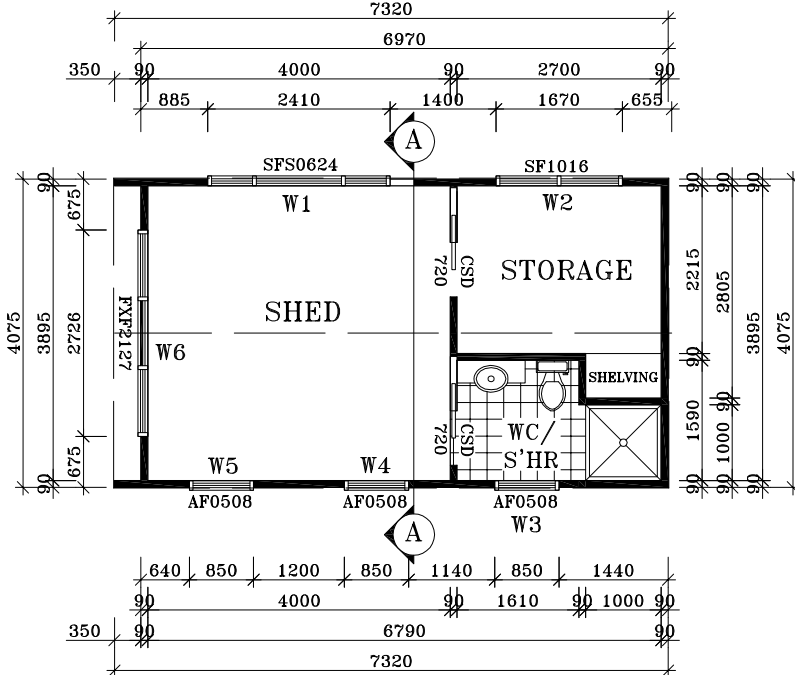
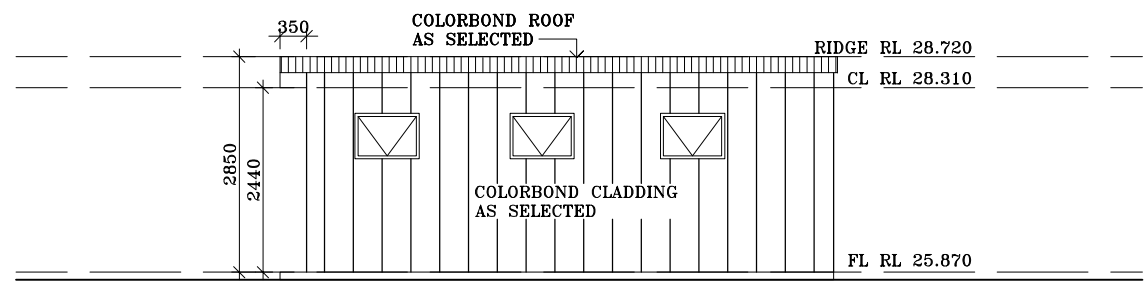


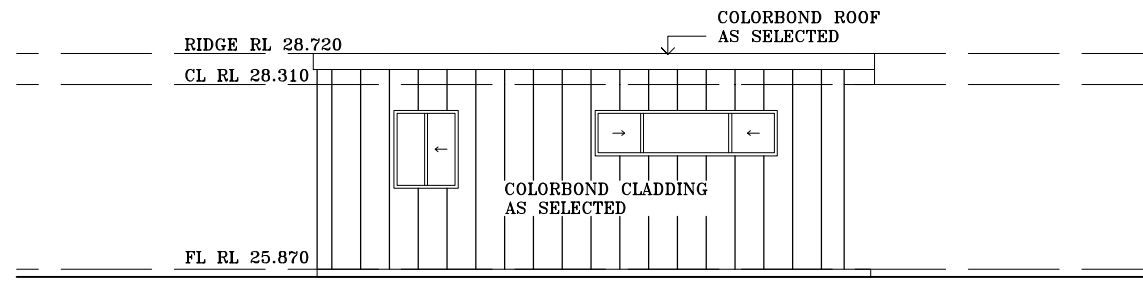
Window Schedule	Window code	Stud opening (HxW)	Frame size (HxW)
W1	0624	655x2465	600x2410
W2	1016	1085x1725	1029x1670
W3,W4,W5	0508	555x905	500x905
W6	XFX2127	2145x2780	2104x2726



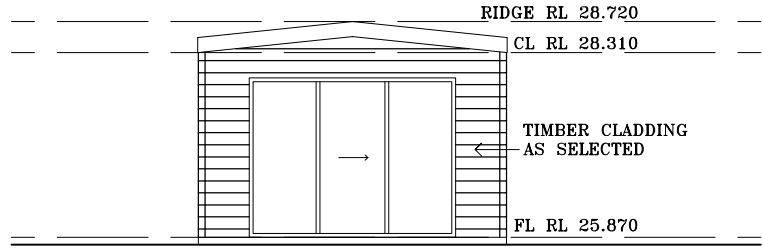
**FLOOR PLAN**  
SCALE 1:100



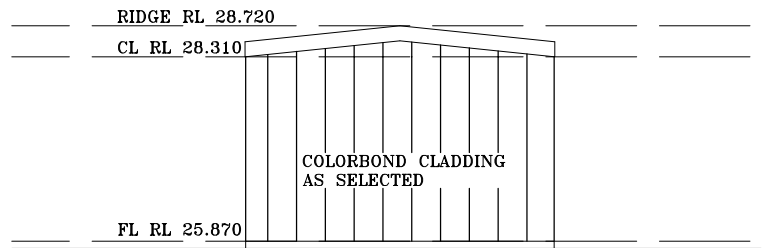
**SOUTH ELEVATION**  
SCALE 1:100



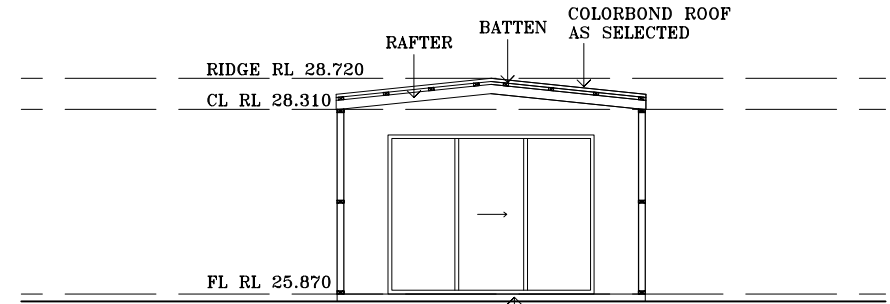
**NORTH ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100



**WEST ELEVATION**  
SCALE 1:100



**SECTION A-A**  
SCALE 1:100

**GENERAL NOTES:**  
 ALL GROUND LINES ARE APPROXIMATE.  
 DO NOT SCALE OFF THIS DRAWING.  
 ALL MEASUREMENTS AND DIMENSIONS ARE TO BE VERIFIED ON-SITE.  
 DO NOT KEEP SUPER CEEDING DRAWINGS ON SITE.  
 THIS DRAWING REMAINS THE PROPERTY OF BUILDCHECK (NSW PTY LTD) AND COPYRIGHT IN AND TO THESE PLANS SHALL REMAIN WITH BUILDCHECK (NSW PTY LTD) AND THESE PLANS SHALL NOT BE USED FOR ANY OTHER PURPOSE OTHER THAN THE CONSTRUCTION OF THE SUBJECT OF THESE PLANS.  
 THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND DOCUMENTS - INCLUDING CONSULTANTS DRAWINGS, IF ANY - IN THE SET.  
 ALL DIMENSIONS, GROUND AND FLOOR LEVELS, INCLUDING THOSE OF EXISTING, ARE TO BE VERIFIED BY THE BUILDER BEFORE COMMENCING ANY WORK. ALL GROUND LEVELS SHOWN ON THE DRAWING ARE INDICATIVE ONLY.  
 IT IS STRONGLY RECOMMENDED THAT A REGISTER SURVEYOR DEFINE THE CORNERS OF THE PROPOSED DEVELOPMENT IN ACCORDANCE WITH COUNCILS APPROVED PLANS PRIOR TO THE BUILDER SETTING OUT. THE OWNER IS TO APPROVE THE POSITION BEFORE WORK COMMENCES.  
 ALL WORK IS TO CONFORM WITH THE BUILDING CODE OF AUSTRALIA, COUNCIL CONDITIONS OF APPROVAL, SPECIFICATIONS, CONSULTANTS DETAILS, ALL RELEVANT CODES AND THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORKS.  
 THE BUILDER SHALL BE RESPONSIBLE FOR CHECKING THAT ALL TIMBER SIZES SHOWN ARE IN ACCORDANCE WITH AS1684, 1992 NATIONAL TIMBER FRAMING CODE AND ITS AMENDMENTS THEREAFTER.  
 THE POSITION OF DOWN PIPES, UNLESS SHOWN ON PLAN, SHALL BE DETERMINED ON SITE AND TO APPROVAL.  
 ALL WORK IS TO BE PERFORMED IN A GOOD AND WORKMANSHIP MANNER. FAULTY OR UNSUITABLE MATERIALS SHALL NOT BE USED.  
 ALL FINISHES, INCLUDING ELECTRICAL LAYOUT, SHALL BE DETERMINED BY THE OWNER PRIOR TO TENDERING OR QUOTING BY BUILDER.  
 TERMITE PROTECTION UNDER AND AROUND PERIMETER OF WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3660. A CERTIFICATE SHALL BE PROVIDED ON COMPLETION OF PROTECTION WORKS.  
 STORMWATER CALCULATIONS IN ACCORDANCE WITH AS 3500  
 AS REQUIRED ALL RETAINING & SURFACE WATER DRAINAGE TO BE COMPLETED BY THE OWNER TO COUNCIL SPECIFICATIONS UNLESS INCLUDED IN THE CONTRACT.

Rev	Date	Amendment
P	12/02/2021	
Q	20/04/2021	
R	26/04/2021	
S	13/07/2021	

**Project:**  
 Proposed : SHED & STORAGE  
 at 48 TINGIRA CRESCENT  
 KIAMA NSW  
 for MR A WARDLE  
 LOT. 325. D.P. 33903

**Drawing:**  
 Shed Floor Plan



UNIT 2-102 INDUSTRIAL ROAD  
 OAK FLATS NSW  
 MOB: 0408027925

BUILDCHECK (NSW) PTY LTD  
 A.B.N. 88104967240

Date: 12/10/2020 Drawn: BF  
 Scale: 1:100 Checked:

Drawing No:  
**1423-S01**  
 No in set : 1