








-  EXISTING STRUCTURES
-  PROPOSED STRUCTURES
-  SOFT LANDSCAPING
-  EXISTING PAVING
-  PRIVATE OPEN SPACE
-  POOL COPING / PAVING
-  EXISTING PAVING

NOTE:

POOL FENCING / SAFETY BARRIER BUILT IN ACCORDANCE WITH AS1926.1

POOL FENCE TO BE A MINIMUM HEIGHT OF 1200mmH WITH NO GAPS PERMITTING A 100mm SPHERE TO PASS THROUGH.

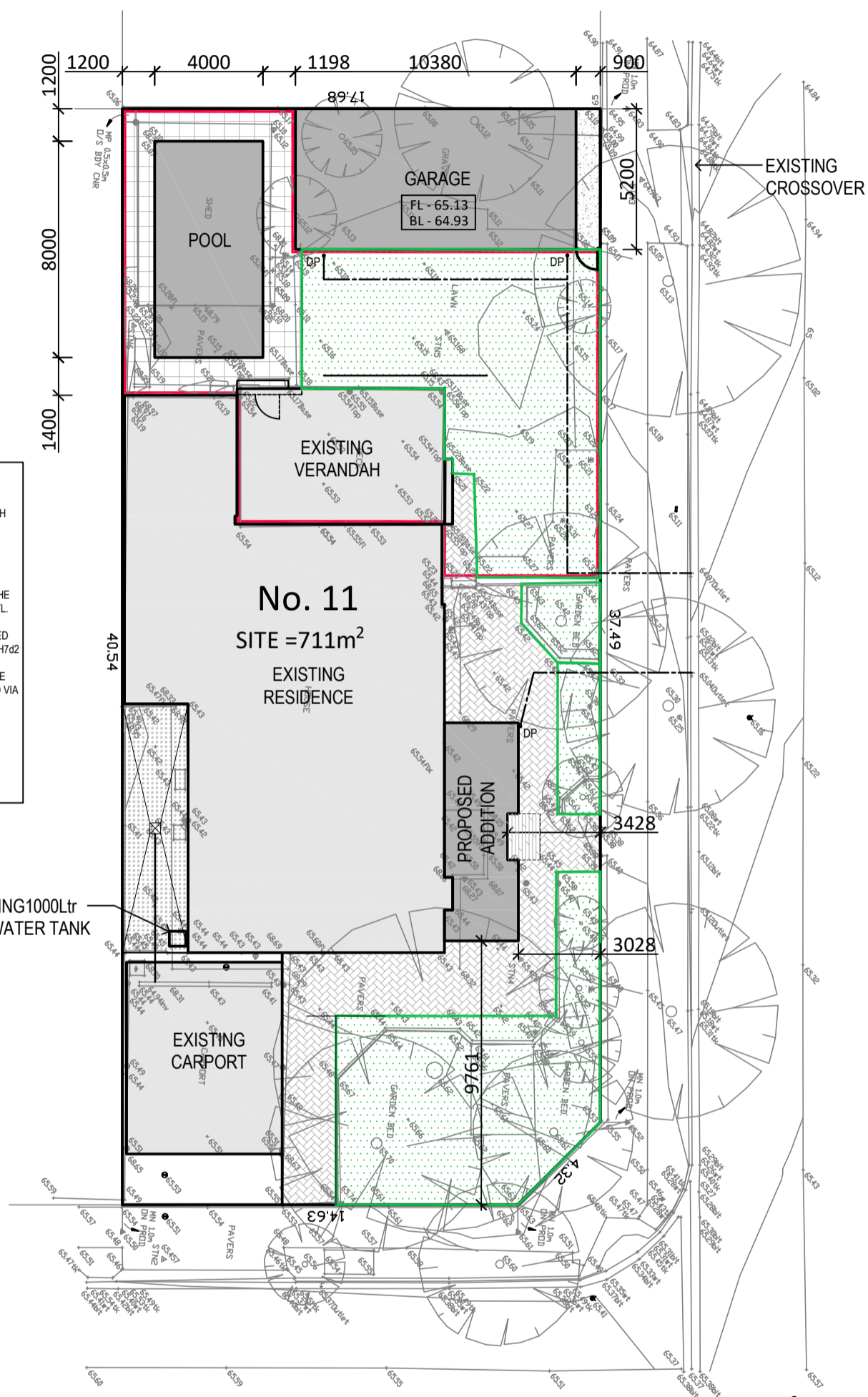
POOL GATE TO BE SELF-CLOSING AND SELF-LATCHING WITH THE LATCH RELEASE MECHANISM A MINIMUM OF 1500mm ABOVE FFL.

ENSURE SIGNAGE TO ASSIST WITH FIRST AID WILL BE PROVIDED WITHIN THE POOL ENCLOSURE IN ACCORDANCE WITH BCA-SAH7d2

ENSURE SKIMMER BOX WILL HAVE A MEANS OF RELEASING THE VACUUM PRESSURE SHOULD THE SUCTION BECOME BLOCKED VIA A SECONDARY OUTLET A MIN. OF 900mm AWAY FROM OTHER OUTLET IN ACCORDANCE WITH CL 6.1.1 OF AS1926.3

BOUNDARY FENCING BUILT IN ACCORDANCE WITH AS1926.1

POOL EQUIPEMNY IN ACOUSTIC ENCLOSURE PER COUNCIL REQUIREMENTS



BUTLER AVENUE

HAY STREET

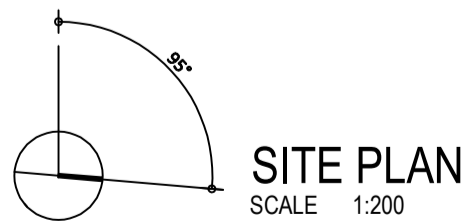
AREAS :

SITE	: 711.98sq m
SITE COVERAGE	: 339.9sqm 47.7%
POS	: 204.4sqm 28.7%
SOFT LANDSCAPING	: 181.3sqm 25.5%

NOTES:

STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS/NZS 3500.3

ALL NEW STORMWATER DOWNPIPES AND SURFACE WATER TO BE CONNECTED TO THE EXISTING SYSTEM VIA 90mmØ PVC PIPES. OVERFLOW TO COUNCIL KERB



PROPOSED RESIDENCE

FOR: JAMES & COURTNEY SKUSE

AT: No. 11 BUTLER AVENUE LOWER MITCHAM

Amendments:

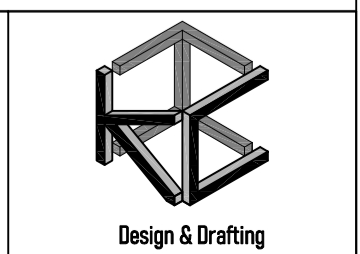
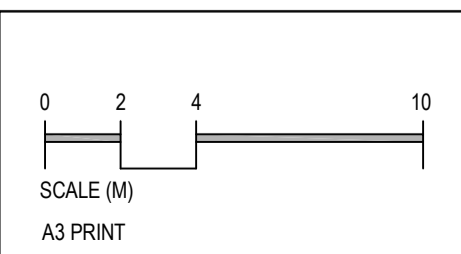
SCALE: 1: 200

DATE: 08 MAY 2024

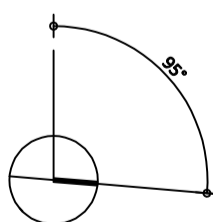
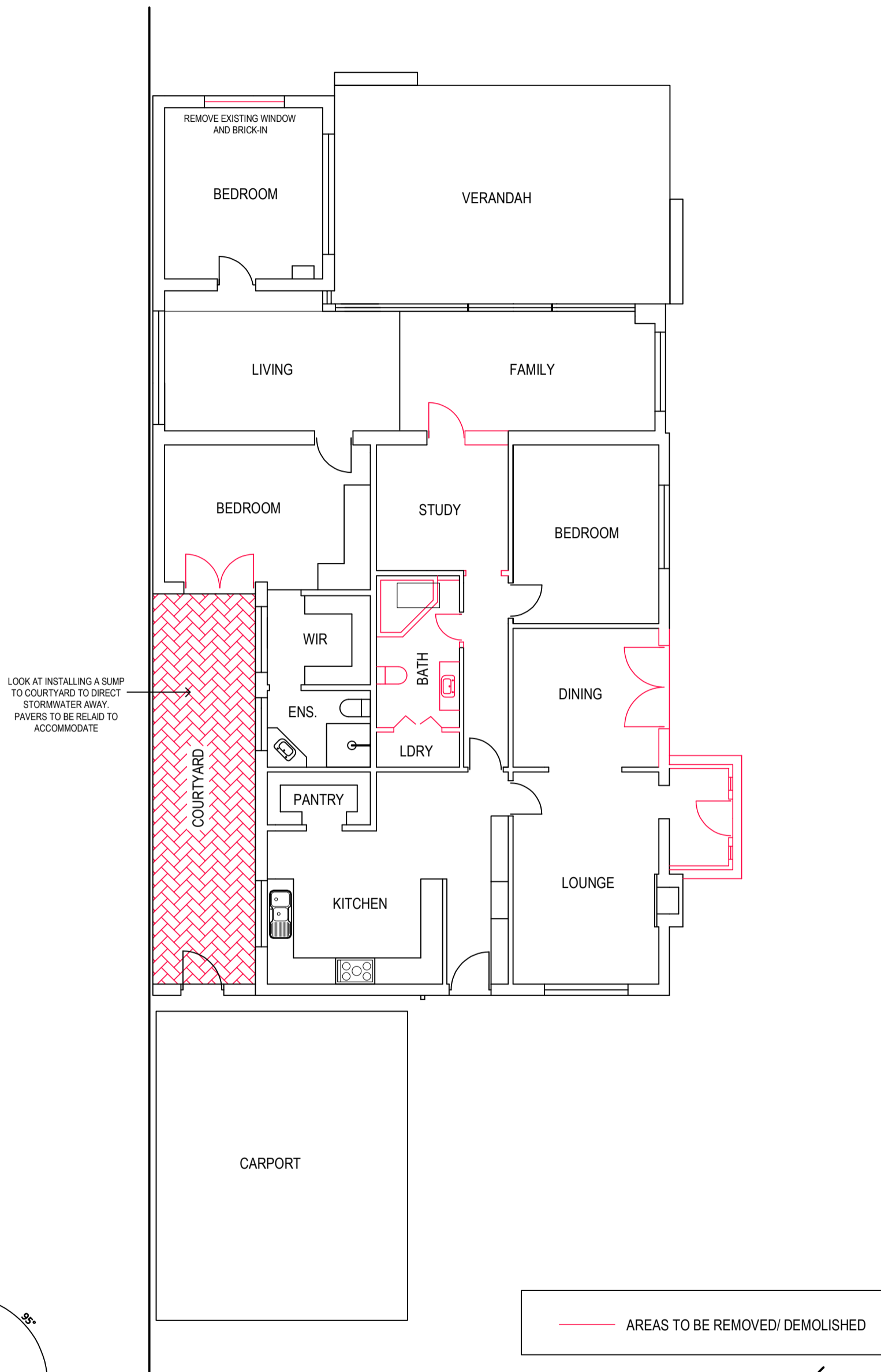
SHEET: 1 OF 4

JOB No: PR_SKUSE

DRAWN By: KC



PLANNING DRAWINGS



DEMOLITION PLAN

SCALE 1:100

PLANNING DRAWINGS

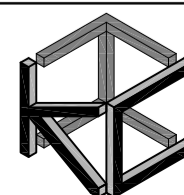
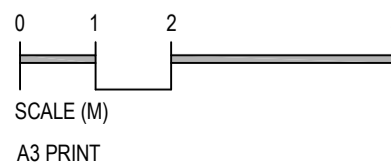
PROPOSED RESIDENCE

FOR: JAMES & COURTNEY
SKUSE

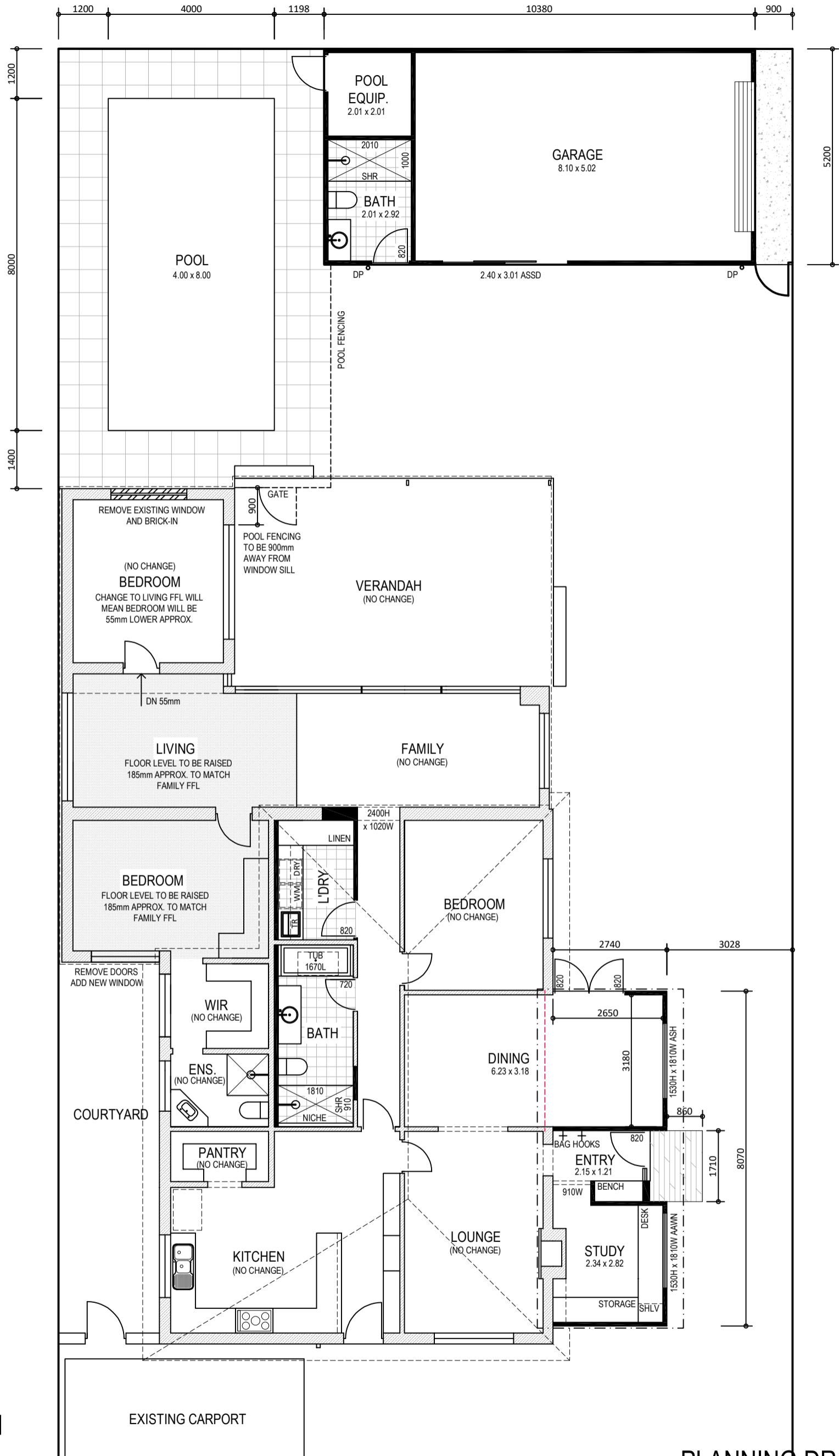
AT: No. 11
BUTLER AVENUE
LOWER MITCHAM

Amendments:

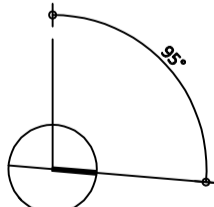
SCALE: 1:100
DATE: 08 MAY 2024
SHEET: 2 OF 4
JOB No: PR_SKUSE
DRAWN By: KC



Design & Drafting



AREAS :		
EXISTING LIVING	: 185.7	265.0
EXISTING VERANDAH	: 38.5	
EXISTING CARPORT	: 40.8	
PROPOSED ADDITION	: 21.0	74.9
PROPOSED SHED	: 53.9	
TOTAL		339.9



PROPOSED PLAN
 SCALE 1:100

PLANNING DRAWINGS

PROPOSED RESIDENCE
 FOR: JAMES & COURTNEY SKUSE
 AT: No. 11 BUTLER AVENUE LOWER MITCHAM

Amendments:

SCALE: 1:100
 DATE: 08 MAY 2024
 SHEET: 3 OF 4
 JOB No: PR_SKUSE
 DRAWN By: KC

