



[www.permitplans.com](http://www.permitplans.com)

# PROJECT SPECIFICATION

[BE ADVISED: SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT]

## 1.0 GENERAL

- 1.1 DO NOT SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.2 ALL DIMENSIONS, LEVELS & EXISTING CONDITIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION OR FABRICATION OF ANY MEMBERS.
- 1.3 ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.4 ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.5 ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.6 THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- 1.7 SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.8 PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

## 2.0 VARIATION TO PLANS

- 2.1 ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

## 3.0 STORMWATER

- 3.1 ALL STORMWATER TO BE TAKEN TO EXISTING STORMWATER SYSTEM OR DIRECTED TO A LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

## 4.0 TIMBER FRAMED CONSTRUCTION

- 4.1 ALL TIMBER STRUCTURAL MEMBERS SHALL COMPLY WITH AS1684.4-2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUAL AND SUPPLEMENTARY TABLES OR AS SHOWN ON ENGINEER'S DRAWINGS.
- 4.2 ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA 2019 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
- 4.3 USE TREATED TIMBER FOR ALL EXTERNAL USE. ALL FOOTINGS AS PER BCA 2019 PART 3.2.
- 4.4 BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- 4.5 ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.
- 4.6 FIGURED SET OUT DIMENSIONS ARE TAKEN TO THE TITLE BOUNDARIES.

## 5.0 STEEL FRAMED CONSTRUCTION

- 5.1 ALL STEEL FRAMING MEMBERS AS PER MANUFACTURERS. SPAN TABLE OR ENGINEERS DESIGN AND INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTIONS.
- 5.2 STEEL SHALL COMPLY WITH AS 4100.

## 6.0 NEW HANDRAILS.

- 6.1 ALL HANDRAILS & BALUSTRADES TO BE CONSTRUCTED STRICTLY IN ACCORDANCE WITH NCC 3.9.2.3. HANDRAILS ARE REQUIRED ON ALL EXPOSED FLOOR & DECK PERIMETERS OF 1000mm HIGH OR GREATER. HANDRAILS ARE CONSTRUCTED WITH A MINIMUM HEIGHT OF 1000mm ABOVE FLOOR LEVEL & 865mm VERTICALLY ABOVE STAIR NOSINGS. STUMPS CAN BE EXTENDED VERTICALLY TO BE USED FOR HANDRAIL POSTS.

BALUSTRADES MUST BE CONTINUOUS, CAPABLE OF PREVENTING A PERSON FALLING THROUGH THE BALUSTRADE & CAPABLE OF RESTRICTING THE PASSAGE OF CHILDREN. OPENINGS IN BALUSTRADES SHOULD BE CONSTRUCTED SO THEY DO NOT ALLOW A 125mm SPHERE TO BE PASSED THROUGH. WHERE IT IS POSSIBLE TO FALL 4.0m, ANY HORIZONTAL ELEMENTS WITHIN THE BARRIER BETWEEN 150mm & 760mm ABOVE FLOOR LEVEL MUST NOT FACILITATE CLIMBING.

- 6.2 WIRE BARRIERS  
MAXIMUM CLEAR DISTANCE BETWEEN POSTS TO BE 1800mm. SELECTED 3.0mm DIA. STAINLESS STEEL WIRE BALUSTRADE TO BE AT 80mm MAXIMUM SPACING TENSIONED TO A MAXIMUM 125mm SPHERE PASS THROUGH (1370 Newtons tension). A VERTICAL SPACER IS REQUIRED @ 900 CENTERS.

- 6.3 GLASS BARRIERS  
ALL GLAZED BARRIERS TO BE TOUGHENED GLASS SELECTED STRICTLY IN ACCORDANCE WITH THE STRUCTURAL OR INFILL REQUIREMENTS OF AS.1288

## 7.0 NEW STAIRS AND SURFACES

- 7.1 STAIR CONSTRUCTION 240mm MIN. TREADS AND 190mm MAX. RISERS.
- 7.2 PEDESTRIAN SURFACES INCLUDING NOSINGS TO HAVE A NON-SLIP RESISTANCE VALUE OF R11 TO AZ/NZS 4586 IN ACCORDANCE WITH BCA 2019 VOL. 2.

© DESIGN COPYRIGHT OWNED BY PERMIT PLANS STUDIO

THE DESIGN AND DRAWING IS THE PROPERTY OF PERMIT PLANS AND MAY NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

THE BUILDER SHALL CHECK AND VERIFY ALL BOUNDARIES, LEVELS, DATUM & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANT'S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & ITS DURATION.

### IMPORTANT

NO WORKS TO BE CONDUCTED ON EXISTING DWELLING WITHOUT PRIOR INSPECTION BY OWNER, INSTALLER, BUILDER OR CONTRACTOR TO DETERMINE THE ADEQUATE SOUNDNESS & CONDITION OF THE EXISTING STRUCTURE PRIOR TO ATTACHING, FASTENING, ANCHORING OR BOLTING ANY NEW STRUCTURE TO IT.

PROJECT DETAILS:

**PROPOSED  
GARAGE**

**51 YARRAFORD AVENUE,  
ALPHINGTON**

CLIENT NAME:

**C. NEE**

ISSUED BY: PERMIT PLANS  
ISSUED DATE: SEP 2022

DRAWN BY:  
J.H

CHECKED:  
RICCARDO ROMANO (DP-AD23101)

PAGE N°. 01/03  
SCALE 1:100 (A3)

**SITE INFORMATION**

SITE AREA: 534 m<sup>2</sup>  
 EXISTING BUILDING AREA: 240.6 m<sup>2</sup>  
 PROPOSED STRUCTURE: 43.9 m<sup>2</sup>  
 TOTAL BUILDING FOOTPRINT: 284.5 m<sup>2</sup>

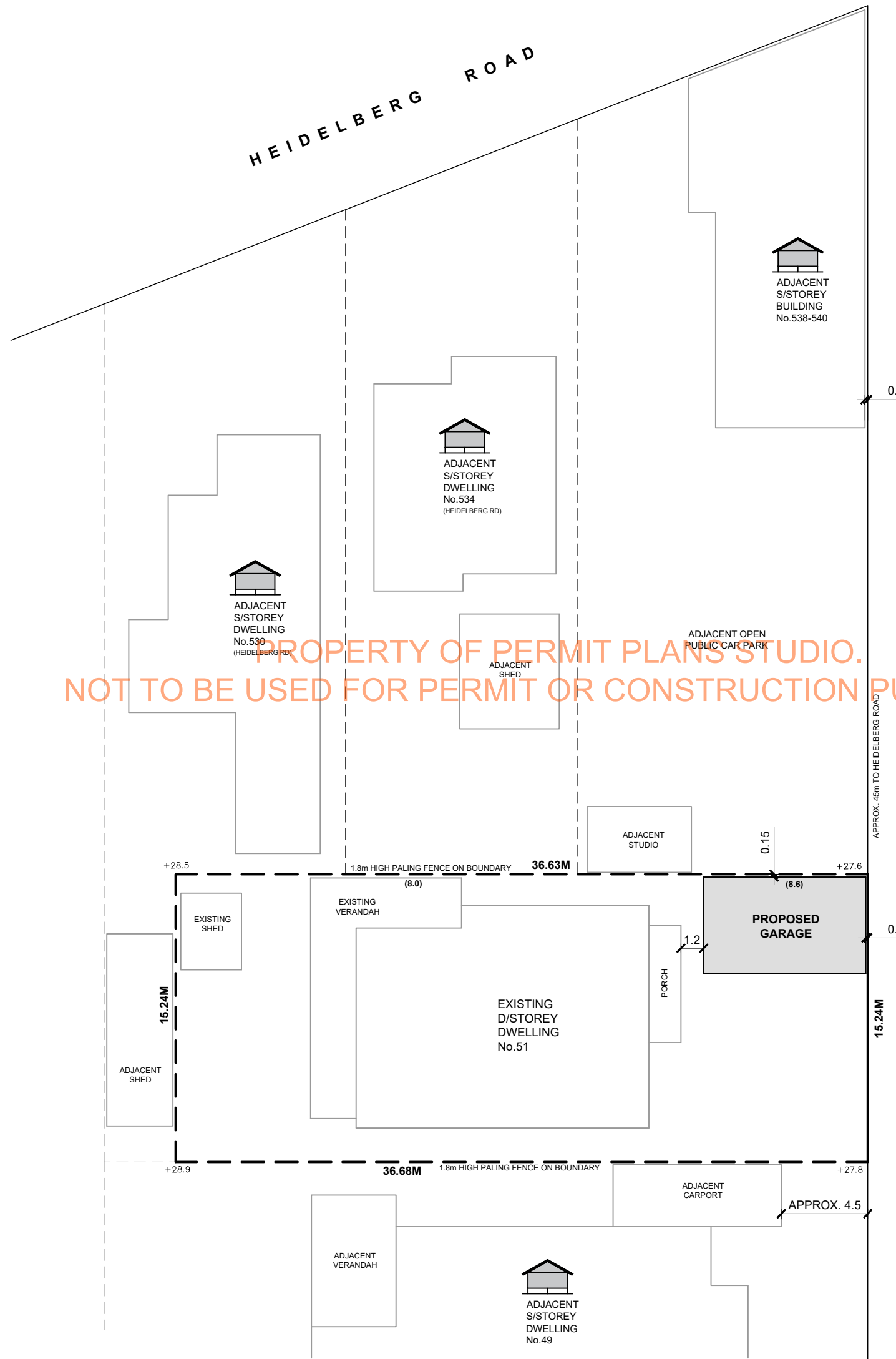
PROPOSED SITE COVERAGE: 53.3 %  
 PERMEABLE AREA: 41.6 %  
 GARDEN AREA: 41.6 %

ZONING: Neighbourhood Residential (NRZ)  
 OVERLAY: Development Contribution Plan (DCPO)

THIS PROPERTY IS NOT IN A BUSHFIRE PRONE AREA:  
 All works are to be built in accordance with AS3959

**LEGAL POINT OF DISCHARGE**

LPOD TO BE CONFIRMED ON SITE PRIOR TO WORKS COMMENCING. PLUMBER & BUILDER TO CONFIRM EXISTING RUNS & CONNECT NEW DOWNPIPE INTO EXISTING STORM WATER SYSTEM TO AUSTRALIAN STANDARDS



**SITE PLAN**



[www.permitplans.com](http://www.permitplans.com)

© DESIGN COPYRIGHT OWNED BY PERMIT PLANS STUDIO

THE DESIGN AND DRAWING IS THE PROPERTY OF PERMIT PLANS AND MAY NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

THE BUILDER SHALL CHECK AND VERIFY ALL BOUNDARIES, LEVELS, DATUM & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANT'S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & ITS DURATION.

**MANUFACTURED PRODUCTS & MATERIALS**

INSTALLATIONS TO BE STRICTLY IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS & RECOMMENDATIONS.

THE OWNER, INSTALLER OR BUILDER IS TO MAKE THEMSELVES FULLY AWARE OF THE MANUFACTURERS FOUNDATION, CONNECTION & INSTALLATION REQUIREMENTS THAT MAY BE ENCOUNTERED UNDER THESE PROPOSED WORKS.

ONLY EXPERIENCED AND COMPETENT INSTALLERS ARE TO BE ENGAGED FOR THESE PROPOSED INSTALLATIONS. CORRECT INSTALLATION IS CRITICAL TO PRODUCT PERFORMANCE.

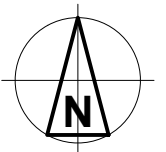
THE EXPERTISE OF PERMIT PLANS STUDIO DOES NOT EXTEND TO KNOWLEDGE OF FOUNDATION, CONNECTION & INSTALL REQUIREMENTS OF MANUFACTURED PRODUCTS.

PROJECT DETAILS:  
**PROPOSED GARAGE**

51 YARRAFORD AVENUE,  
 ALPHINGTON

CLIENT NAME:  
**C. NEE**

ISSUED BY: PERMIT PLANS  
 ISSUED DATE: SEP 2022



DRAWN BY:  
 J.H

CHECKED:  
 RICCARDO ROMANO (DP-AD23101)

| PAGE N° | SCALE      | REVISION |
|---------|------------|----------|
| 02/03   | 1:250 (A3) | 00       |



www.permitplans.com

© DESIGN COPYRIGHT OWNED BY PERMIT PLANS STUDIO

THE DESIGN AND DRAWING IS THE PROPERTY OF PERMIT PLANS AND MAY NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

THE BUILDER SHALL CHECK AND VERIFY ALL BOUNDARIES, LEVELS, DATUM & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANT'S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & ITS DURATION.

**CONSTRUCTION NOTES**

ALL TIMBER STRUCTURAL MEMBERS SHALL COMPLY WITH AS1684.4-2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUAL AND SUPPLEMENTARY TABLES OR AS SHOWN ON ENGINEER'S DRAWINGS

ALL STEEL FRAMING MEMBERS AS PER MANUFACTURERS SPAN TABLE OR ENGINEERS DESIGN AND INSTALLED STRICTLY TO MANUFACTURERS INSTRUCTIONS.

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS, THE BUILDING CODE OF AUSTRALIA 2019 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN

BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED.

PROJECT DETAILS:  
**PROPOSED GARAGE**

**51 YARRAFORD AVENUE, ALPHINGTON**

CLIENT NAME:  
**C. NEE**

ISSUED BY: PERMIT PLANS  
ISSUED DATE: SEP 2022

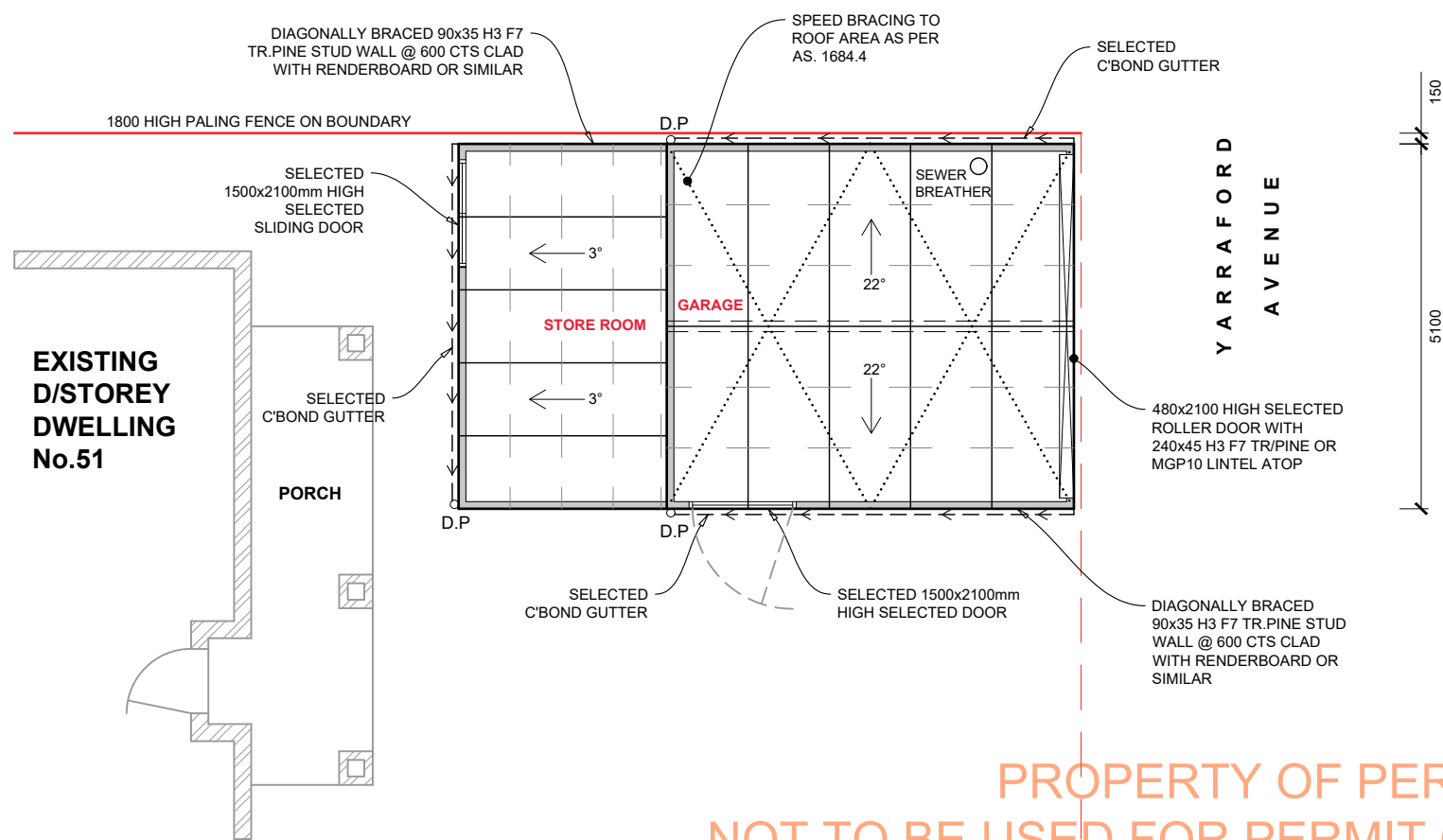
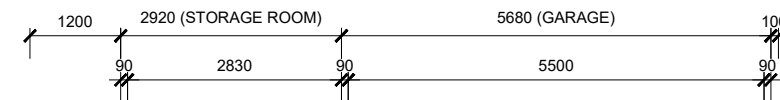
DRAWN BY:  
J.H

CHECKED:  
RICCARDO ROMANO (DP-AD23101)

PAGE N°. 03/03 SCALE 1:100 (A3) REVISION 00

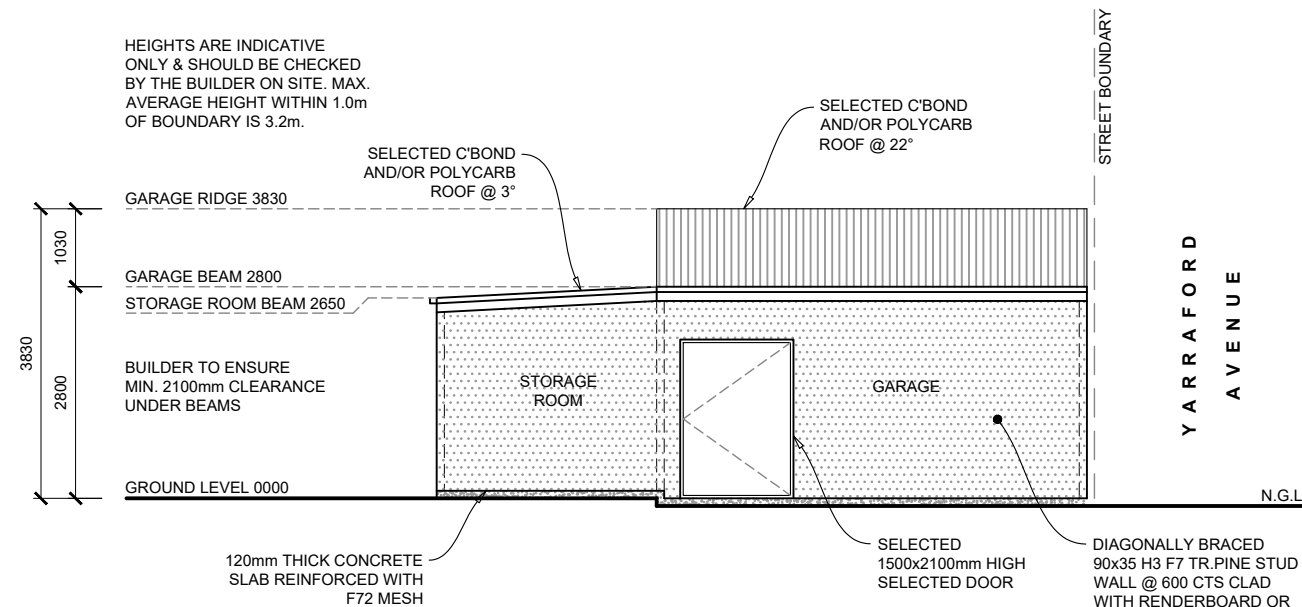
**STRUCTURAL INFORMATION**

|                  |   |  |
|------------------|---|--|
| STUD WALLS       | WALLS TO BE CONSTRUCTED WITH H3 F7 TR/PINE. TOP & BOTTOM PLATES & JAMB STUDS TO BE 90x45. BOTTOM PLATE DYNABOLT TO CONCRETE SLAB @ 900 MAX CTS. COMMON STUDS 90x35 @ 600mm CENTRES. NOGGINS 90x35 CONTINUOUS LINES SPACED TO 1350mm MAX. DIAGONAL TIMBER OR SPEED BRACING TO BE NOTCHED THROUGH STUDS. LINTEL AS NOTED ON THE LAYOUT.                       |  |
| SIDE BEAMS       | 190x45 H3 F7 TR/PINE OR MGP10   | BOLTED TO POSTS 2xM10  |
| INTERNAL RAFTERS | 140x45 H3 F7 TR/PINE OR MGP10   | 1200mm MAX SPACINGS. FIXED TO BEAMS  |
| END RAFTERS      | 190x45 H3 F7 TR/PINE OR MGP10   | FIXED TO BEAMS   |
| RIDGE BOARD      | 190x38 H3 F7 TR/PINE OR MGP10   | SUPPORTED VIA COLLARTIES   |
| COLLARTIES       | 140x45 H3 F7 TR/PINE OR MGP10   | INSTALL TO EVERY RAFTER SET OR MAX. 1200mm SPACING. USE M10 BOLT IF OVER 4.2M SPAN. POSITION COLLARTIES AT APPROX. 1/3 TO 1/2 THE HEIGHT OF THE ROOF PITCH.    |
| PURLINS          | 45x90 H3 F7 TR/PINE   | 900mm MAX. SPACING VIA BUGLE SCREWS  |
| ROOFING          | SELECTED TRAPEZOIDAL @ 22/3°  | SCREW FIXED TO PURLINS   |
| STORMWATER       | SELECTED C'BOND GUTTER 90mm DIA. PVC OR 100x50mm C'BOND DOWNPIPE TO NCC 3.5.2.  | DOWNPIPES TO BE CONNECTED TO NEAREST EXISTING STORMWATER DRAINAGE SYSTEM (L.P.D.) WITH MIN. 90mm PVC PIPE IN A GRADE OF 1:100 AS PER AS.3500 MAX SPACING 12.0m |
| GENERAL          | <ul style="list-style-type: none"> <li>ALL TIMBER STRUCTURAL MEMBERS SHALL COMPLY WITH AS1684.4-2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUAL AND SUPPLEMENTARY TABLES OR AS SHOWN ON ENGINEERS DRAWINGS (IF SUPPLIED)</li> <li>IF ALLOTMENT IS IN A TERMITE PRONE AREA THEN TERMITE TREATMENT IS REQUIRED IN ACCORDANCE WITH AS3660.1-2014</li> </ul> |  |

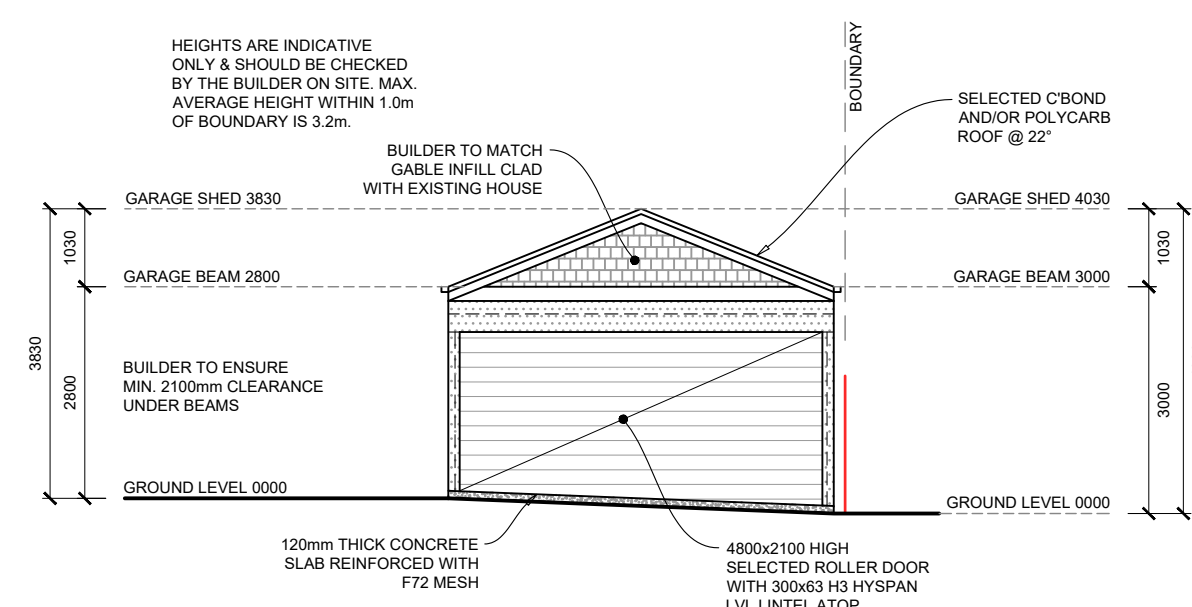


PROPERTY OF PERMIT PLANS STUDIO  
NOT TO BE USED FOR PERMIT OR CONSTRUCTION PURPOSES.

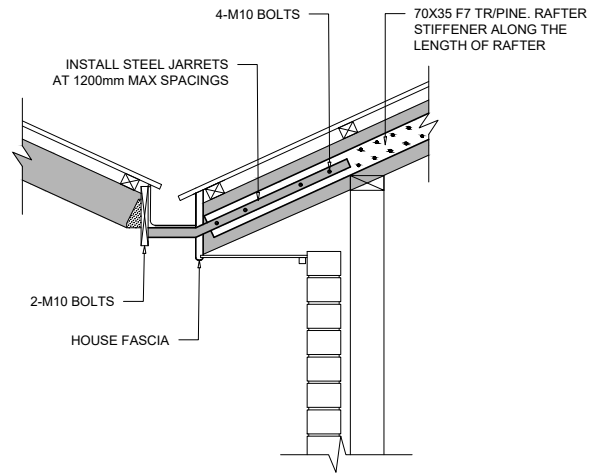
**GARAGE LAYOUT**



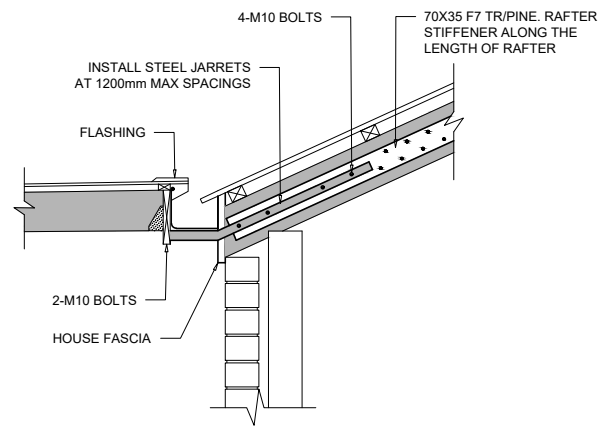
**SOUTH ELEVATION**



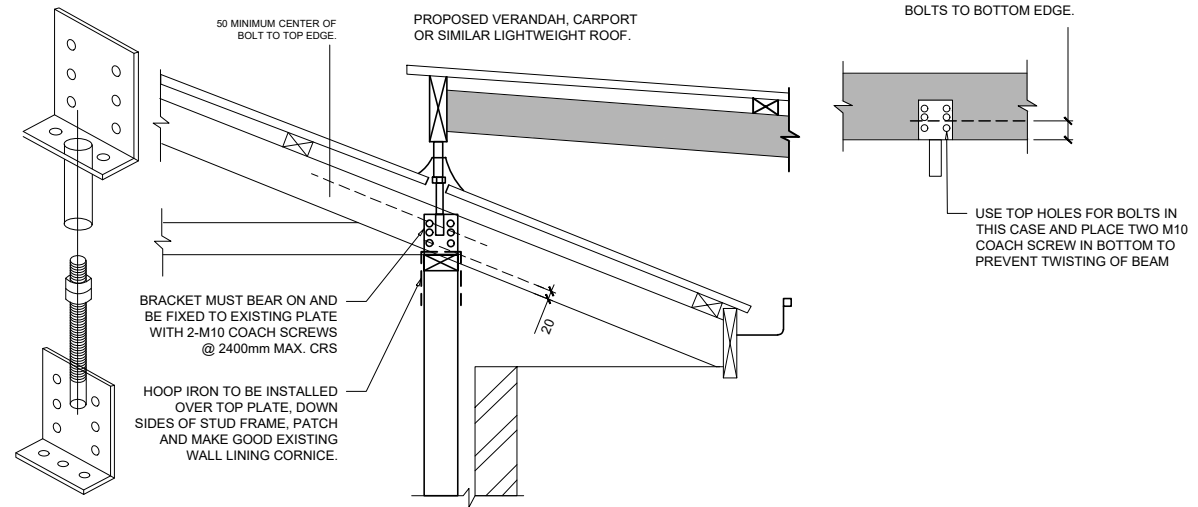
**EAST ELEVATION**



**01- JARRET ATTACHMENT FOR A HIP OR GABLE ROOF (SAME DETAIL IF NO PROTRUDING EAVE)**



**02- JARRET ATTACHMENT FOR A SKILLION ROOF (SAME DETAIL WITH PROTRUDING EAVE)**



**03- EXTENDER BRACKET ATTACHMENT**

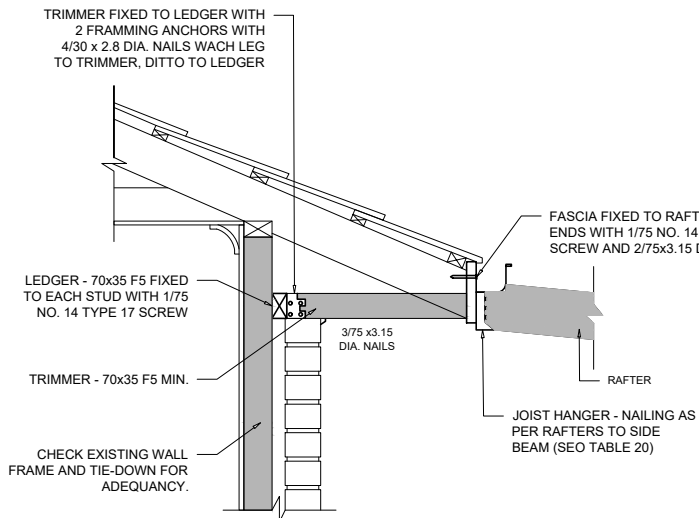


www.permitplans.com

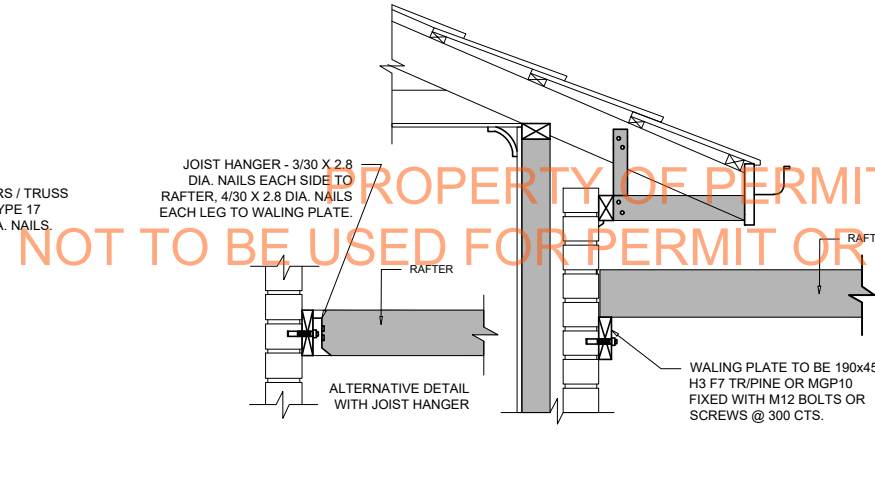
© DESIGN COPYRIGHT OWNED BY PERMIT PLANS STUDIO

THE DESIGN AND DRAWING IS THE PROPERTY OF PERMIT PLANS AND MAY NOT BE ALTERED OR COPIED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT.

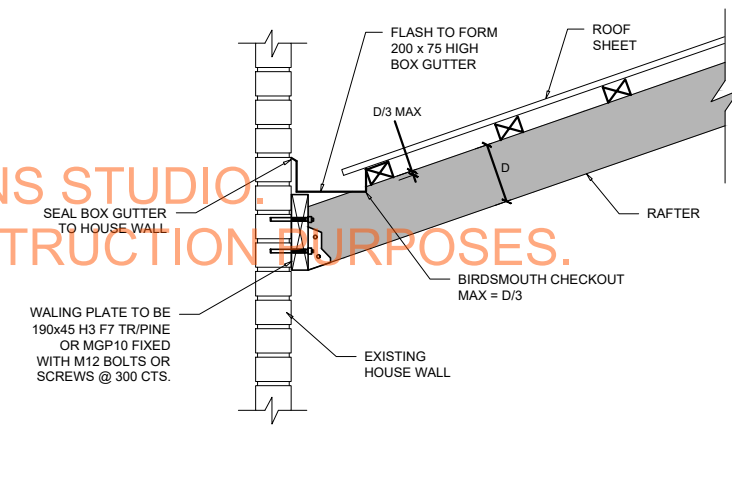
THE BUILDER SHALL CHECK AND VERIFY ALL BOUNDARIES, LEVELS, DATUM & DIMENSIONS ON SITE AND SHALL REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO START OF WORK & DURING THE CONSTRUCTION PHASE THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ANY STRUCTURAL, MECHANICAL, ELECTRICAL AND OR ANY OTHER CONSULTANT/S DOCUMENTATION AS MAY BE APPLICABLE TO THE PROJECT PRIOR TO START OF WORK & IT'S DURATION.



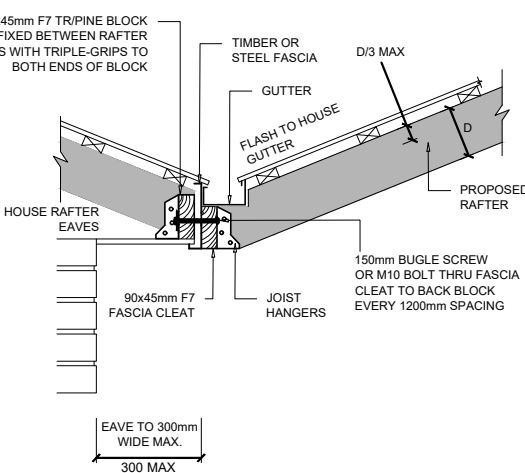
**04 CONNECTION TO EXISTING FASCIA DETAIL**



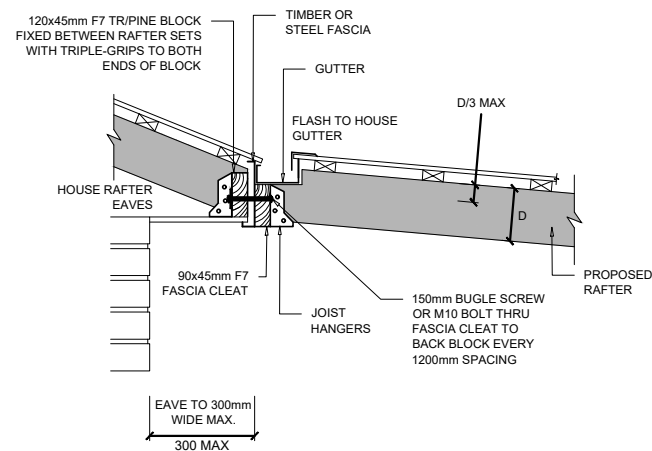
**05- WALL ATTACHMENT**



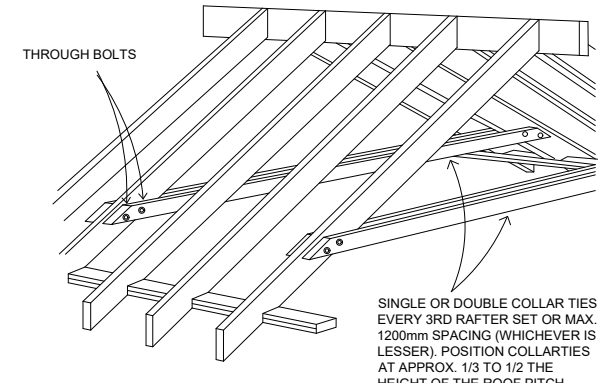
**06- BOX GUTTER ON HOUSE WALL**



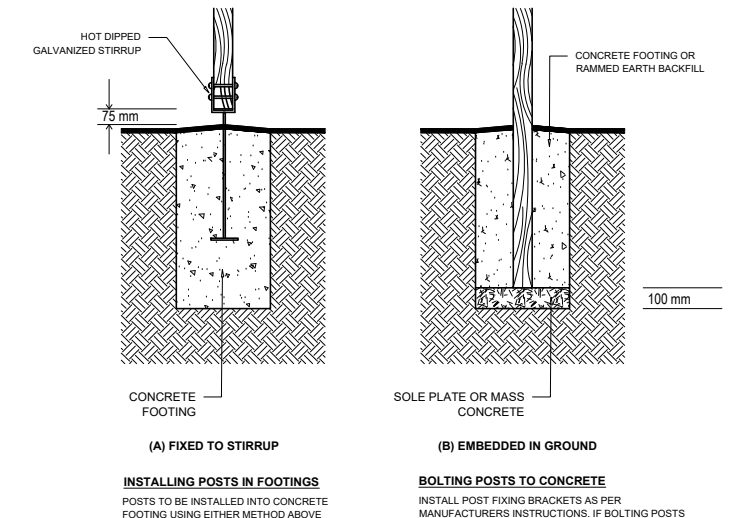
**07- BACK BLOCK ATTACHMENT FOR SHORT OR ZERO EAVES (GABLE)**



**08- BACK BLOCK ATTACHMENT FOR SHORT OR ZERO EAVES (STANDARD OR INVERTED SKILLION)**



**09- COLLARTIES**



**10- FOOTING DETAILS**

PROJECT DETAILS:  
SECTIONAL DETAILS

DRAWING TITLE:  
ROOF DETAILS

ISSUED BY: PERMIT PLANS  
ISSUED DATE: 00/00/0000

DRAWN BY:  
J.H.

CHECKED:  
RICCARDO ROMANO (DP-AD23101)

PAGE N°. SCALE REVISION  
Supplement Not to Scale 00