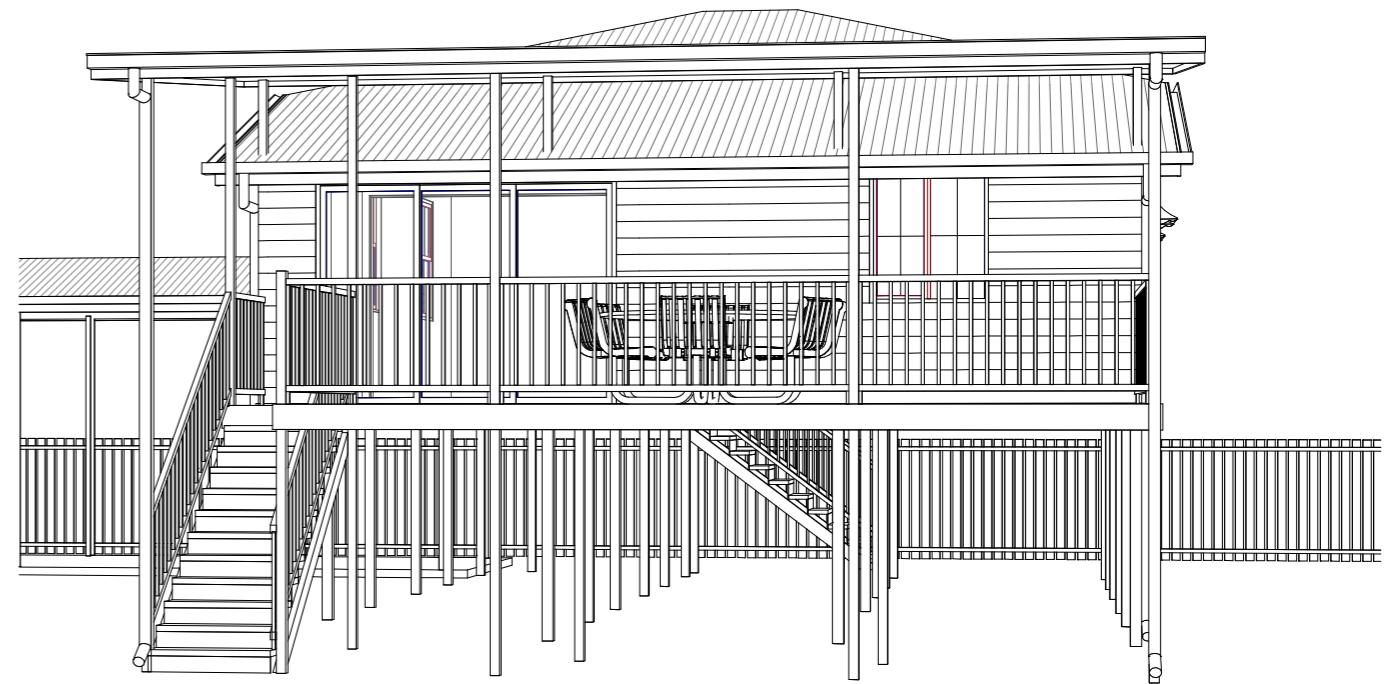


REPLACE EXISTING VERANDAH, NEW ROOF

J. HAINES

52 ELEVENTH AVENUE, RAILWAY ESTATE.



Sheet List

Sheet	Sheet Name	Project Issue Date	Current Revision	Revision Date	Revision Description
00	COVER SHEET	18/11/24	4	15/05/2025	Council Pre Approval
1 of 7	NOTES	18/11/24	4	15/05/2025	Council Pre Approval
2 of 7	SITE PLAN	18/11/24	4	15/05/2025	Council Pre Approval
3 of 7	EXISTING FLOOR PLAN	18/11/24	4	15/05/2025	Council Pre Approval
4 of 7	PROPOSED FIRST FLOOR PLAN	18/11/24	4	15/05/2025	Council Pre Approval
5 of 7	DWELLING ELEVATIONS	18/11/24	4	15/05/2025	Council Pre Approval
6 of 7	CARPORT LAYOUT & ELEVATIONS	18/11/24	4	15/05/2025	Council Pre Approval
7 of 7	PERSPECTIVE VIEWS	18/11/24	4	15/05/2025	Council Pre Approval

DRAWINGS DISTRIBUTED TO ASSOCIATED CONSULTANTS, SUB-CONTRACTORS, AND SUPPLIERS FOR THE PURPOSES OF STRUCTURAL DESIGN, MATERIAL SUPPLY, COST ESTIMATING, OR THE LIKE, SHALL BE IN WHOLE SETS.

ALL LEVELS, DIMENSIONS etc. SHALL BE CHECKED AND VERIFIED BY BUILDER ON SITE BEFORE CONSTRUCTION BEGINS. FIGURED DIMENSIONS TO TAKE PREFERENCE OVER SCALED DRAWING.

R.C. SLABS AND FOOTINGS TO ENGINEERS DETAILS AND CURRENT AS2870. CONC. WORK TO COMPLY WITH AS3600.

ALL PLUMBING AND DRAINAGE SHALL BE IN ACCORD. WITH AS3500. STORMWATER FROM DOWNPIPES SHALL BE DIRECTED AWAY FROM BUILDING (PROVISION FOR CONCRETE SPILL PADS) OR CONNECTED TO K&C VIA 90mm DIAMETER PVC PIPE/S.

A PRESSURE LIMITING DEVICE IS TO BE INSTALLED TO LIMIT THE MAX. OPERATING PRESSURE TO 500kPa AT ANY OUTLET WITHIN A DWELLING IN AREAS WHERE THE MAINS PRESSURE MAY OR DOES EXCEED 500 kPa.

PROTECTION FROM TERMITES SHALL BE FROM A SYSTEM OR COMBINATION OF SYSTEMS IN ACCORD. WITH AS3660 INSTALLED BY AN APPROVED APPLICATOR. WRITTEN CONFIRMATION OF THE SYSTEM/S USED SHALL BE PROVIDED TO LOCAL GOV. AUTHORITY AND BUILDER SHALL ADVISE OWNER OF THEIR OBLIGATION AS APPLICABLE TO THE SYSTEM/S USED.

ALL TIMBER FRAMING TO BE IN ACCORD WITH CURRENT AS1684.3. PRE-FAB TIMBER ROOF TRUSSES AND WALL FRAMING TO BE IN ACCORD. WITH MANUFACTURERS SPECIFICATIONS AND DRAWINGS.

ALL STRUCTURAL PLY PRODUCTS USED SHALL COMPLY WITH THE REQUIREMENTS OF AS/NZS 2269.

DOORS TO TOILETS MUST OPEN OUTWARDS OR SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1200mm BETWEEN THE CLOSET PAN AND THE NEAREST PART OF THE DOORWAY. (THIS NOTE APPLIES TO NON ABCB LIVABLE HOUSING PROVISION COMPLAIANT SANITRY COMPLANTMENTS)

HANDRAILS TO LEVELS OVER 1m ABOVE SURFACE BELOW, PROVIDE SELECTED HANDRAIL. FABRICATE AND INSTALL IN ACCORD. WITH NCC 11.3 MIN. HEIGHT 1000mm ABOVE FINISHED FLOOR LEVEL. MIN. SPACINGS BETWEEN MEMBERS 125mm.

STAIRS TO BE FABRICATED, CONSTRUCTED AND INSTALLED IN ACCORD. WITH NCC (2022) 11.2

IF IN DOUBT, ASK. - WE WILL PROVIDE COPIES OF RELEVANT BCA SECTIONS IF REQ.

CLASS 1 & 2 BUILDINGS OR ASSESSABLE AND SELF-ASSESSABLE RENOVATIONS

LIGHTING - ENERGY EFFICIENT LIGHTING - WHICH IS A GLOBE WITH A MINIMUM OUTPUT OF 30 LUMENS/WATT INSTALLED TO A MINIMUM OF 80% OF THE TOTAL FIXED INTERNAL LIGHTING. EXCLUDING LAMPS RADIATING HEAT IN BATHROOMS.

NEW AND REPLACEMENT AIR-CONDITIONING TO HAVE ENERGY EFFICIENCY RATING TO MINIMUM 2.9

IN AREAS SERVICED BY A WATER SERVICE PROVIDER:-

* **SHOWER ROSES IN A AREA WITH A RETICULATED WATER SERVICE MUST BE MIN 3 STAR WELS RATED.**

* **ALL TOILET CISTERNS MUST HAVE A DUAL FLUSH FUNCTION AND HAVE A MIN. OF 4 STAR WELS RATING WHICH MUST BE COMPATABLE WITH THE SIZE OF THE TOILET BOWL.**

* **ALL TAPS SERVING LAUNDRY TUBS, KITCHEN SINKS AND BATHROOM BASINS MUST HAVE A 3 STAR WELS RATING.**

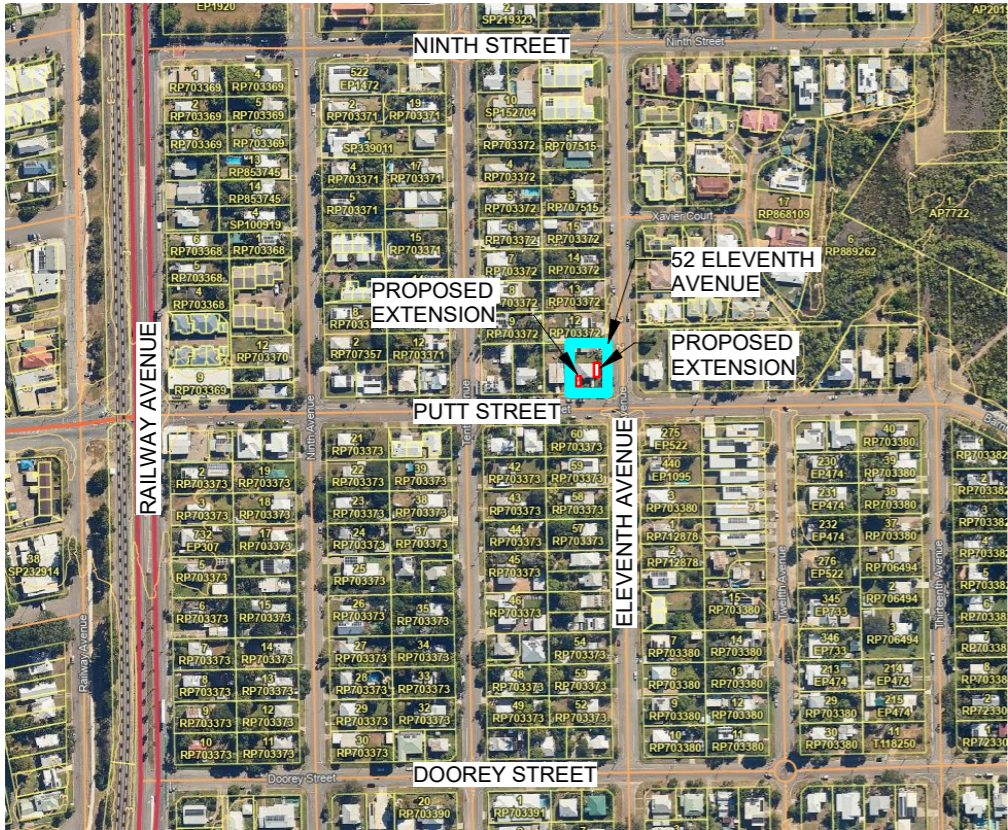
(WELS - WATER EFFICIENCY LABELLING AND STANDARDS') (QDC - QUEENSLAND DEVELOPEMENT CODE) (MP - MANDATORY PART)

SUSTAINABLE BUILDING REQUIREMENTS @ 1 MARCH 2009 CLASS 1 BUILDINGS

NEW WORK - HOT WATER SYSTEMS MUST BE SUPPLIED BY A:-
- SOLAR HOT WATER SYSTEM, OR HEAT PUMP HOT WATER SYSTEM OR GAS HOT WATER SYSTEM.

TANKS IF REQUIRED BY LOCAL AUTHORITES
- 5000LTR FOR DETACHED CLASS 1, 3000LTR FOR OTHER THAN CLASS 1 DETACHED AS PER QDC MP 4.2 WATER SAVINGS

TARGETS:-
- TO RECIEVE A MINIMUM ROOF AREA AT LEAST 100SQM OR ONE HALF OF THE TOTAL ROOF AREANWHICHEVER IS THE LESSER.
- BE CONNECTED TO TOILET CISTERNS, WASHING MACHINE COLD WATER TAPS (OTHER THAN GREY WATER CONNS.) AND EXTERNAL USE TAPS, REFER QDC MP 4.2 FOR VARIATIONS. PLUMBER TO REFER TO QDC MP 4.2 FOR COMPLETE TANK REQUIREMENTS



L LOCATION PLAN
NTS

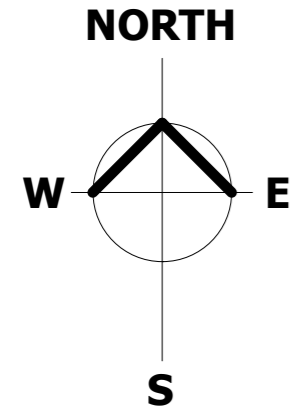
REPLACE EXISTING VERANDAH, NEW ROOF
AT 52 ELEVENTH AVENUE, RAILWAY ESTATE.
FOR J. HAINES



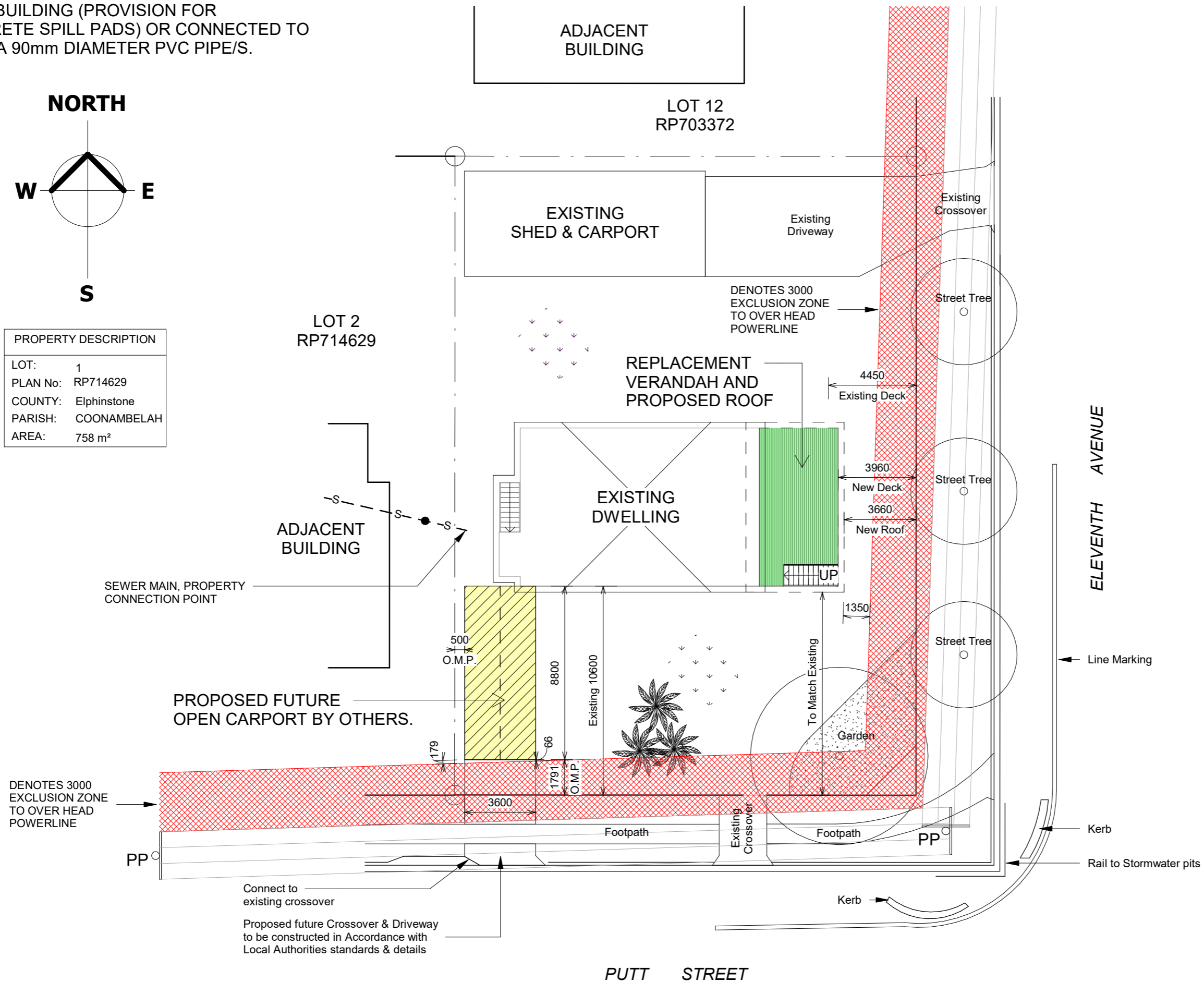
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044 8686 414

			Copyright	18/11/24	Drg No.	SK - 2440 NOTES
			Scale	As indicated		
			Drawn	A. Gosztyla	Sheet No.	1 of 7
			Issue	4		
15/05/2025	4	Council Pre Approval				
22/01/2025	3	Preliminary				
15/01/2025	2	Preliminary				
18/11/2024	1	Preliminary				
Date	Rev	Notes				

ALL PLUMBING AND DRAINAGE SHALL BE IN ACCORD WITH AS3500. STORMWATER FROM DOWNPIPES SHALL BE DIRECTED AWAY FROM BUILDING (PROVISION FOR CONCRETE SPILL PADS) OR CONNECTED TO K&C VIA 90mm DIAMETER PVC PIPE/S.



PROPERTY DESCRIPTION	
LOT:	1
PLAN No:	RP714629
COUNTY:	Elphinstone
PARISH:	COONAMBELAH
AREA:	758 m ²



Date	Rev	Notes
15/05/2025	4	Council Pre Approval
22/01/2025	3	Preliminary
15/01/2025	2	Preliminary
18/11/2024	1	Preliminary

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DO NOT ASSUME!**

REPLACE EXISTING
VERANDAH, NEW ROOF

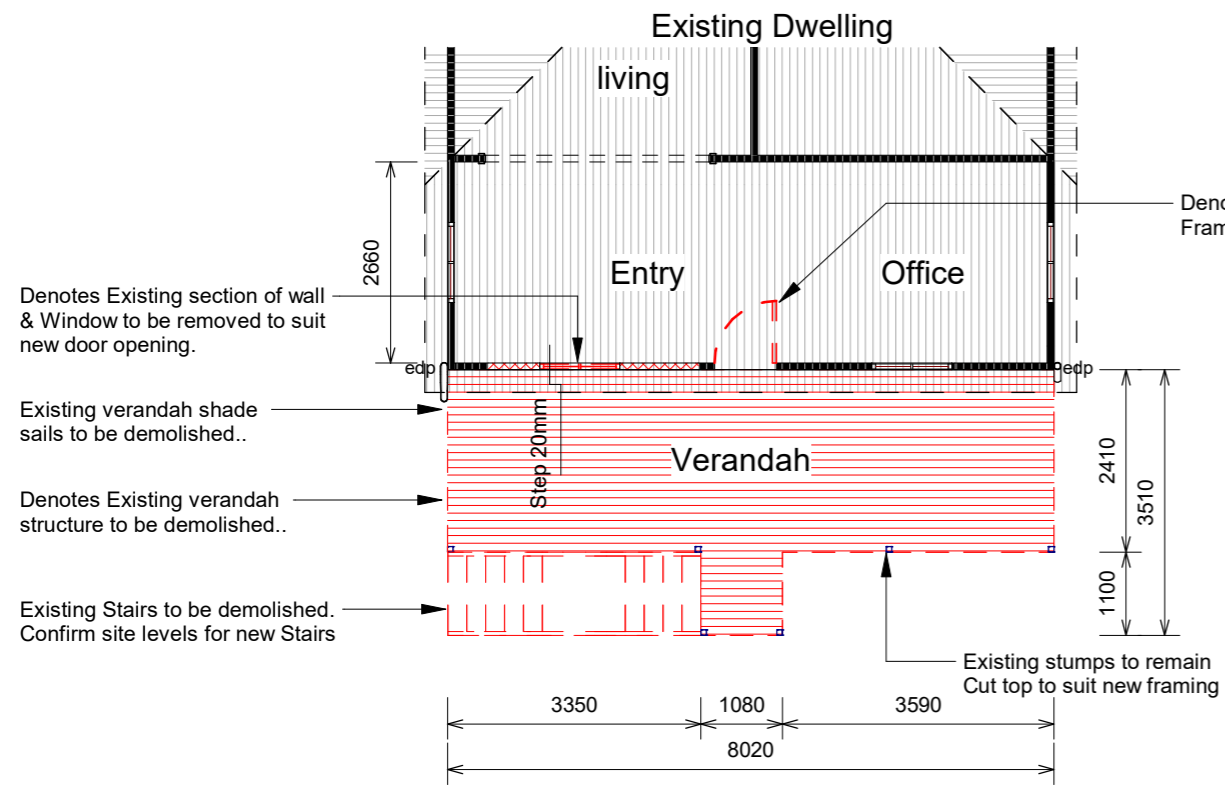
AT
52 ELEVENTH AVENUE,
RAILWAY ESTATE.

FOR
J. HAINES

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Scale	1 : 200 A3
Drawn	A.Gosztyla
Issue	4

Drg No.
SK - 2440
SITE PLAN

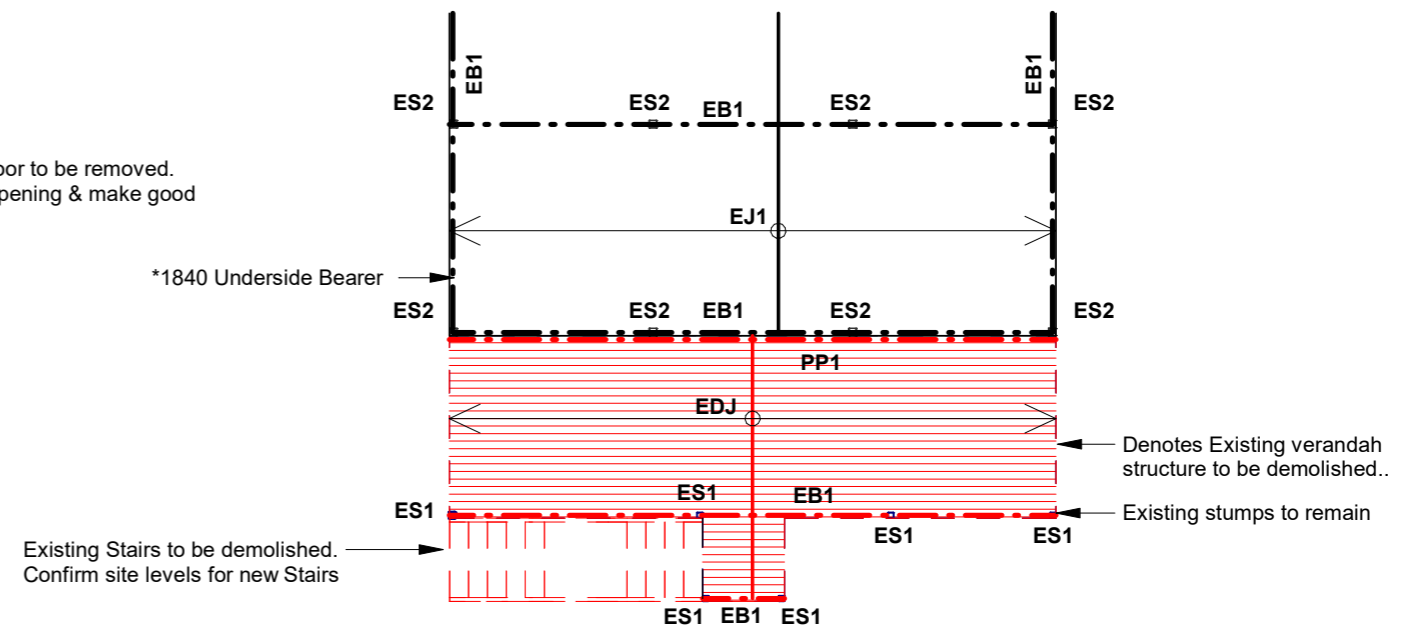
STRUCTURAL MEMBERS	
ES1 -	75x75 S.H.S. Stumps
ES2 -	100x100 S.H.S. Stumps
EJ1 -	100x50 HW Floor Joist @ 500 max. ctrs.
EDJ -	125x50 HW Floor Joist @ 500 max. ctrs.
EB1 -	100x75 HW Bearer
PP1 -	100x75 HW Pole plate



EXISTING FIRST FLOOR PLAN

1

1 : 100



EXISTING FLOOR FRAMING PLAN

2

1 : 100

REPLACE EXISTING VERANDAH, NEW ROOF
 AT 52 ELEVENTH AVENUE, RAILWAY ESTATE.
 FOR J. HAINES



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15/05/2025	4	Council Pre Approval	Scale	1 : 100
22/01/2025	3	Preliminary	Drawn	A.Gosztyla
15/01/2025	2	Preliminary	Issue	4
18/11/2024	1	Preliminary		

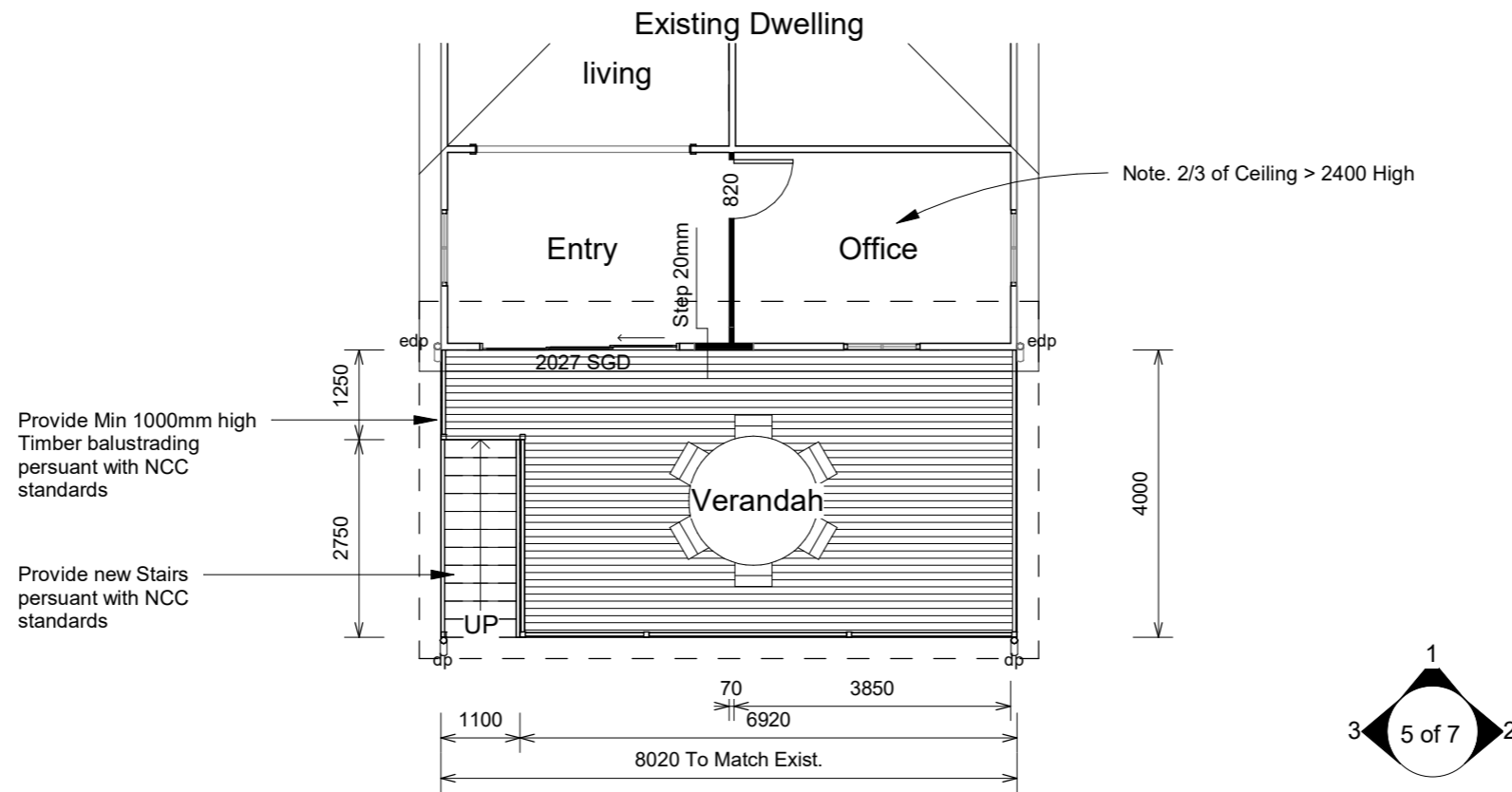
Copyright	18/11/24	Drg No. SK - 2440
Scale	1 : 100	
Drawn	A.Gosztyla	Sheet No. 3 of 7
Issue	4	

EXISTING FLOOR PLAN

DIMENSION NOTE:
ALL DIMENSIONS, HEIGHTS & LEVELS TO BE CONFIRMED BY CONTRACTOR ON SITE. PRIOR TO START OF WORK, AND DURING CONSTRUCTION.

SYMBOL KEY

Label	Type
dp	DOWNSPIPE
edp	EXISTING DOWNSPIPE



PROPOSED FIRST FLOOR

1
1 : 100

FLOOR AREAS	
Description	Area
DECK	29.06
EXISTING LIVING AREA	99.60
Grand total	128.66



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15/01/2025	2	Preliminary
18/11/2024	1	Preliminary

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REPLACE EXISTING
VERANDAH, NEW ROOF

AT
52 ELEVENTH AVENUE,
RAILWAY ESTATE.

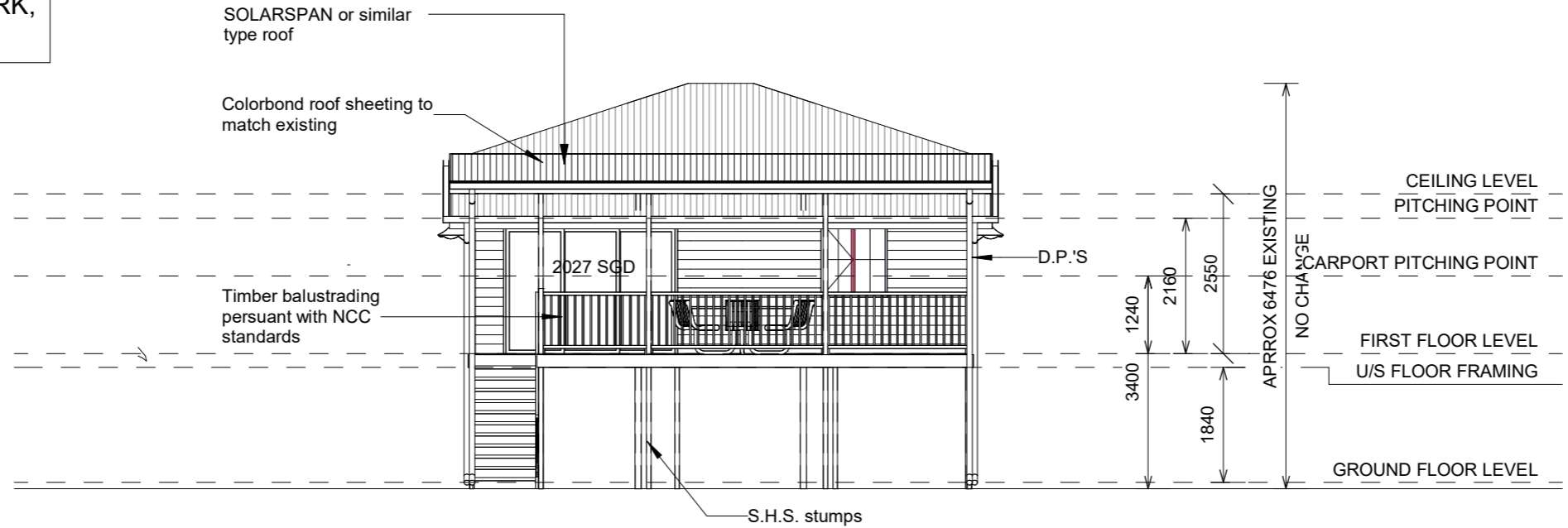
FOR
J. HAINES

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Scale	1 : 100 A3
Drawn	A.Gosztyla
Issue	4

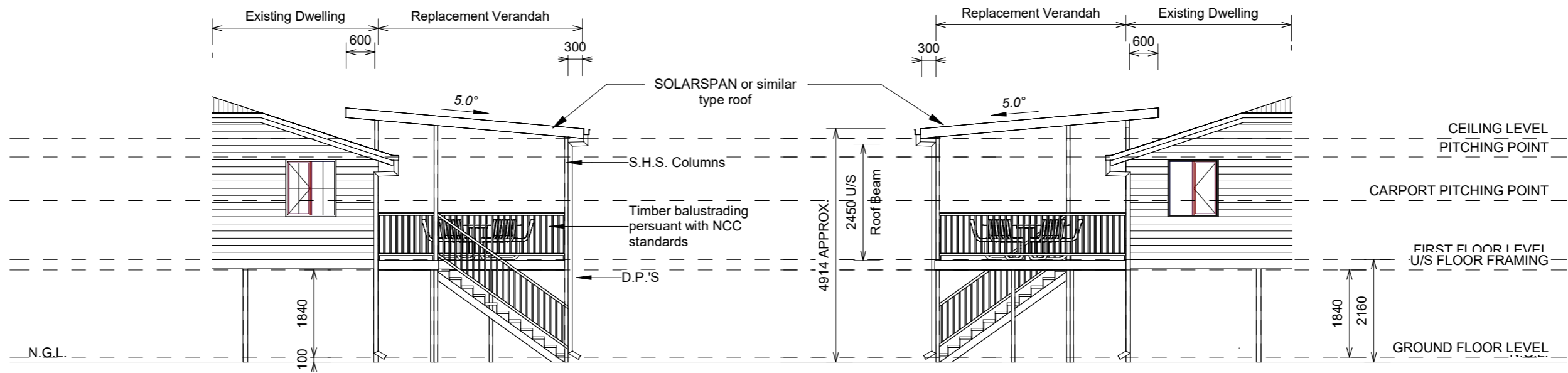
Drg No.
SK - 2440
PROPOSED FIRST
FLOOR PLAN

Sheet No. 4 of 7

DIMENSION NOTE:
 ALL DIMENSIONS, HEIGHTS & LEVELS
 TO BE CONFIRMED BY CONTRACTOR
 ON SITE. PRIOR TO START OF WORK,
 AND DURING CONSTRUCTION.



1 FRONT ELEVATION
 1 : 100



2 LEFT ELEVATION
 1 : 100

3 RIGHT ELEVATION
 1 : 100

REPLACE EXISTING VERANDAH, NEW ROOF
 AT 52 ELEVENTH AVENUE, RAILWAY ESTATE.
 FOR J. HAINES

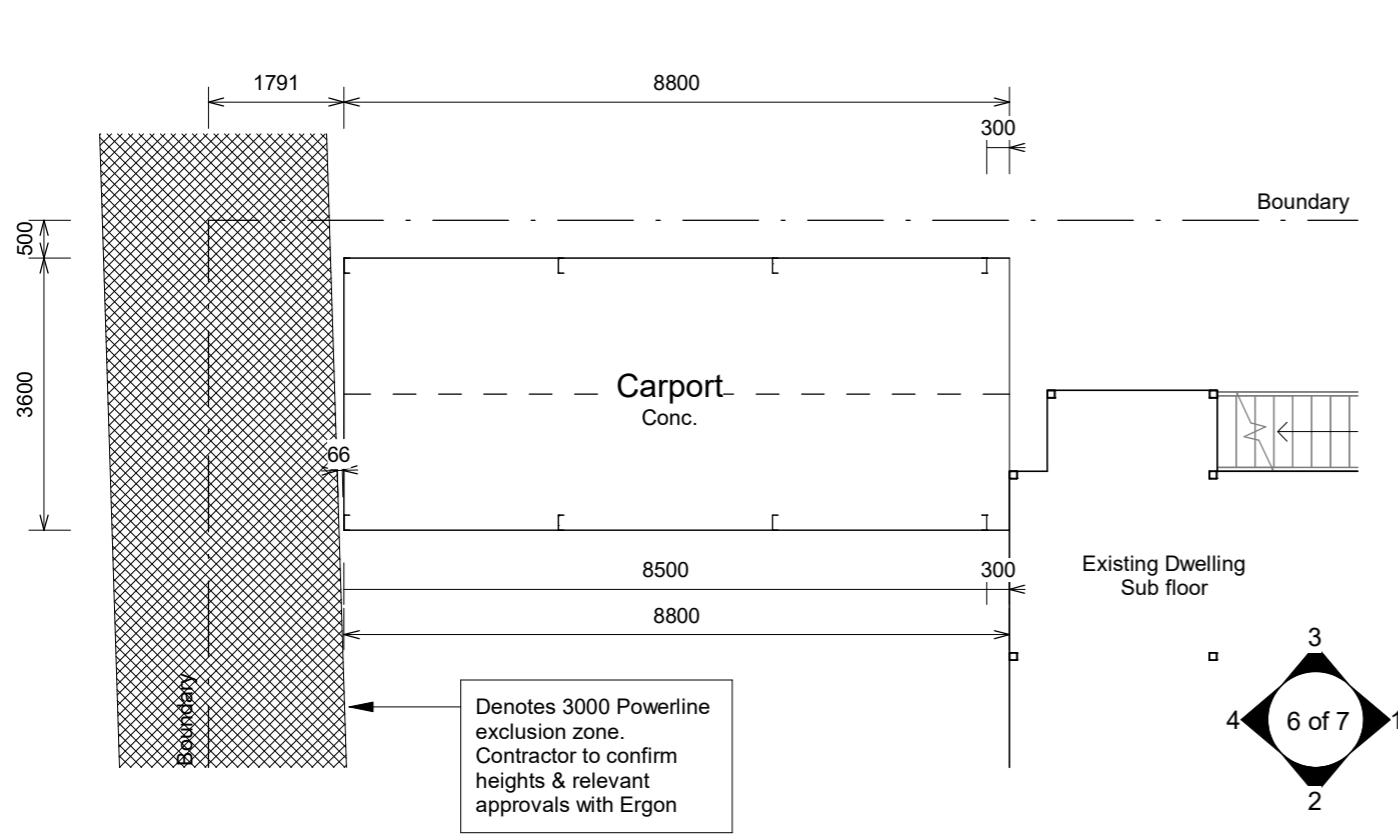
BROADSCOPE
 BUILDING DESIGN

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18/11/2024	1	Preliminary	Issue	4
Date	Rev	Notes		

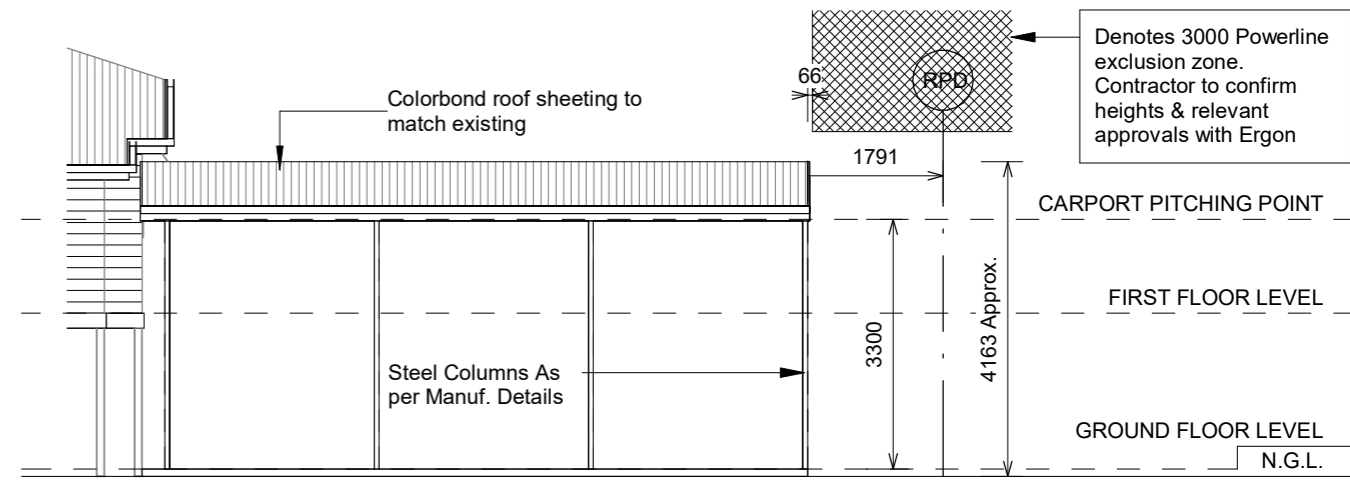
Drg No. **SK - 2440**
DWELLING ELEVATIONS

Sheet No. 5 of 7

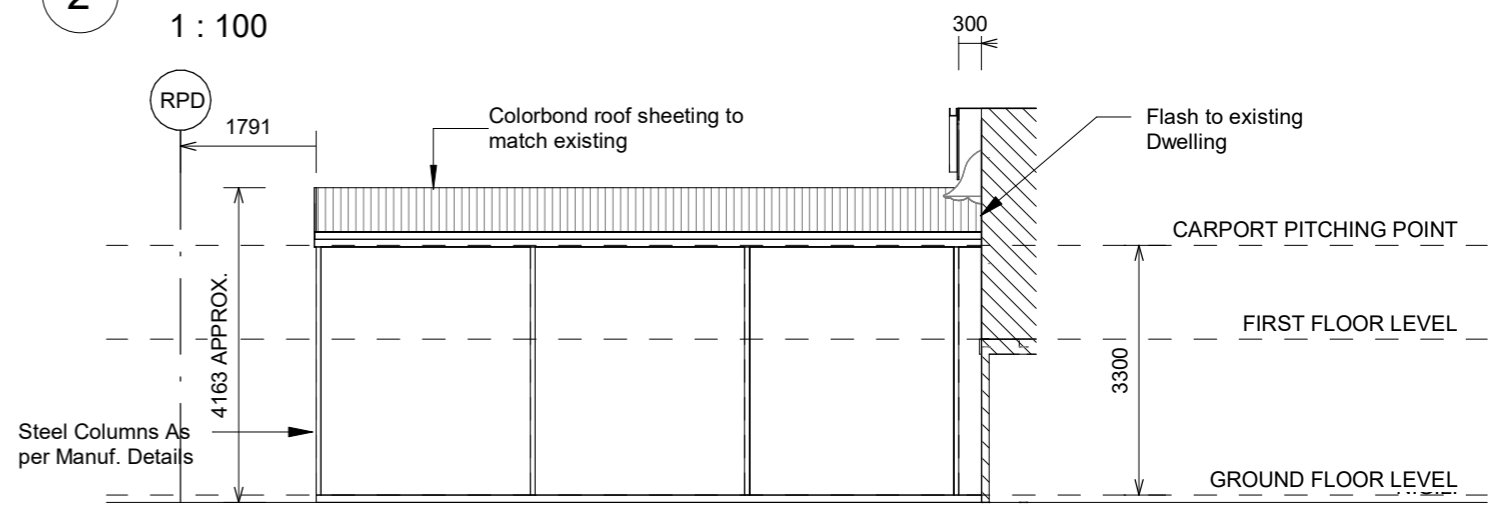


C CARPORT LAYOUT PLAN
1 : 100

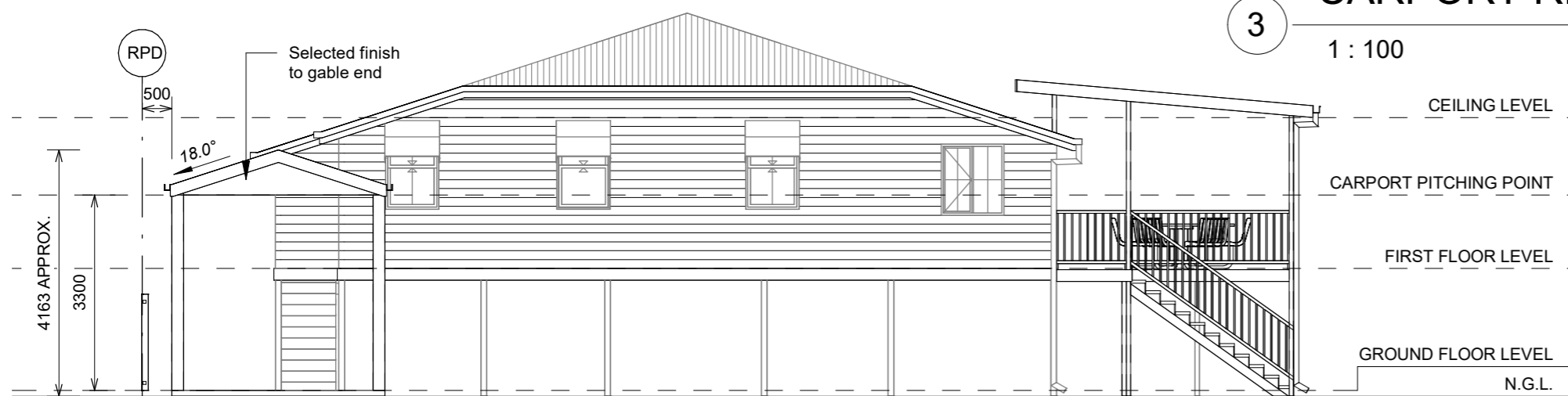
ROOF PITCH NOTE:
Denoted roof pitched to be confirmed on site:
Roof pitch to match existing Dwelling



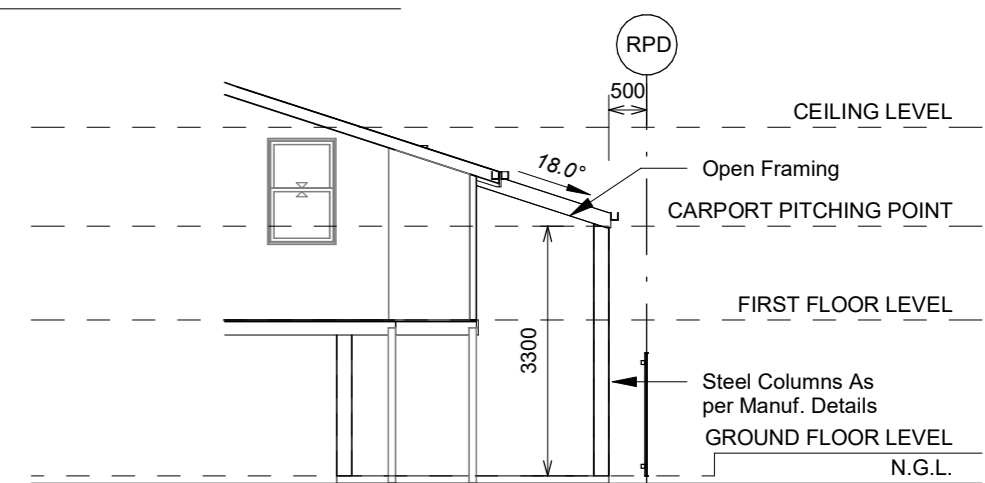
2 CARPORT LEFT ELEVATION
1 : 100



3 CARPORT RIGHT ELEVATION
1 : 100

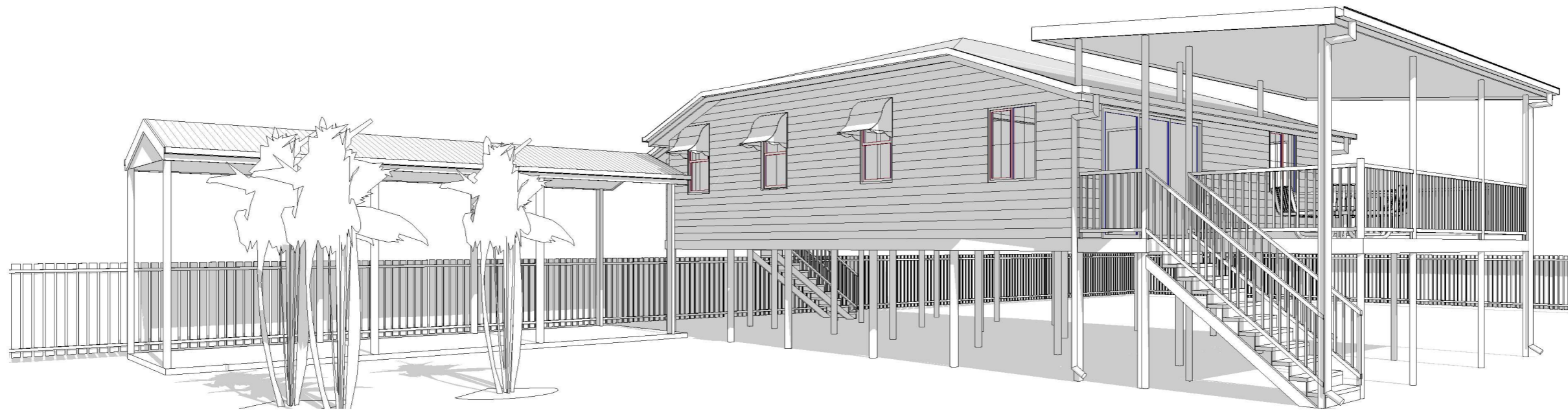


1 CARPORT FRONT ELEVATION - PUTT STREET
1 : 100

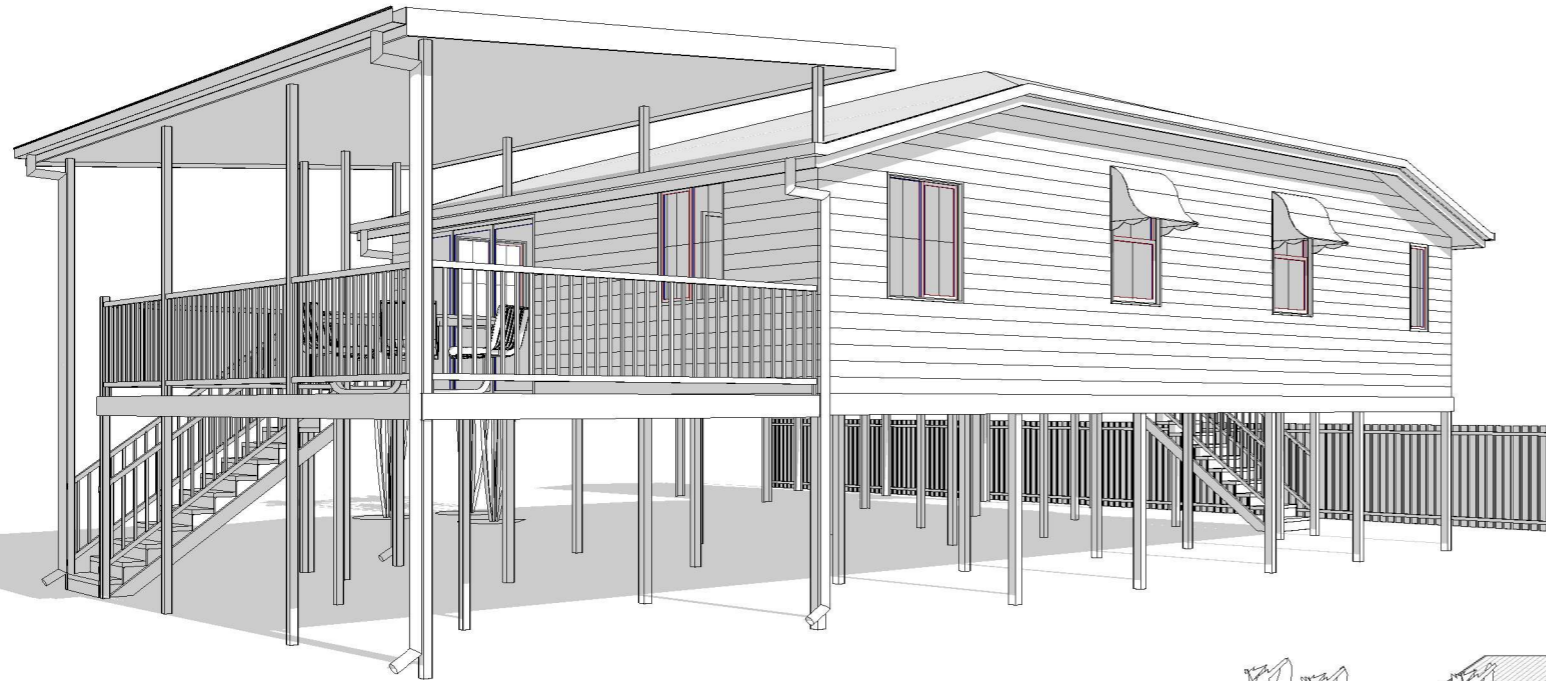


4 CARPORT REAR ELEVATION
1 : 100

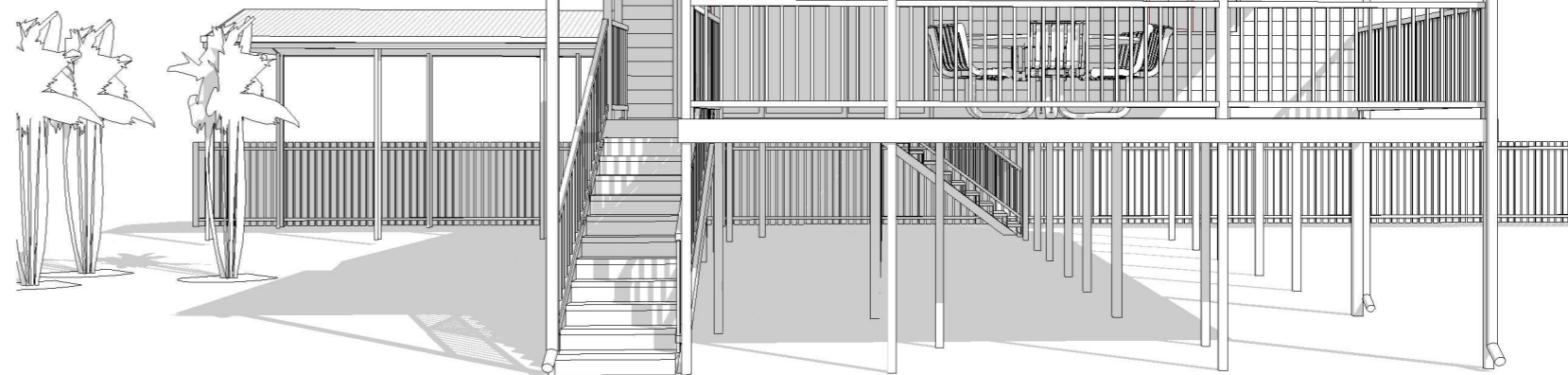
REPLACE EXISTING VERANDAH, NEW ROOF AT 52 ELEVENTH AVENUE, RAILWAY ESTATE. FOR J. HAINES	QBCC - MEDIUM RISE: 15467585 Email: admin@broadscopebuildingdesign.com.au Phone: 044 8686 414	15/05/2025 Date	4 Rev	Council Pre Approval Notes	Copyright	18/11/24	Drg No. SK - 2440 CARPORT LAYOUT & ELEVATIONS	
					Scale	1 : 100 A3		Issue
					Drawn	A.Gosztyla	Sheet No.	6 of 7



1 3D View 1



2 3D View 2



3 3D View 3

REPLACE EXISTING VERANDAH, NEW ROOF
 AT 52 ELEVENTH AVENUE, RAILWAY ESTATE.
 FOR J. HAINES



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PERSPECTIVE VIEWS	
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