARATUS WITHIN THE SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY. ANY HAZARDOUS CONTAMINATION MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

EXISTING UNDERGROUND SERVICES:

THE BUILDER IS TO THOROUGHLY INVESTIGATE AND LOCATE ANY AND ALL UNDERGROUND SEWER AND STORMWATER PIPES, WATER SERVICES, GAS SERVICES, DRAINS OR ELECTRICAL SERVICES BEFORE COMMENCING ANY SITE WORKS. SUCH ITEMS ARE TO BE IDENTIFIED, CUT OUT AND SEALED THEN REMOVED OR RELOCATED WHERE APPROPRIATE. (DO BEFORE YOU DIG - pp. 1100)



The Essential First Step.

	AMENDMENT		GENERAL NOTES THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS PRIOR TO CONSTRUCTION, NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE ARCHITECT/DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS. ALL BOUNDARIES AND CONTOUR SUBJECT TO SURVEY. THE DRAWING REMAINS THE PROPERTY OF EVERKEEN BUILDING DESIGN. THIS DRAWING IS PROTECTED BY COPYRIGHT LAWS AND MUST NOT AMENDED OR COPIED IN WHOLE OR IN PART. THIS DRAWING IS TO BE USED ONLY FOR THE REASON FOR WHICH IT WAS ISSUED.	PROJECT Proposed Residences Extension		DRAWING NAME COVER SHEET	DRAWN BY J.L.	DATE 01/06/2021	PROJECT NUMBER 210603
	CLIENT Douglas Leng	CHECKED BY J.L.		DATE 14/07/2021			WD01		
	ADDRESS 3 Edward Street Kew VIC	DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.		DRAWING NUMBER 1 of 7				DRAWING SCALE AS SHOWN	SHEET SIZE A1

Compliance Energy Rating
 3.12 Deemed To Satisfy Report
 Terry Stamatopoulos
 DMN/10/1015
 Date: 16/08/2021

DEVELOPMENT SUMMARY PROPOSED RESIDENTIAL EXTENSION	
SCHEDULE OF PROPOSED AREAS:	
EXISTING GROUND FLOOR AREA	= 134 m ²
EXTENSION AREA	= 92.5 m ²
PROPOSED VERANDAH	= 17.6 m ²
PROPOSED GARAGE & GYM	= 69.5 m ²
TOTAL GROUND FLOOR BUILDING AREA	= 313.6m²
SITE AREA	
- EXISTING BUILDING SITE COVERAGE	= 732 m ² (100%)
- PROPOSED BUILDING SITE COVERAGE	= 134 m ² (18.30%)
- PROPOSED DRIVEWAYS / HARD PAVING SITE COVERAGE	= 313.6 m ² (42.84%)
- PROPOSED TOTAL IMPERVIOUS AREA (IMPERVIOUS SITE AREA)	= 59 m ² (8.06%)
- PROPOSED TOTAL PERVIOUS AREA (PERVIOUS SITE AREA)	= 372.6 m ² (50.90%)
TOTAL PERVIOUS AREA (permeable site area)	
- PRIVATE OPEN SPACE (P.O.S)	= 359 m ² (49.04%)
- SECLUDED PRIVATE OPEN SPACE (S.P.O.S)	= 380 m ² (51.91%)
- SECLUDED PRIVATE OPEN SPACE (S.P.O.S)	= 112 m ² (15.3%)

IMPORTANT NOTES: BUILDERS/CONTRACTORS TO CHECK ALL DIMENSIONS ONSITE BEFORE CONSTRUCTION COMMENCE. PLEASE CONTACT DESIGNER/ENGINEER IMMEDIATELY IF REQUIRE ANY AMENDMENT ON DRAWINGS.

DEMOLITION NOTES

GENERAL:
 ALL DEMOLITION WORK SHALL BE CARRIED OUT IN A CAREFUL AND SYSTEMATIC MANNER. PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS-2601.

ALL DEMOLITION WORKS AND WASTE REMOVAL SHALL BE UNDERTAKEN BY A LICENSED CONTRACTOR TO ENSURE THE SAFETY OF ALL PERSONS. ALL NECESSARY MEASURES ARE TO BE TAKEN TO AVOID DAMAGE, INTERFERENCE AND PROTECTION OF ADJACENT PUBLIC OR PRIVATE LANDS, PROPERTY AND SERVICES.

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY, OR AS REQUIRED BY THE RELEVANT BUILDING SURVEYOR.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF THE STRUCTURE IS REMOVED.

ALL DEMOLISHED STRUCTURES ABOVE AND BELOW GROUND LEVEL INCLUDING ANY FOOTINGS ARE TO BE REMOVED FROM SITE.

ALL DEMOLISHED MATERIAL AND SEDIMENT MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

ANY WALLS TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED COMPLETELY UNLESS OTHERWISE NOTED. ALL PREVIOUS WALL TO FLOOR, WALL TO CEILING OR WALL TO WALL JUNCTIONS SHALL BE MADE GOOD WITH FINISHES TO MATCH EXISTING. BUILDER SHALL MAKE HIMSELF AWARE OF ALL STRUCTURAL CONSEQUENCES PRIOR REMOVAL AND ALLOW FOR REMOVAL WORKS WHERE REQUIRED.

INTERFACES:
 ALL INTERFACES BETWEEN NEW AND EXISTING WORKS SHALL BE MADE GOOD TO THE SATISFACTION OF THE OWNER.

SAFETY PROVISIONS:
 IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO ANY WORKS TO DETERMINE IF ASBESTOS AND/OR OTHER HAZARDOUS MATERIAL ARE PRESENT IN THE EXISTING BUILDING.

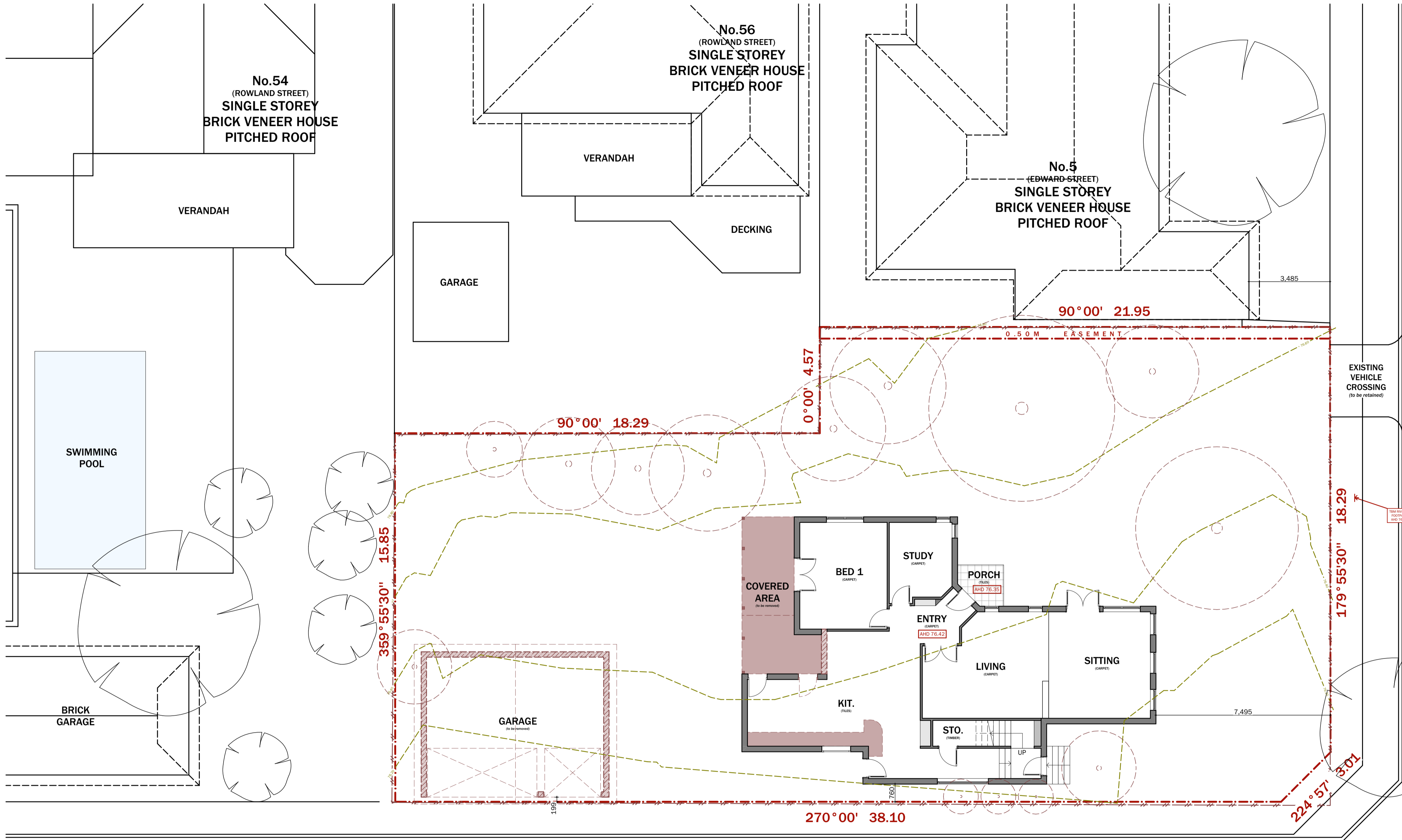
ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR NEIGHBOURING ALLOTMENTS MUST BE ADEQUATELY FENCED AND MADE SAFE PRIOR TO ANY DEMOLITION WORKS.

EXISTING METERS:
 LOCATE THE POSITION OF ALL METERS, WHERE A METER IS TO BE RELOCATED OR REPLACED, IT SHALL BE DONE SO UNDER THE DIRECTION OF THE RELEVANT AUTHORITY. APPROVE NEW LOCATION WITH OWNER.

ALL EXISTING ELECTRICAL, OUTPUTS, CABLES OR APPARATUS SHALL BE DISCONNECTED BEFORE DEMOLITION COMMENCES.

EXISTING UNDERGROUND TANKS:
 ANY SPETIC TANK, STORAGE TANK, SOAK WELL, LEACH DRAIN, OR SIMILAR APPARATUS WITHIN THE SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY. ANY HAZARDOUS CONTAMINATION MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

EXISTING UNDERGROUND SERVICES:
 THE BUILDER IS TO THOROUGHLY INVESTIGATE AND LOCATE ANY AND ALL UNDERGROUND SEWER AND STORMWATER PIPES, WATER SERVICES, GAS SERVICES, DRAINAGE OR ELECTRICAL SERVICES BEFORE COMMENCING ANY SITE WORKS. SUCH ITEMS ARE TO BE IDENTIFIED, CUT AND SEALED THEN REMOVED OR RELOCATED WHERE APPROPRIATE. (DIA BEFORE YOU DIG - pH: 1100)



LEGEND

[Symbol]	EXISTING WALL
[Symbol]	PROPOSED WALL
[Symbol]	EXISTING BUILDING TO BE REMOVED
[Symbol]	EXISTING TREES TO REMAIN
[Symbol]	EXISTING TREES TO REMAIN
[Symbol]	GROUND FLOOR
[Symbol]	FIRST FLOOR
[Symbol]	WATER METER
[Symbol]	GAS METER
[Symbol]	ELECTRICITY POLE
[Symbol]	SEWER PIT
[Symbol]	ELECTRICITY PIT
[Symbol]	TELECOMM PIT
[Symbol]	GRATED DRAINAGE PIT
[Symbol]	JUNCTION PIT
[Symbol]	SIDE ENTRY PIT
[Symbol]	SIGN
[Symbol]	TEMPORARY BENCH MARK

FEATURE SURVEY, DEMOLITION PLAN & TREE PLAN
 SCALE 1:100

MACROBERTSONS LANE

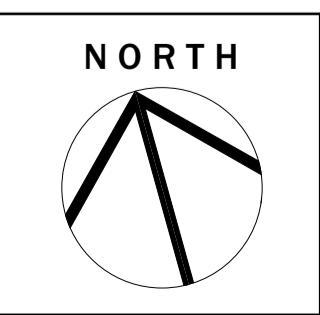
EDWARD STREET



AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21

GENERAL NOTES
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PROJECT	Proposed Residences Extension
CLIENT	Douglas Leng
ADDRESS	3 Edward Street Kew VIC



PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING NAME FEATURE SURVEY & DEMOLITION PLAN	
DRAWN BY J.L.	DATE 01/06/2021
CHECKED BY J.L.	DATE 14/07/2021
DRAWING NUMBER 2 of 7	DRAWING SCALE AS SHOWN
SHEET SIZE A1	

PROJECT NUMBER 210603	WD02
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The Essential First Step.

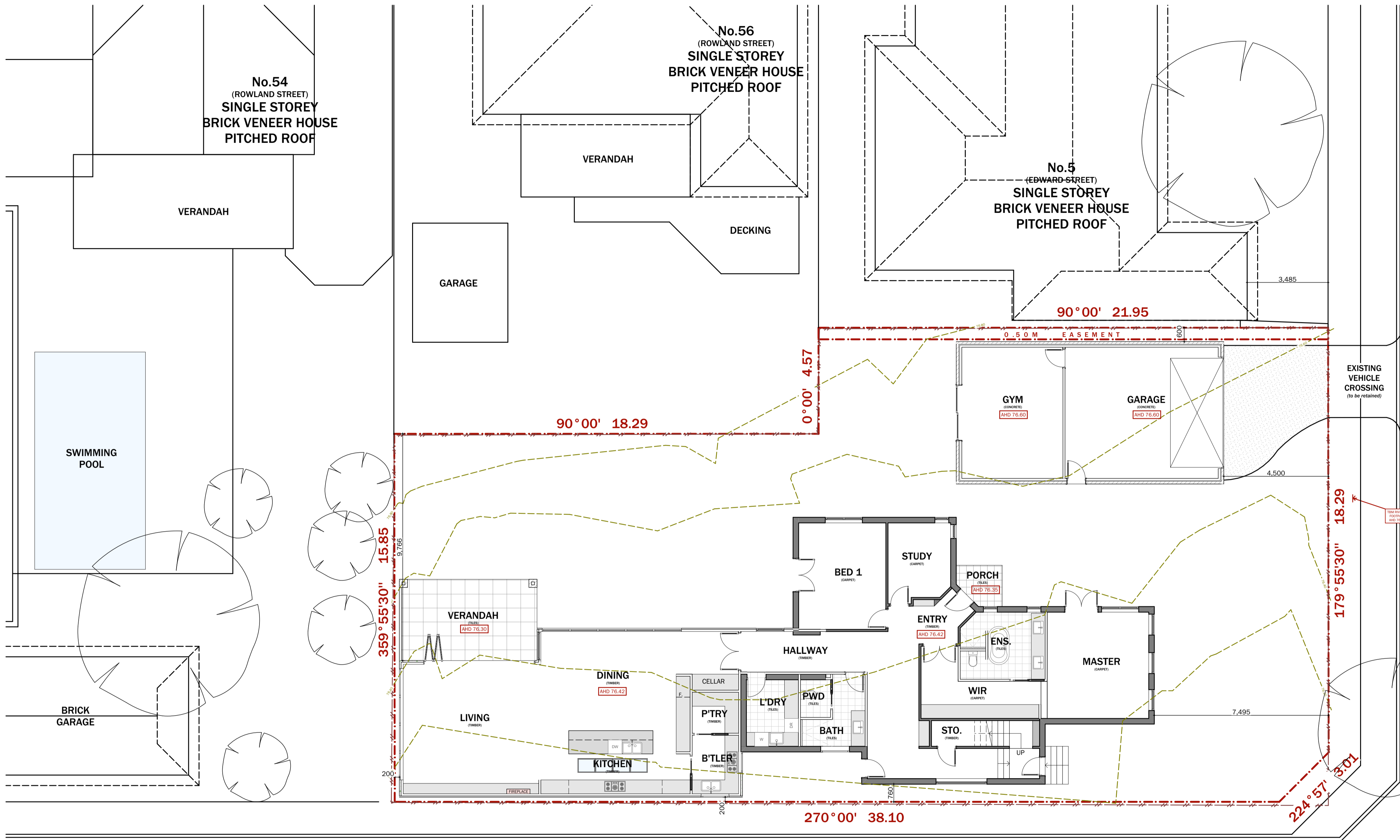
Compliance Energy Rating
 3.12 Deemed To Satisfy Report
 Terry Stamatopoulos
 DMN/10/1015
 Date: 16/08/2021

DEVELOPMENT SUMMARY	
PROPOSED RESIDENTIAL EXTENSION	
SCHEDULE OF PROPOSED AREAS:	
EXISTING GROUND FLOOR AREA	= 134 m ²
EXTENSION AREA	= 92.5 m ²
PROPOSED VERANDAH	= 17.6 m ²
PROPOSED GARAGE & GYM	= 69.5 m ²
TOTAL GROUND FLOOR BUILDING AREA	= 313.6m²
SITE AREA	
- EXISTING BUILDING SITE COVERAGE	= 732 m ² (100%)
- PROPOSED BUILDING SITE COVERAGE	= 134 m ² (18.30%)
- PROPOSED DRIVEWAYS / HARD PAVING SITE COVERAGE	= 313.6 m ² (42.84%)
- PROPOSED TOTAL IMPERVIOUS AREA (IMPERVIOUS SITE AREA)	= 59 m ² (8.06%)
- PROPOSED TOTAL IMPERVIOUS AREA (IMPERVIOUS SITE AREA)	= 372.6 m ² (50.90%)
TOTAL PERVIOUS AREA (permeable site area)	
- PRIVATE OPEN SPACE (P.O.S)	= 359 m ² (49.04%)
- SECLUDED PRIVATE OPEN SPACE (S.P.O.S)	= 380 m ² (51.91%)
- SECLUDED PRIVATE OPEN SPACE (S.P.O.S)	= 112 m ² (15.3%)

IMPORTANT NOTES: BUILDERS/CONTRACTORS TO CHECK ALL DIMENSIONS ONSITE BEFORE CONSTRUCTION COMMENCE. PLEASE CONTACT DESIGNER/ENGINEER IMMEDIATELY IF REQUIRE ANY AMENDMENT ON DRAWINGS.

DRAINAGE FROM THE ROOF GUTTERING/DOWNPICES TO BE CONNECTED THE EXISTING STORM WATER DRAINAGE VIA 90mm PVC PIPES.

EDWARD STREET



LEGEND	
	EXISTING WALL
	PROPOSED WALL
	EXISTING BUILDING TO BE REMOVED
	EXISTING TREES TO REMAIN
	EXISTING TREES TO REMAIN
	GROUND FLOOR
	FIRST FLOOR
	WATER METER
	GAS METER
	ELECTRICITY POLE
	SEWER PIT
	ELECTRICITY PIT
	TELECOMM PIT
	GRATED DRAINAGE PIT
	JUNCTION PIT
	SIDE ENTRY PIT
	SIGN
	TEMPORARY BENCH MARK

PROPOSED SITE PLAN
 SCALE 1:100

DRAINAGE NOTES:
 STORMWATER AND SULLAGE SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF LOCAL AUTHORITIES.

DP COLORBOND DOWNPIPE
 DPS COLORBOND DOWNPIPE WITH SPREADER
 DPR COLORBOND DOWNPIPE WITH RAINWATER HEAD

DOWNPICES SHALL BE MINIMUM 90x90mm @ 100x50mm.

ALL EXTERNAL GUTTERS TO BE A SLOTTED TYPE TO PROVIDE OVERFLOW EXTERNALLY.

DOWNPICES TO BE LOCATED WITHIN 1200mm OF A VALLEY GUTTER WHERE PRACTICAL. WHERE DOWNPIPES ARE LOCATED MORE THAN 1200mm FROM A VALLEY GUTTER, PROVISION FOR AN OVERFLOW MUST BE MADE (SLOTTED GUTTER OR SIMILAR APPROVED).

DOWNPICE LOCATIONS SHOWN ON PLANS ARE SUGGESTIONS ONLY AND MAY VARY FOR PRACTICAL CONSTRUCTION REASONS. HOWEVER, A MAXIMUM OF 12m OF GUTTER LENGTH TO BE SERVED BY EACH DOWNPIPE.

PROVIDE 90 AGI DRAINS AT BASE OF ALL CUTS, RETAINING WALLS AND TO HIGH SIDE OF BUILDING AND 300mm FROM ANY BOUNDARY. CONFIRM ON SITE.

IMPORTANT NOTE: WHERE THERE IS NO LEGAL POINT OF DISCHARGE ALL STORM WATER MUST BE MAINTAINED ON SITE AND DIRECTED IN AN EXISTING DAM.

DOMESTIC WATER TANKS:
 SELECTED 3,000L (MINIMUM) RAINWATER TANK TO COLLECT MORE THAN 50m² OF ROOF AREA AND BE INSTALLED TO MANUFACTURES DETAILS. CONNECT TO TOILET FLUSHING SYSTEM.

PLANNING PERMIT CONDITIONS:
 THE SET OF PLANS (WD3-WD7) ARE TO BE READ IN CONJUNCTION WITH ENDORSED PLANNING DRAWINGS AND PLANNING PERMIT CONDITIONS. PERMIT NUMBER: n/a
 BUILDER SHALL MAKE HIMSELF AWARE OF ALL PLANNING REQUIREMENTS, PLANNING CONDITIONS AND ASSOCIATED PLANS SHALL TAKE PRECEDENCE OVER ANY OTHER DRAWINGS AND DOCUMENTS UNLESS OTHERWISE APPROVED.



AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21

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PROJECT	Proposed Residences Extension
CLIENT	Douglas Leng
ADDRESS	3 Edward Street Kew VIC



PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING NAME			
PROPOSED SITE PLAN			
DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.	DRAWING NUMBER	DRAWN BY	DATE
3 of 7	J.L	01/06/2021	PROJECT NUMBER
DRAWING SCALE	CHECKED BY	DATE	210603
AS SHOWN	J.L	14/07/2021	WD03
SHEET SIZE	SHEET NUMBER		A1

IMPORTANT NOTE: TRUSS MANUFACTURER MUST BE MADE AWARE THAT EAVE MEASUREMENTS ARE TAKEN FROM OUTSIDE FACE OF STUD WALL WHEN THERE IS NO BRICKWORK PROVIDED.

ALL ROOF AND WALL BRACING & ROOF TIE DOWN IN ACCORDANCE WITH AS 1684.

ALL SMOKE ALARMS TO BE INTERLINKED TO EACH OTHER AND CONNECTED TO MAINS POWER WITH BATTERY BACK UP

DRAINAGE FROM THE ROOF GUTTERING/DOWNPipes TO BE CONNECTED THE EXISTING STORM WATER DRAINAGE VIA 90mm PVC PIPES.

IMPORTANT NOTES: BUILDERS/CONTRACTORS TO CHECK ALL DIMENSIONS ONSITE BEFORE CONSTRUCTION COMMENCE. PLEASE CONTACT DESIGNER/ENGINEER IMMEDIATELY IF REQUIRE ANY AMENDMENT ON DRAWINGS.

Compliance Energy Rating
3.12 Deemed To Satisfy Report
Terry Stamatopoulos
DMN/10/1015
Date: 16/08/2021

TIMBER SEPECIFICATIONS

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DESIGN DETAILS AND MEMBER SCHEDULE. STRUCTURAL PLANS SHALL TAKE PRECEDENCE OVER ANY TIMBER SELECTION GIVEN BELOW.
(NOTE: FLW = FLOOR LOAD WIDTH, RLW = ROOF LOAD WIDTH, UFLW = UPPER FLOOR WIDTH, CTS = CENTRES, MAX = MAXIMUM, MIN = MINIMUM)

BUILDING CONSTRUCTION DESCRIPTION

GROUND FLOOR
- STRUCTURAL CONCRETE FLOOR SLABS
- BRICK VENEER TIMBER WALL
- DOUBLE BRICK WALL
- TIMBER STUD WALL WITH PLASTER
- PREFABRICATED TIMBER TRUSSES
- COLORBOND FLAT ROOFING

FIRST FLOOR
- PREFABRICATED TIMBER FLOOR JOISTS
- LIGHTWEIGHT CLADDING TO TIMBER WALL FRAMING
- TIMBER STUD WALL WITH PLASTER
- PREFABRICATED TIMBER ROOF TRUSSES
- TILE PITCH ROOFING

GROUND OR UPPER FRAMING

FLOOR FRAMING:
- REFER TO ENGINEERS DRAWINGS FOR ALL DETAILS
- PREFABRICATED TIMBER FLOOR JOISTS TO MANUFACTURERS DETAILS (300mm HIGH NOMINAL @ 600 CTS)
- STRUCTURAL BEAMS TO ENGINEERS DETAILS
- 30mm PLATFORM FLOORING (FLOOR FINISHES AS SELECTED)

LOAD BEARING WALLS:
- JAMB STUDS
- 90x45 MGP10 - MAX. OPENING = 1500
- 2/90x35 MGP10 - MAX. OPENING = 2500
- 2/90x45 MGP 10 - MAX. OPENING = 3700
- MAX. HEIGHT = 2700 / MAX. RLW = 6000
- MAX. HEIGHT = 2700 / MAX. RLW = 6000
- MAX. HEIGHT = 2700 / MAX. RLW = 6000

NON-LOAD BEARING WALLS:

- TOP + BOTTOM WALL PLATES
- 45x90 MGP10
- COMMON STUDS @ MAX. 450 CTS
- 35x90 MGP10
- JAMB STUDS
- 90x45 MGP10
- NOGGINGS @ MAX. 1350 CTS
- 35x70 MGP10
- BRACING IN ACCORDANCE WITH AS 1684.

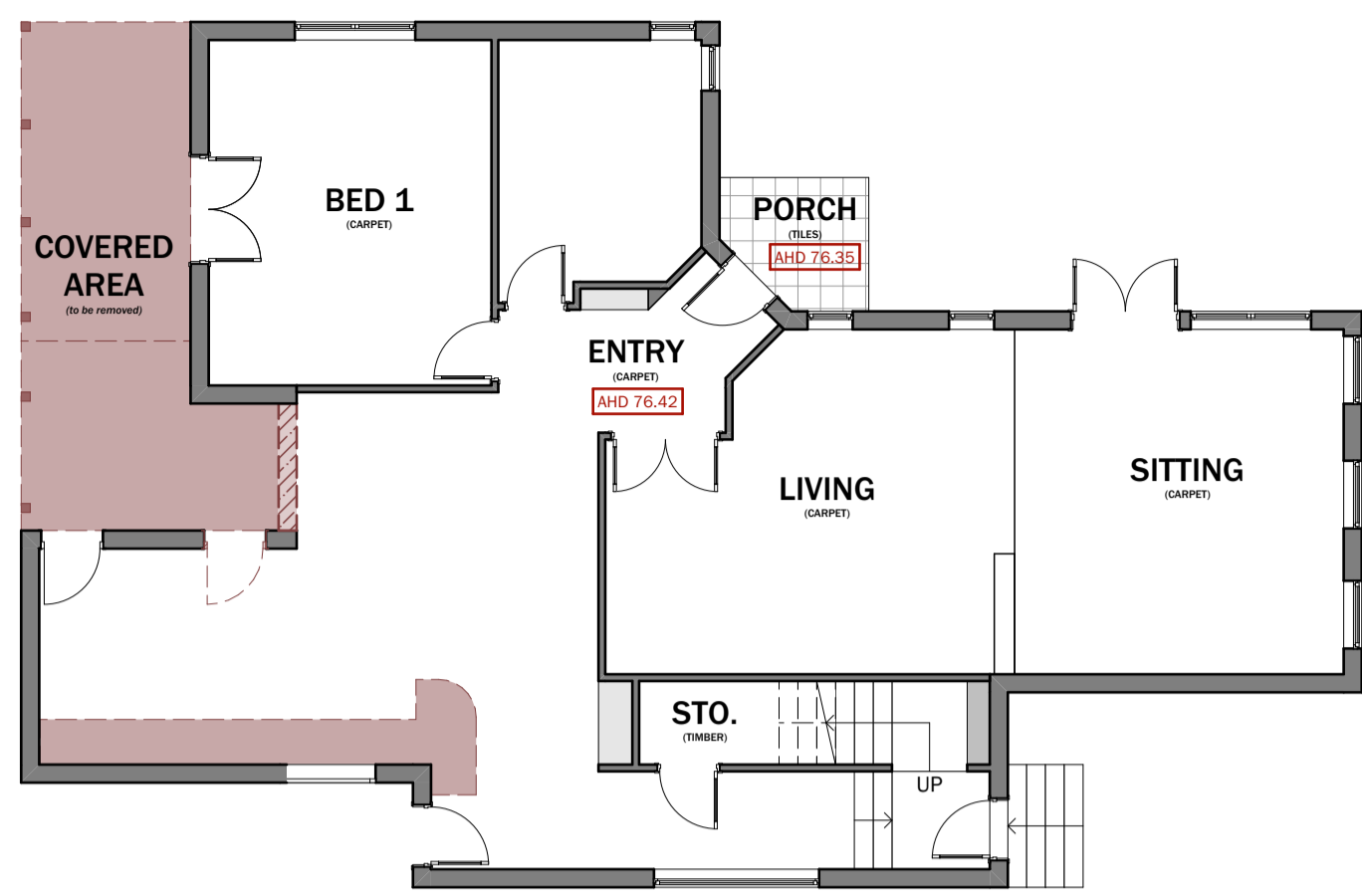
ROOFING:

- PREFABRICATED TIMBER ROOF TRUSSES @ MAX. 600 CTS
- INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ROOFING BATTENS @ MAX. 330 CTS (OVERHANG MAX. 200mm)
- 35x45 F5 FINE
- MAX. SPAN = 700
- METAL CEILING BATTENS @ 600 CTS
- ROOF BRACING & TIE DOWN IN ACCORDANCE WITH AS 1684
- GENERALLY, MAXIMUM TIE DOWN SPACING = 600mm.

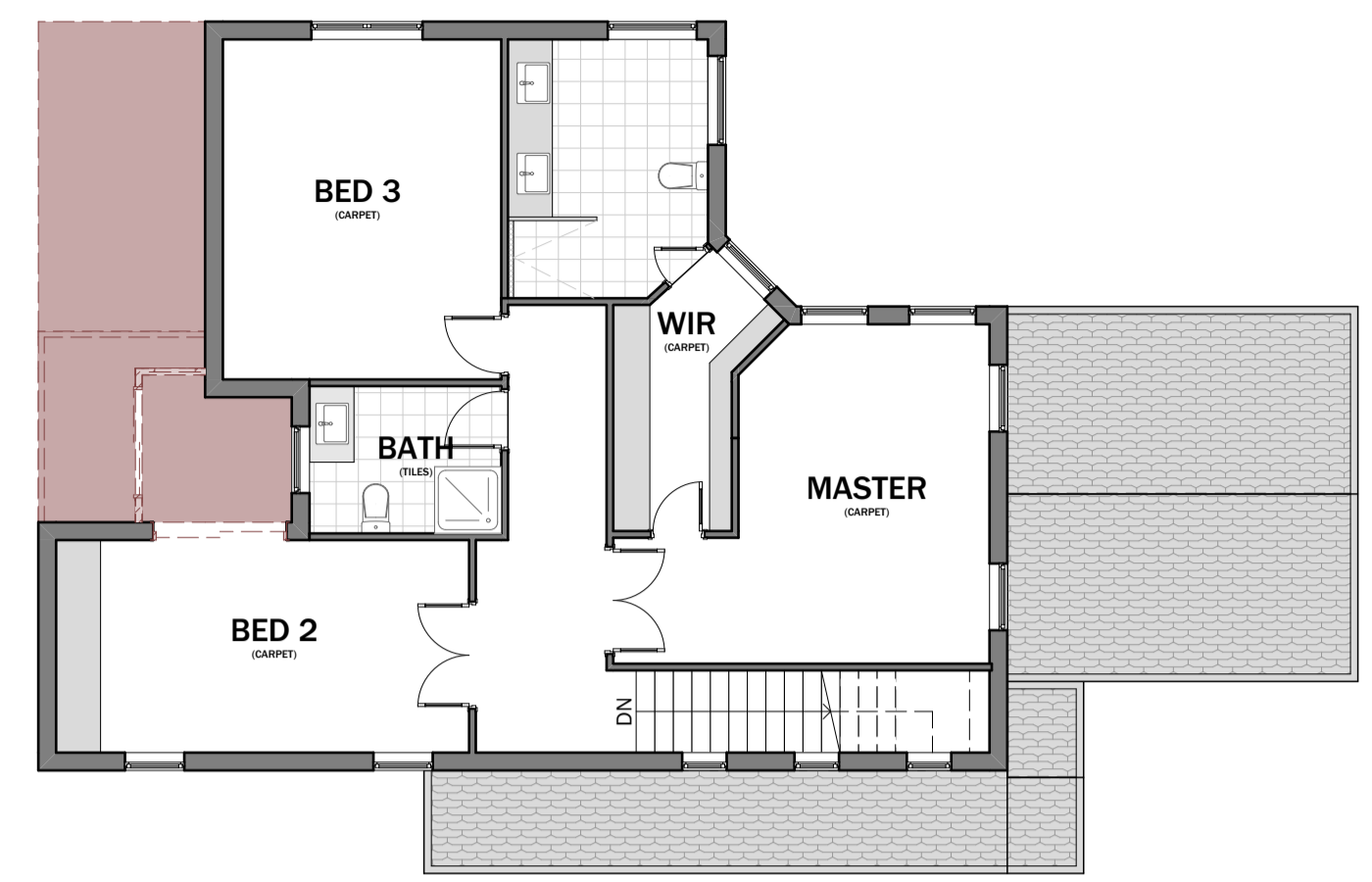
LOWER STOREY OF TIMBER FRAMING

LOAD BEARING WALLS:
- JAMB STUDS
- 2/90x35 MGP10 - MAX. OPENING = 2000 / MAX. HEIGHT = 2700
- MAX. RLW = 6000 / MAX. UFLW = 3600
- 2/90x45 MGP10 - MAX. OPENING = 2700 / MAX. HEIGHT = 2700
- MAX. RLW = 6000 / MAX. UFLW = 3600
- 3/90x35 MGP10 - MAX. OPENING = 3300 / MAX. HEIGHT = 2700
- MAX. RLW = 6000 / MAX. UFLW = 3600
- BRACING IN ACCORDANCE WITH AS 1684.

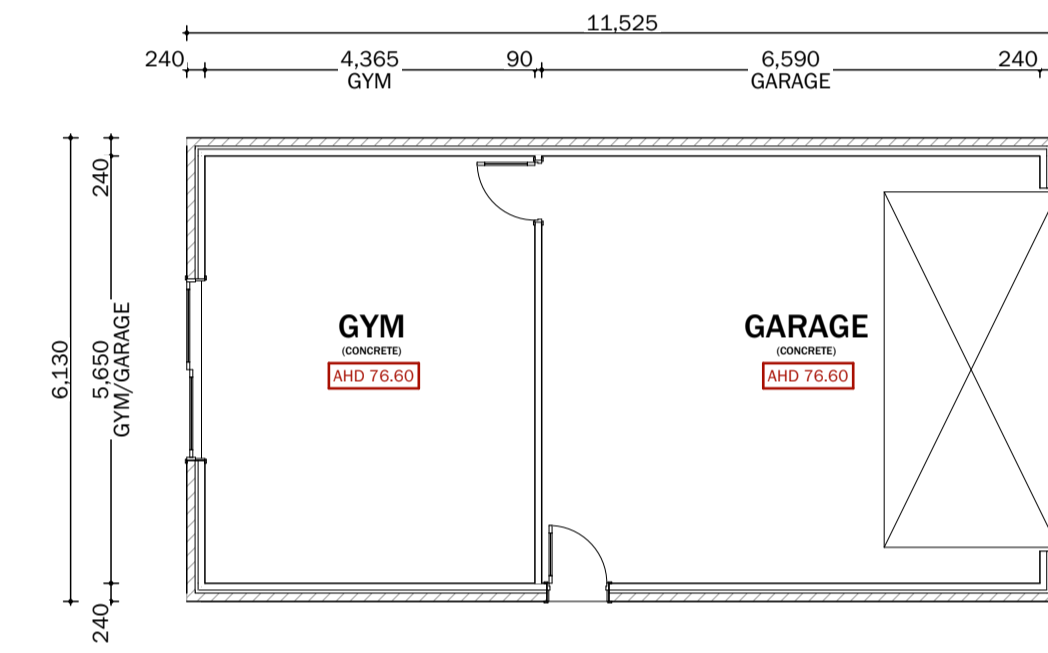
DEVELOPMENT SUMMARY	
PROPOSED RESIDENTIAL EXTENSION	
SCHEDULE OF PROPOSED AREAS:	
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PROPOSED GARAGE & GYM	= 69.5 m ²
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- EXISTING BUILDING SITE COVERAGE	= 134 m ² (100%)
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TOTAL PERVIOUS AREA (permeable site area)	= 359 m² (49.04%)
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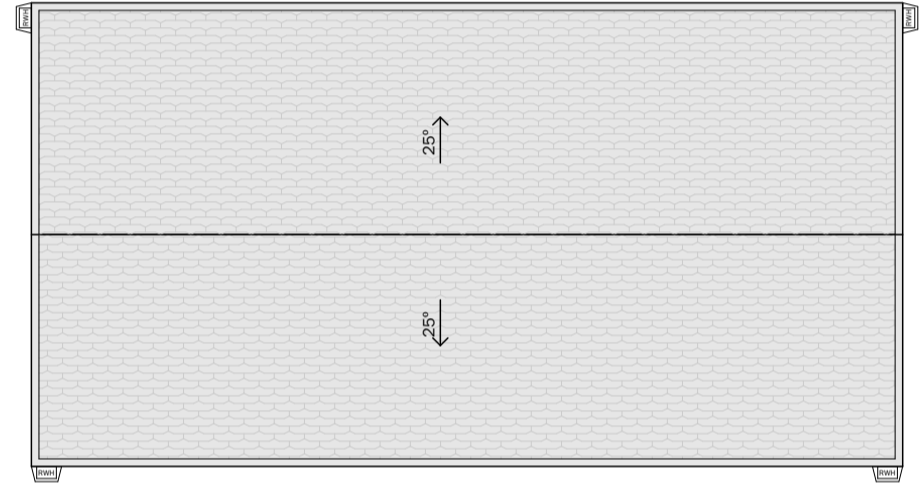
GROUND FLOOR DEMOLITION PLAN
SCALE 1:100



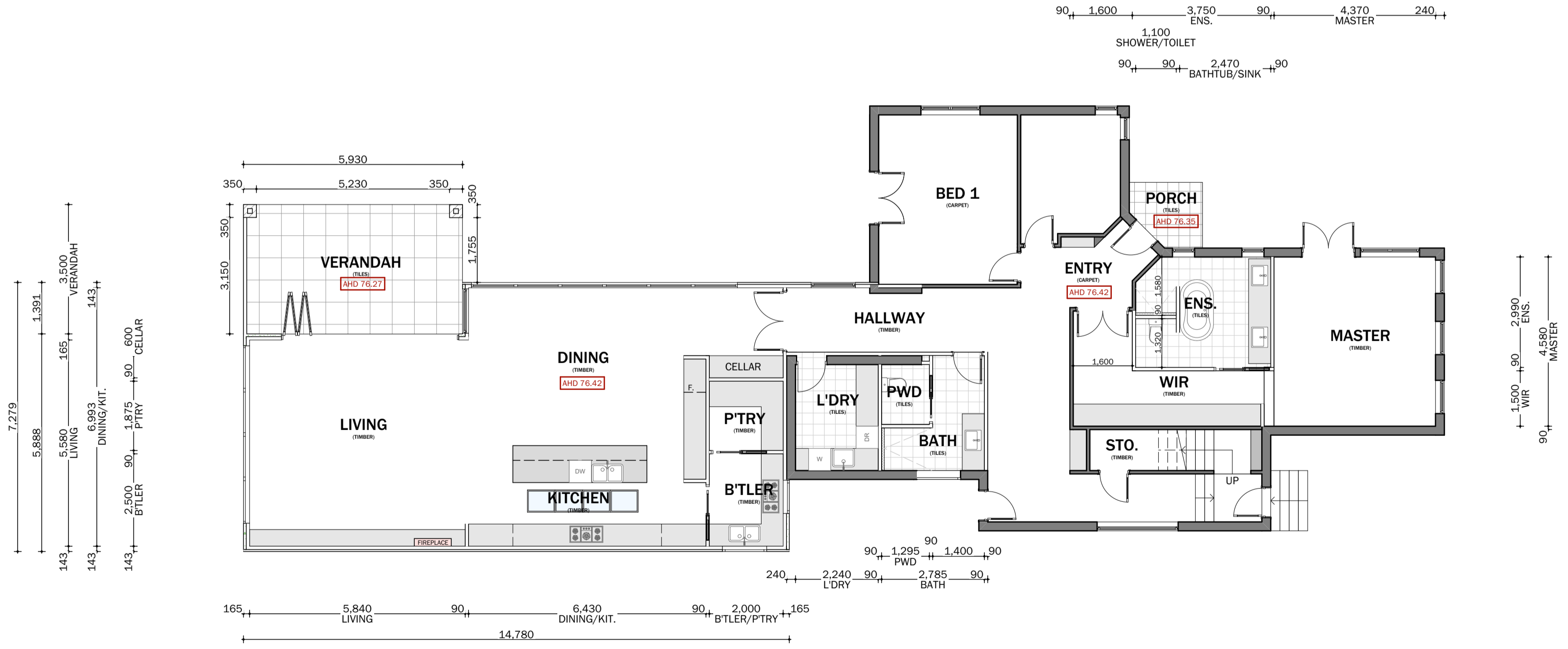
FIRST FLOOR DEMOLITION PLAN
SCALE 1:100



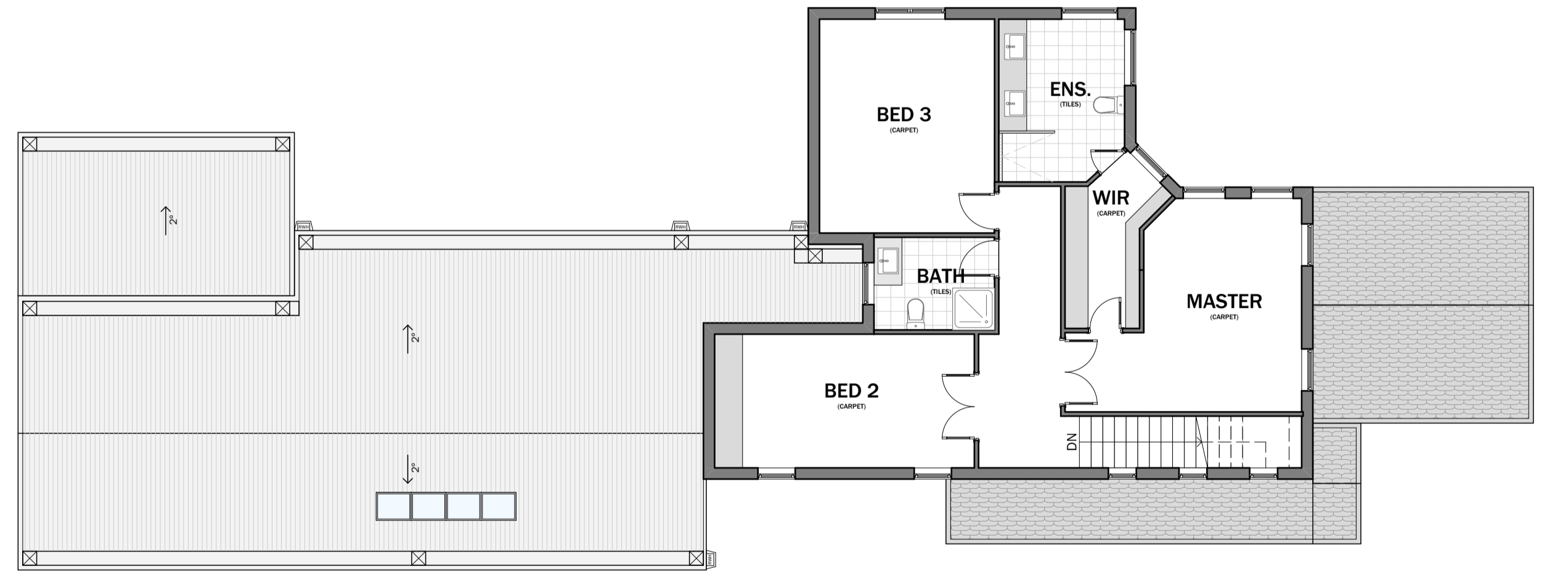
PROPOSED GARAGE FLOOR PLAN
SCALE 1:100



PROPOSED GARAGE ROOF PLAN
SCALE 1:100



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



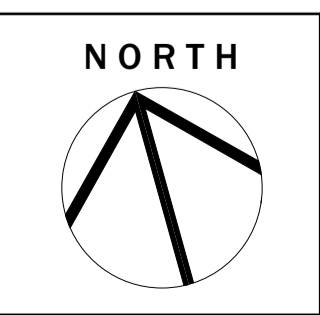
PROPOSED FIRST FLOOR PLAN
SCALE 1:100

KEVER
T: (03) 9486 8030
W: www.kever.com.au
E: info@kever.com.au
A: Suite 2, 24 Lakeside Drive Burnside East

AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21

GENERAL NOTES
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PROJECT	Proposed Residences Extension
CLIENT	Douglas Leng
ADDRESS	3 Edward Street Kew VIC

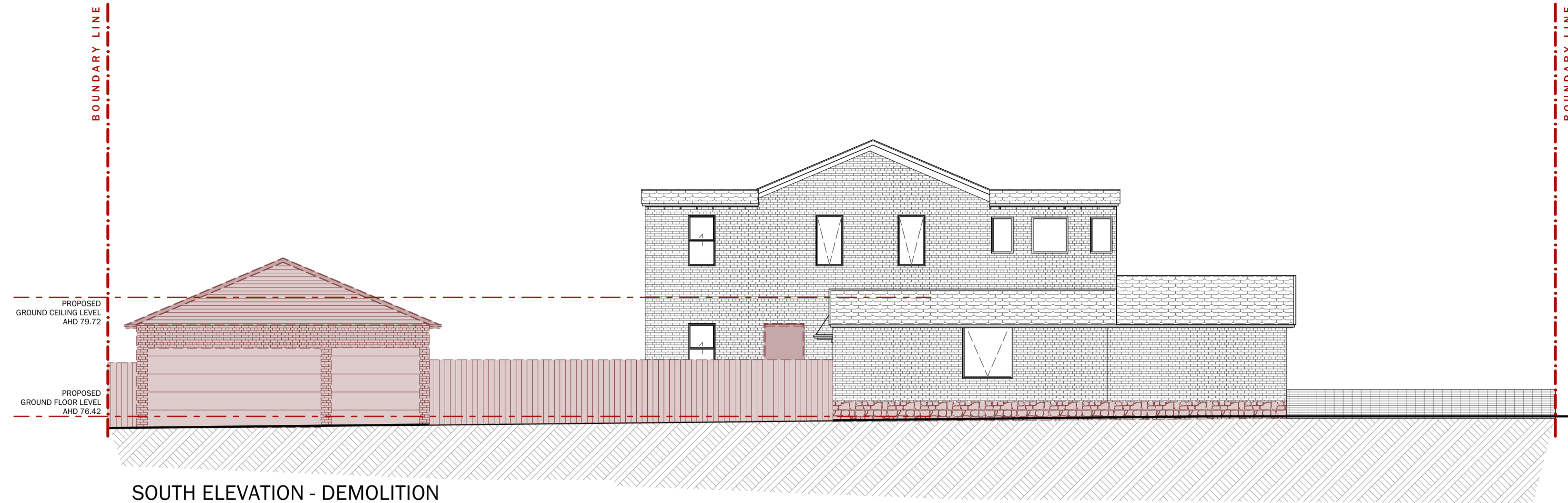


PRELIMINARY - NOT FOR CONSTRUCTION

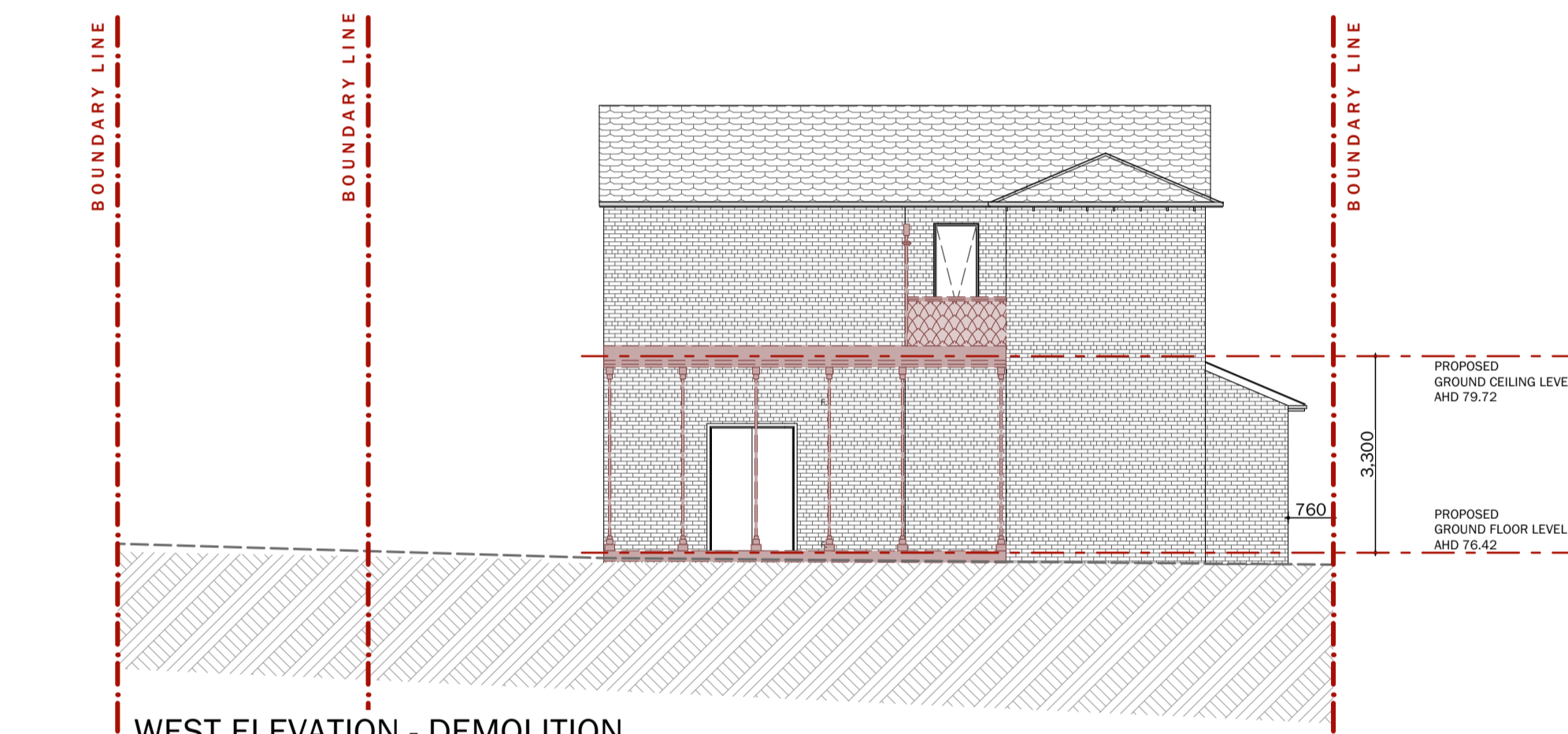
DRAWING NAME DEMOLITION & PROPOSED FLOOR PLANS	
DRAWN BY J.L.	DATE 01/06/2021
CHECKED BY J.L.	DATE 14/07/2021
DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.	DRAWING NUMBER 4 of 7

DRAWING SCALE AS SHOWN	SHEET SIZE A1	PROJECT NUMBER 210603
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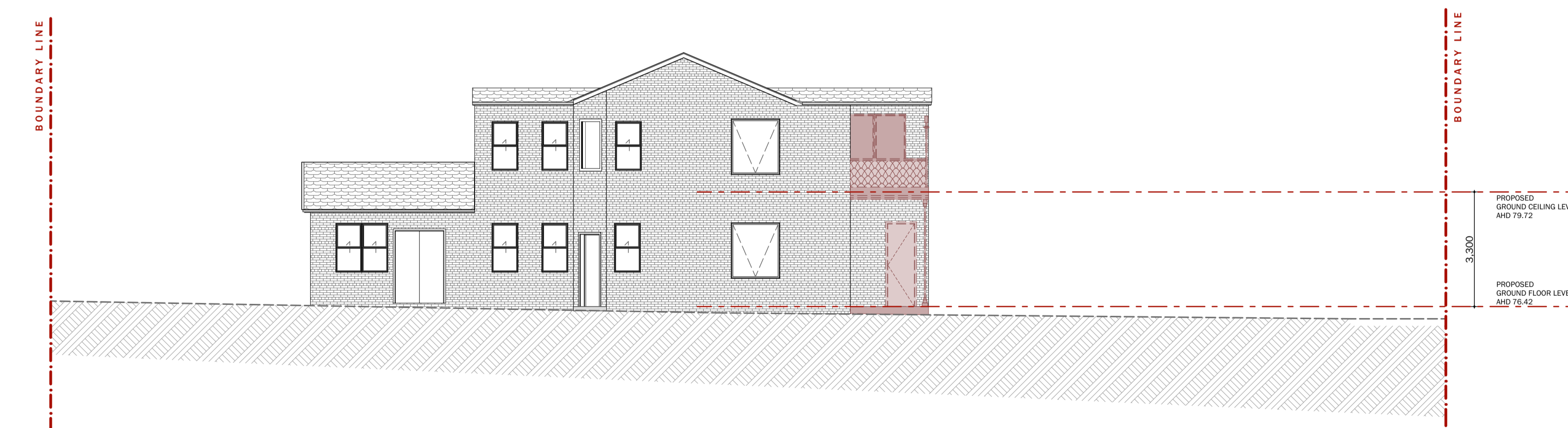
WD04



SOUTH ELEVATION - DEMOLITION
SCALE 1:100



WEST ELEVATION - DEMOLITION
SCALE 1:100



NORTH ELEVATION - DEMOLITION
SCALE 1:100

ALL ROOF AND WALL BRACING & ROOF TIE DOWN IN ACCORDANCE WITH AS 1684.

ALL SMOKE ALARMS TO BE INTERLINKED TO EACH OTHER AND CONNECTED TO MAINS POWER WITH BATTERY BACK UP

DRAINAGE FROM THE ROOF GUTTERING/DOWNPipes TO BE CONNECTED THE EXISTING STORM WATER DRAINAGE VIA 90mm PVC PIPES.

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Compliance Energy Rating
3.12 Deemed To Satisfy Report
Terry Stamatopoulos
DMN/10/1015
Date: 16/08/2021

DEMOLITION NOTES

GENERAL:
ALL DEMOLITION WORK SHALL BE CARRIED OUT IN A CAREFUL AND SYSTEMATIC MANNER. PRECAUTIONS MUST BE TAKEN BEFORE AND DURING DEMOLITION IN ACCORDANCE WITH AS-2601.

ALL DEMOLITION WORKS AND WASTE REMOVAL SHALL BE UNDERTAKEN BY A LICENSED CONTRACTOR TO ENSURE THE SAFETY OF ALL PERSONS. ALL NECESSARY MEASURES ARE TO BE TAKEN TO AVOID DAMAGE, INTERFERENCE AND PROTECTION OF ADJACENT PUBLIC OR PRIVATE LANDS, PROPERTY AND SERVICES.

PROTECTIVE OUTRIGGERS, FENCES, AWNINGS, HOARDING, BARRICADES AND THE LIKE MUST BE INSTALLED WHERE NECESSARY TO GUARD AGAINST DANGER TO LIFE OR PROPERTY, OR AS REQUIRED BY THE RELEVANT BUILDING SURVEYOR.

ALL PRACTICABLE PRECAUTIONS SHALL BE TAKEN TO AVOID DANGER FROM COLLAPSE OF A BUILDING WHEN ANY PART OF THE STRUCTURE IS REMOVED.

ALL DEMOLISHED STRUCTURES ABOVE AND BELOW GROUND LEVEL INCLUDING ANY FOOTINGS ARE TO BE REMOVED FROM SITE.

ALL DEMOLISHED MATERIAL AND SEDIMENT MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

ANY WALLS TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED COMPLETELY UNLESS OTHERWISE NOTED. ALL PREVIOUS WALL TO FLOOR, WALL TO CEILING OR WALL TO WALL JUNCTIONS SHALL BE MADE GOOD WITH FINISHES TO MATCH EXISTING. BUILDER SHALL MAKE HIMSELF AWARE OF ALL STRUCTURAL CONSEQUENCES PRIOR REMOVAL AND ALLOW FOR REMOVAL WORKS WHERE REQUIRED.

INTERFACES:
ALL INTERFACES BETWEEN NEW AND EXISTING WORKS SHALL BE MADE GOOD TO THE SATISFACTION OF THE OWNER.

SAFETY PROVISIONS:
IT IS THE BUILDER'S RESPONSIBILITY TO CARRY OUT AN AUDIT PRIOR TO ANY WORKS TO DETERMINE IF ASBESTOS AND/OR OTHER HAZARDOUS MATERIAL ARE PRESENT IN THE EXISTING BUILDING.

ANY SWIMMING POOLS, PONDS OR THE LIKE EITHER ON THE DEMOLITION SITE OR NEIGHBOURING ALLOTMENTS MUST BE ADEQUATELY FENCED AND MADE SAFE PRIOR TO ANY DEMOLITION WORKS.

EXISTING METERS:
LOCATE THE POSITION OF ALL METERS, WHERE A METER IS TO BE RELOCATED OR REPLACED, IT SHALL BE DONE SO UNDER THE DIRECTION OF THE RELEVANT AUTHORITY. APPROVE NEW LOCATION WITH OWNER.

ALL EXISTING ELECTRICAL OUTPUTS, CABLES OR APPARATUS SHALL BE DISCONNECTED BEFORE DEMOLITION COMMENCES.

EXISTING UNDERGROUND TANKS:
ANY SPETIC TANK, STORAGE TANK, SOAK WELL, LEACH DRAIN, OR SIMIAR APPARATUS WITHIN THE SITE SHALL BE EMPTIED AND FILLED WITH CLEAN SAND, OR REMOVED ENTIRELY. ANY HAZARDOUS CONTAMINATION MUST BE CONTROLLED WITH POLLUTION CONTROL METHODS TO THE SATISFACTION OF THE E.P.A.

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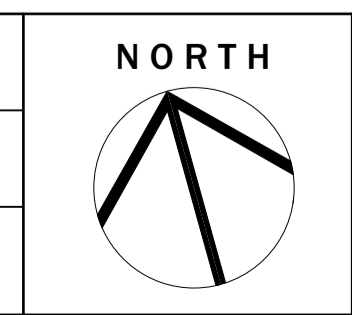
The Essential First Step.

K E V E R
N
T: (03) 9486 8330
W: www.everken.com.au
E: info@everken.com.au
A: Suite 2, 24 Lakeside Drive Burnwood East

AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21

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CLIENT	Douglas Leng
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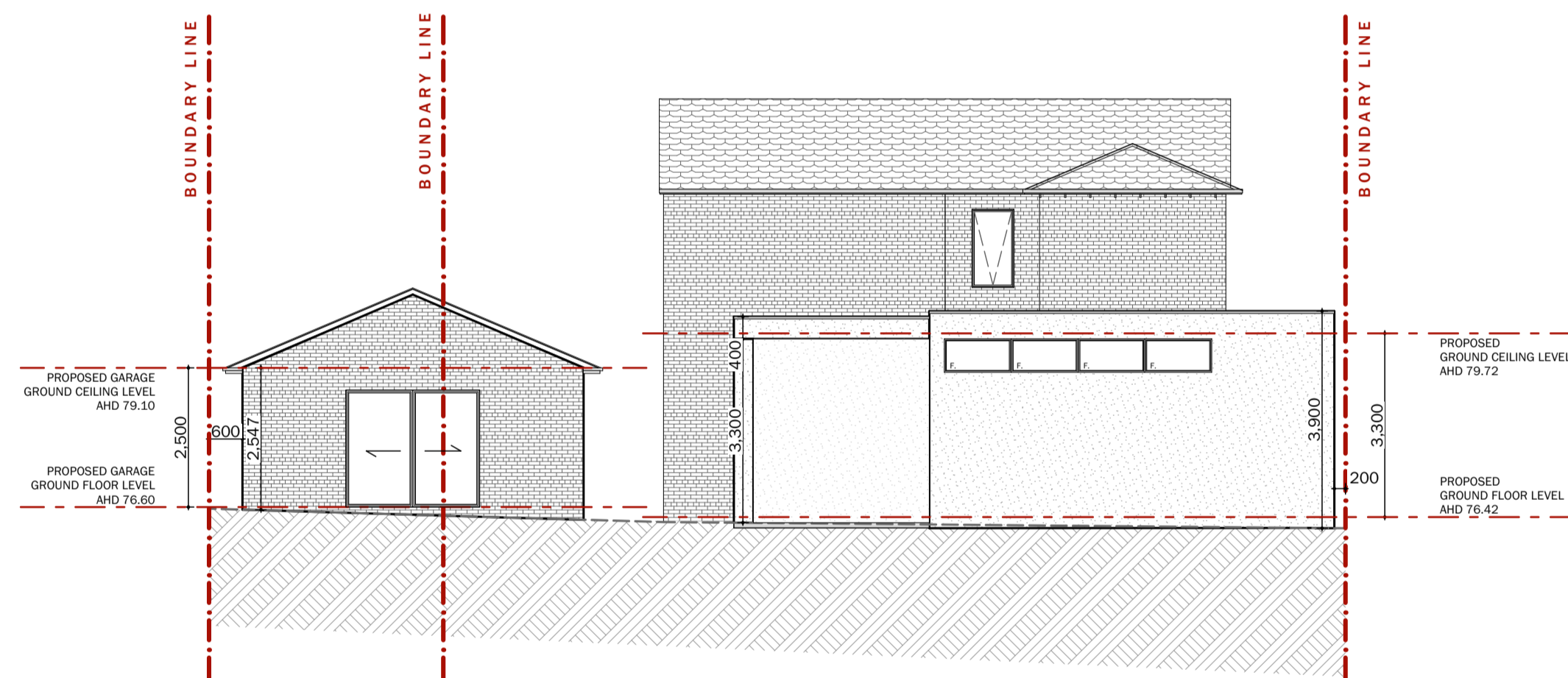
PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING NAME DEMOLITION & PROPOSED ELEVATIONS, SECTIONS & DETAILS	
DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.	DRAWING NUMBER 5 of 7

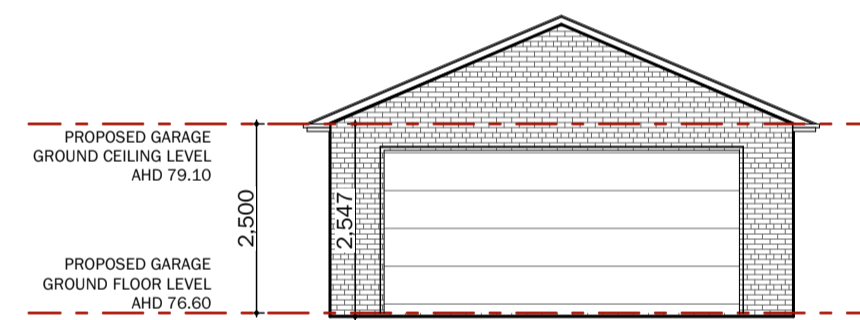
DRAWN BY J.L.	DATE 01/06/2021	PROJECT NUMBER 210603
CHECKED BY J.L.	DATE 14/07/2021	WD05
DRAWING SCALE AS SHOWN	SHEET SIZE A1	



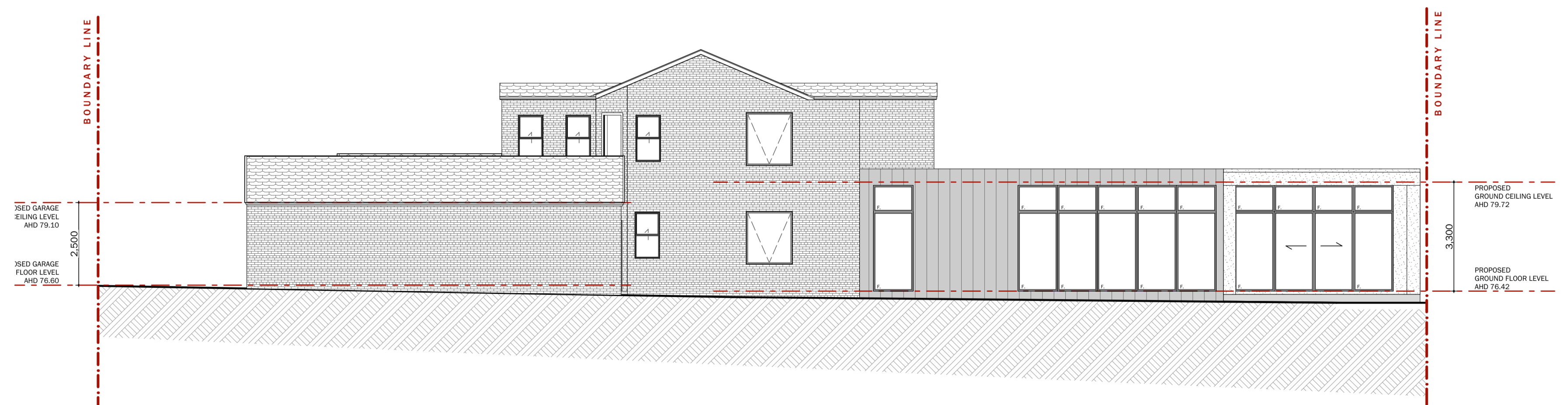
PROPOSED SOUTH ELEVATION
SCALE 1:100



PROPOSED WEST ELEVATION
SCALE 1:100



PROPOSED EAST ELEVATION - GARAGE
SCALE 1:100



PROPOSED NORTH ELEVATION
SCALE 1:100

WEEP HOLES & FLASHINGS:

PROVIDE WEEP HOLES AT MAX. 1200mm CTRS TO ALL EXTERNAL MASONRY WALLS IN ACCORDANCE WITH BCA/NCC - volume 2, PART 3.3.4.

PROVIDE WEEP HOLES OVER OPENINGS IN EXTERNAL MASONRY WALLS AS REQUIRED AT MAX. 1200mm CTRS. EXCEPT WHERE OPENINGS ARE PROTECTED BY EAVES THREE TIMES THE HEIGHT BETWEEN THE WINDOW HEAD AND LOWEST POINT OF EAVE.

THE INSTALLATION OF HEAD AND SILL FLASHINGS OVER AND BELOW OPENINGS IN MASONRY WALLS TO BE IN ACCORDANCE WITH THE BCA/NCC - volume 2, PART 3.5.3.6.

CONTROL JOINTS:

PROVIDE CONTROL JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH AS-3700.
ALL CONTROL JOINTS MUST COMPLY WITH THE SOIL REPORT AND/OR AS INDICATED BY THE STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

ARTICULATION JOINTS:

PROVIDE FULL HEIGHT ARTICULATION JOINTS IN MASONRY WALLS SPACED IN ACCORDANCE WITH THE SOIL REPORT AND THE CEMENT AND CONCRETE ASSOCIATION OF AUSTRALIA TECHNICAL NOTE 61.

THEY ARE REQUIRED TO BE 30mm WIDE WITH A POLYTHENE FOAM BACKING ROD AND FILLED WITH AN APPROVED FLEXIBLE SEALANT TO MANUFACTURERS DETAILS. FINISHED WITH COLOUR TO SUIT.

MUST COMPLY WITH AS-3700:2011, THE BCA/NCC AND OR AS INDICATED BY STRUCTURAL ENGINEERS COMPUTATIONS AND DRAWINGS.

ALL ROOF AND WALL BRACING & ROOF TIE DOWN IN ACCORDANCE WITH AS 1684.

ALL SMOKE ALARMS TO BE INTERLINKED TO EACH OTHER AND CONNECTED TO MAINS POWER WITH BATTERY BACK UP

DRAINAGE FROM THE ROOF GUTTERING/DOWNPipes TO BE CONNECTED THE EXISTING STORM WATER DRAINAGE VIA 90mm PVC PIPES.

IMPORTANT NOTE: TRUSS MANUFACTURER MUST BE MADE AWARE THAT EAVE MEASUREMENTS ARE TAKEN FROM OUTSIDE FACE OF STUD WALL WHEN THERE IS NO BRICKWORK PROVIDED.

IMPORTANT NOTES: BUILDERS/CONTRACTORS TO CHECK ALL DIMENSIONS ONSITE BEFORE CONSTRUCTION COMMENCE. PLEASE CONTACT DESIGNER/ENGINEER IMMEDIATELY IF REQUIRE ANY AMENDMENT ON DRAWINGS.

Compliance Energy Rating

3.12 Deemed To Satisfy Report

Terry Stamatopoulos
DMN/10/1015

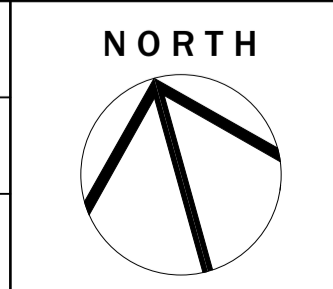
Date: 16/08/2021



AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21

GENERAL NOTES
 THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS PRIOR TO CONSTRUCTION. NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE ARCHITECT/DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
 DO NOT SCALE DRAWINGS.
 ALL BOUNDARIES AND CONTOUR SUBJECT TO SURVEY.
 THE DRAWING REMAINS THE PROPERTY OF EVERKEEN BUILDING DESIGN.
 THIS DRAWING IS PROTECTED BY COPYRIGHT LAWS AND MUST NOT AMENDED OR COPIED IN WHOLE OR IN PART. THIS DRAWING IS TO BE USED ONLY FOR THE REASON FOR WHICH IT WAS ISSUED.

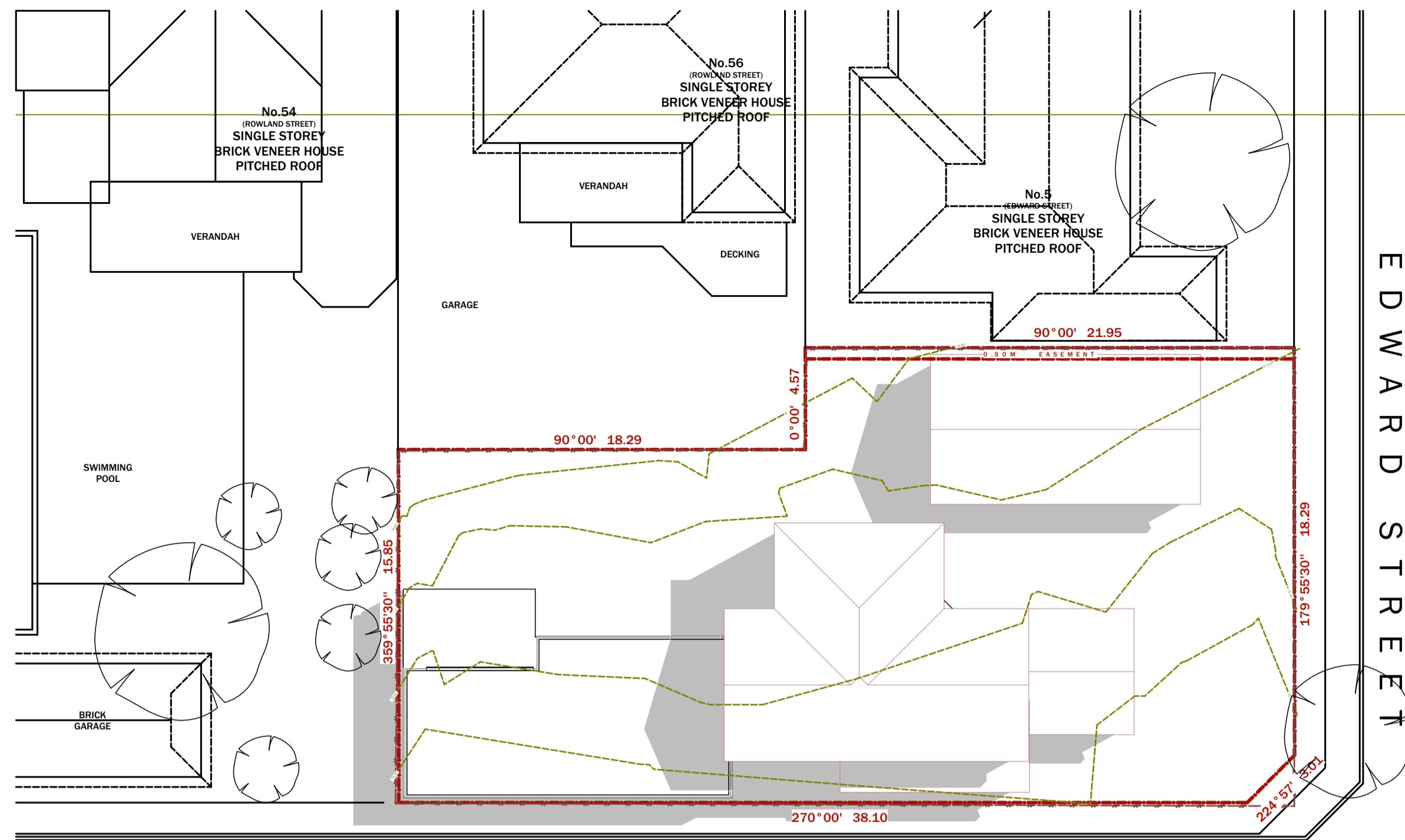
PROJECT	Proposed Residences Extension
CLIENT	Douglas Leng
ADDRESS	3 Edward Street Kew VIC



PRELIMINARY - NOT FOR CONSTRUCTION

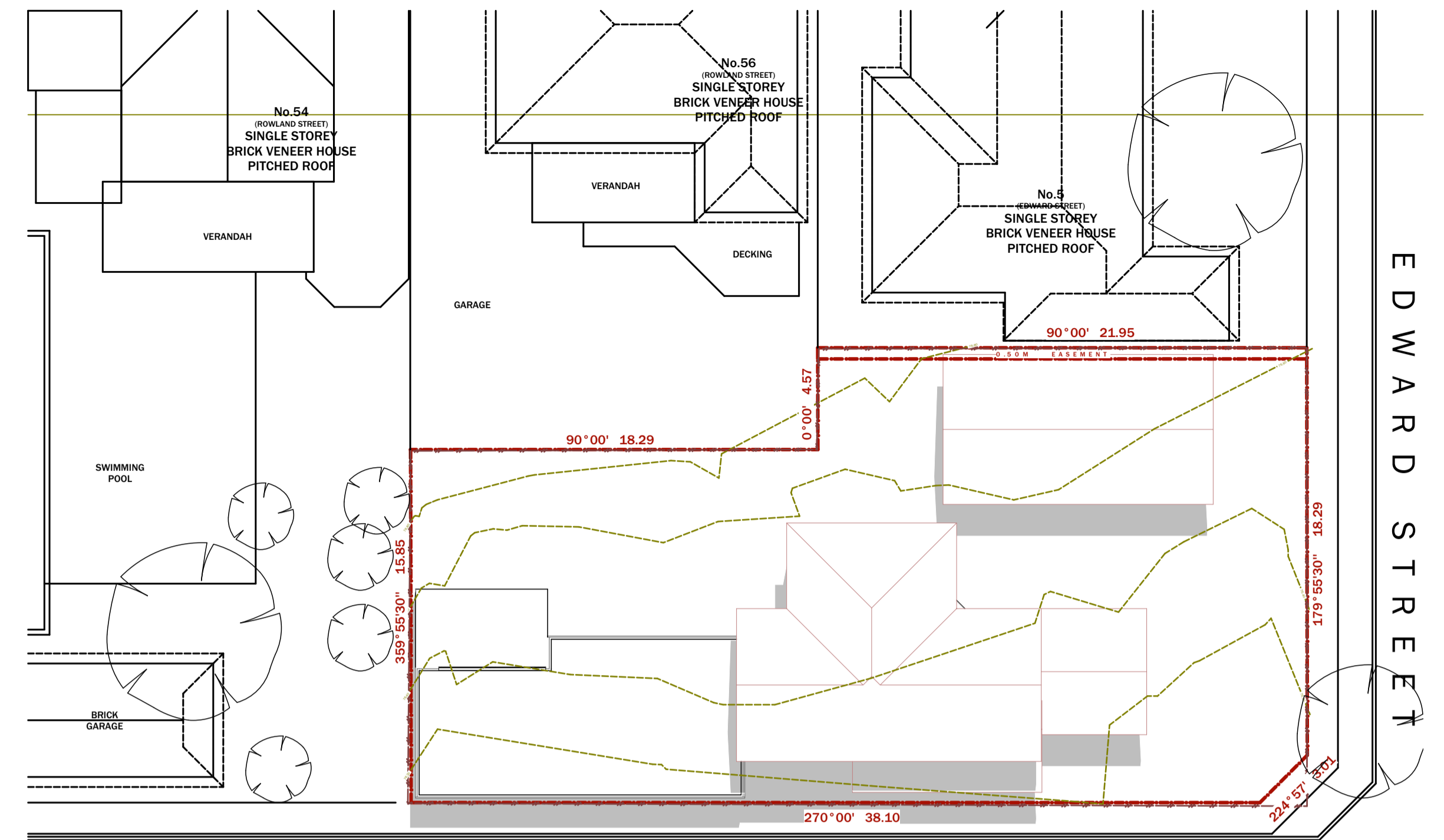
DRAWING NAME WINDOWS/DOOR SCHEDULE & ELECTRICAL PLANS	
DRAWN BY J.L.	DATE 01/06/2021
CHECKED BY J.L.	DATE 14/07/2021
DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.	DRAWING NUMBER 6 of 7
DRAWING SCALE AS SHOWN	SHEET SIZE A1

DRAWN BY J.L.	DATE 01/06/2021	PROJECT NUMBER 210603
CHECKED BY J.L.	DATE 14/07/2021	WD06
DRAWING SCALE AS SHOWN	SHEET SIZE A1	



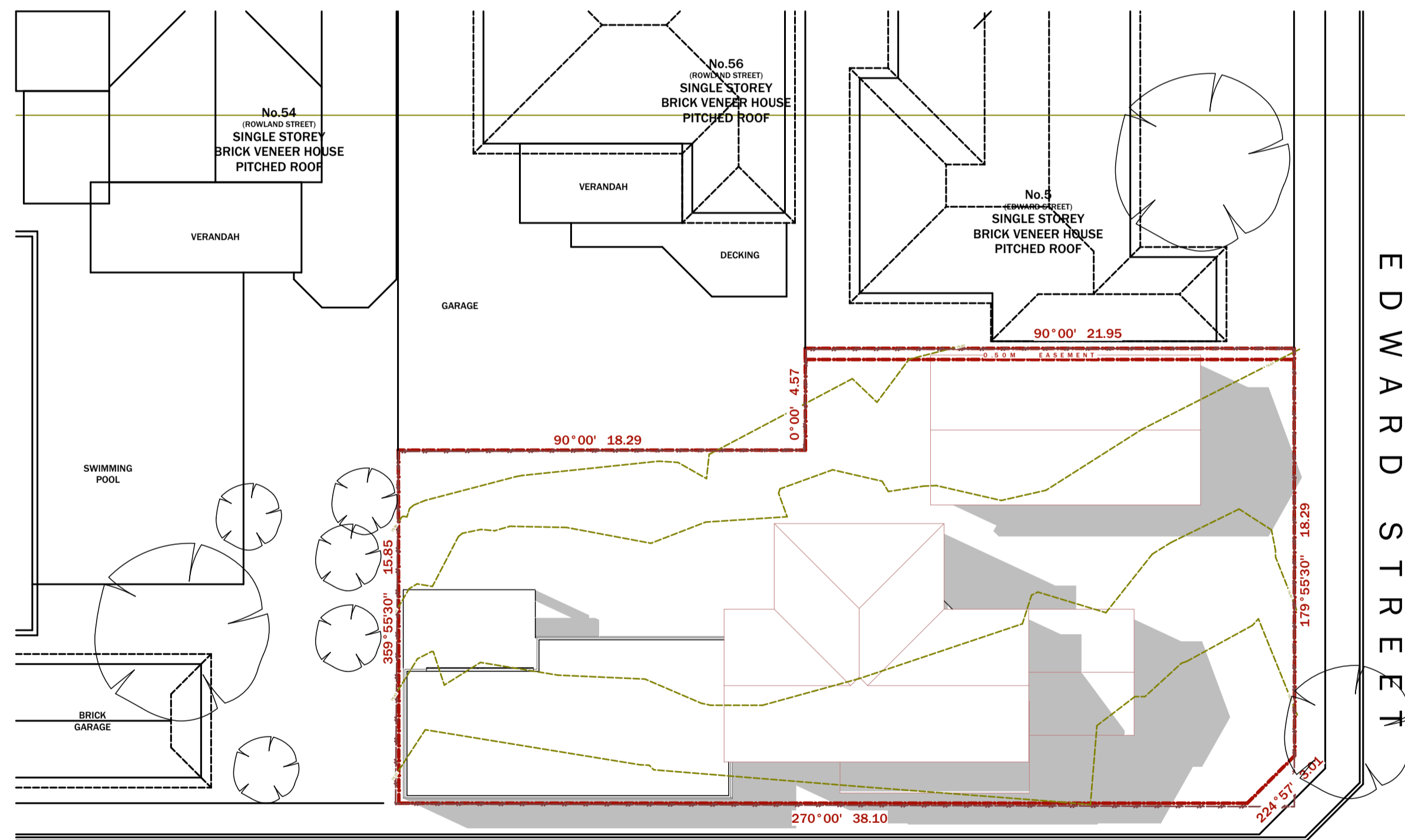
MACROBERTSONS LANE

SUN DIAGRAM - 10:00 AM
SCALE 1:200



MACROBERTSONS LANE

SUN DIAGRAM - 12:00 PM
SCALE 1:200





MACROBERTSONS LANE

SUN DIAGRAM - 3:00 PM
SCALE 1:200

Compliance Energy Rating
3.12 Deemed To Satisfy Report
Terry Stamatopoulos
DMN/10/1015
Date: 16/08/2021

LEGEND

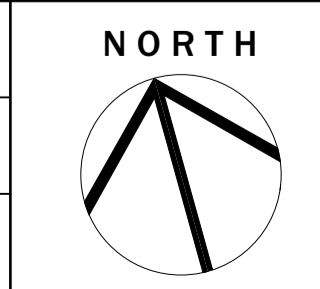
-  LIGHTER HATCH DENOTES EXTENT OF SHADOWS CAST BY PROPOSED ELEMENTS: INCLUDING PROPOSED BUILDINGS, OUTBUILDINGS
-  DARKER HATCH DENOTES EXTENT OF SHADOWS CAST BY EXISTING ELEMENTS: INCLUDING EXISTING BUILDINGS, OUTBUILDINGS



AMENDMENT		
NUMBER	DESCRIPTION	DATE
-	PRELIMINARY	01/02/21
-	PRELIMINARY	14/04/21
-		
-		
-		

GENERAL NOTES
THE BUILDER SHALL CHECK ALL DIMENSIONS AND LEVELS PRIOR TO CONSTRUCTION, NOTIFY ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE ARCHITECT/DESIGNER. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED FOR CONSTRUCTION.
DO NOT SCALE DRAWINGS.
ALL BOUNDARIES AND CONTOUR SUBJECT TO SURVEY.
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PROJECT	Proposed Residences Extension
CLIENT	Douglas Leng
ADDRESS	3 Edward Street Kew VIC



PRELIMINARY - NOT FOR CONSTRUCTION

DRAWING NAME SHADOW ANALYSIS DIAGRAMS		DRAWN BY J.L.	DATE 01/06/2021	PROJECT NUMBER 210603
DO NOT SCALE THIS DRAWING. USE WRITTEN DIMENSIONS ONLY.		CHECKED BY J.L.	DATE 14/07/2021	WD07
DRAWING NUMBER 7 of 7	DRAWING SCALE AS SHOWN	SHEET SIZE A1		