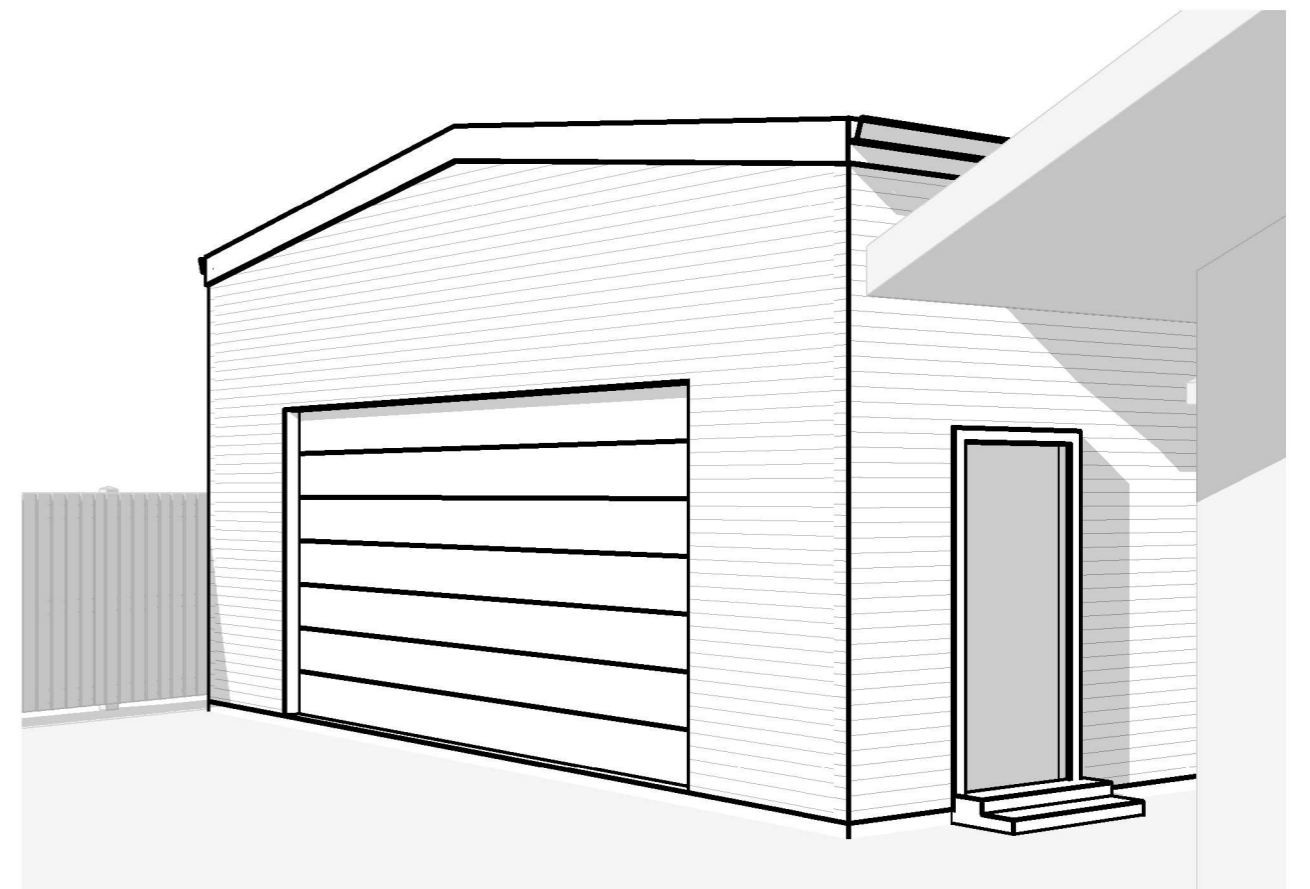


PROPOSED STORAGE GARAGE

12 VOYAGER COURT, WORONGARY

Sheet List

Sheet Number	Sheet Name	Current Revision
WD00	COVER	A
WD01	GENERAL NOTES	A
WD02	SAFE DESIGN REPORT	A
WD03	EXISTING SITE SURVEY	A
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WD08	ELEVATIONS	A
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REV.	DESCRIPTION	DATE	ISSUED BY
A	PERMIT ISSUE	02.07.25	

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



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DRAWING NO:	
DESIGNED BY: MERLIN HANNIKERI	
DRAWN BY: MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	COVER

SHEET No.	WD00
REV	A
PROJECT No.	25014

FRAMING NOTES :

Timber frame design to be in accordance with AS1684.1-1999 and AS1684.2.-2021

Wall nogging at max.1350mm centres. Provide additional nogging to suit location of fittings such as sanitary fittings, niches, skirtings, fixings for flashing and roof plumbing fixtures.

Confirm location prior to placement and fixing of linings.

Lintels to be F27 kiln dried hardwood unless noted otherwise, refer structural engineers drawings.

TIE DOWN NOTES :

Tie downs to be in accordance with AS1684.2.-2021

Standard tie down unless noted otherwise by the structural engineer - refer engineers drawings.

INSULATION NOTES :

Refer to the energy efficiency report

EXTERNAL LININGS :

External cladding to be as noted on the elevations - refer elevations for detail and extent

INTERNAL LININGS :

Plasterboard (pb)

Line dry area stud walls with 10mm plasterboard select paint finish, fix sheets horizontally and back block vertical joints "off stud".

Line wet area stud walls with 6mm villaboard and select wall finish. Note, refer to engineers bracing plan for variations in wall linings.

Line ceilings generally with 10mm plasterboard lining - refer finishes schedule for detail. Select paint/applied finish. Use standard grade in dry areas and "MR" grade in wet areas.

Line dry area internal masonry walls with 10mm plasterboard on 28mm furring channels and selected paint/applied finish.

Wet area masonry / concrete walls, refer plastering section.

WINDOWS :

The window manufacturers design engineer is responsible for the design of the window system including glazing.

Design parameters :

To AS1170.2-2021, wind loads with return period, region, terrain category, wind speeds,

multiplying factors determined by the design engineer.

Service life of windows and glazing : 50 years.

Movement: Allow to accommodate expected structural and thermal movement.

Glass: Refer window schedule for type.

Frames: Refer window schedule for type.

Finish: Refer window schedule for type.

Condition category as defined in AS/NZS4506 clause 1.4 - category 5 required for

projects within 1km of surf beach.

PLASTERING :

Cement render work (CR).

Provide cement render work in two step process:

First coat; dash coat (but see groove pattern precaution below)

Second coat; 8 to 12mm (average 10mm) work wood and plastic float to a fine sand texture finish.

Proportions (cement : lime : sand) to plasterers selection, must be suitable for substrate and not allow efflorescence through texture coating.

Waterproof render: Provide Selleys "Aquapaste #2" or equal approved to manufacturers recommendations. Scribe lines: Provide 50mm wide x render depth at spacing's and locations shown on elevations.

Vee grooves: Junctions between different substrates, slab edges, perimeter door / window frames abutting other finishes.

External work: See elevations of building envelope, landscape planters, retaining walls, boundary and courtyard walls.

Internal work: Wet area masonry walls.

CONCRETE:

Concrete structure to AS3600-2018 current edition with amendments.

Ground slabs and footings to AS2870-2011

Minimum reinforcement cover to unprotected membrane on ground or external surfaces 40mm, aggressive or salty environment 65mm. Provide continuous 200um polythene vapour barrier sealed at all joints and penetrations and placed on min. 50mm compacted sand bed.

Refer to structural engineers details and specification for preparation details. Allow to provide set downs to enable floor finishes to be level between different floor finish junctions internally. Locations include, but are not necessarily limited to the following: wet areas , set downs for timber flooring and entry matt recesses.

MOISTURE BARRIERS:

Provide as follows

Internal slabs: 200um moisture barrier with enclosed termite barrier, provide manufacturers 10 year warranty.

External slabs: Visqueen, 150um.

STEELWORK:

Refer to structural engineers detail drawings and specification. Provide shop drawings of all structural steelwork for approval by Architect & structural engineer prior to fabrication. External steelwork to be treated against corrosion to suit the site location.

Visible steelwork: Triplex coating system - final powdercoat to selected / scheduled colour

Non visible steelwork: Hot dipped galvanised.

ROOF TRUSSES :

Design parameters : To AS1170.2-2021 wind loads with return period / region / terrain category / wind speeds / multiplying factors as determined by the manufacturers design engineer. Design, provide and install, certify design and installation of timber roof trusses prefabricated by an approved proprietary manufacturer and install to manufacturers requirements. Provide all necessary support framing / platforms for ductwork and fan coil units, obtain loadings from the contractor for this work and accommodate in the design of the trusses. Similarly allow loadings for all the roof mounted solar hot water services.

CAVITY FLASHINGS :

N/A

BLOCKWORK:

Masonry units to comply with AS 4455.22010 current edition with amendments. Use "H" & 1/2 "H" blocks for reinforced and core filled blockwork. Concrete grout will have a minimum portland cement content of 300kg/m3, sufficient slump to completely fill cores and minimum compressive cylinders strength of 20mpa reinforcement will comply with AS1302-1977 & AS3700-2018 Bars 10mm dia. and above shall be min. 400 grade. Provide control joints 10mm wide to both unreinforced masonry refer to plans for locations.

Refer general notes for termite barriers.

Flashings to comply with AS2904-1995 and will be zinc coated steel of minimum 0.6mm. Flashings to be of a like / compatible material to remaining roof metal.

Mortar cement to be type GP portland cement complying with AS3972-2010

Mortar lime to be hydrated building lime complying with AS1672.1-2016

Mortar sand to conform to AS2758.1-2014

Provide wall ties to AS2699.1-2020. Use stainless steel ties in cavities of projects within 1km of beach shores.

Joints: treat as follows:

Face work : Tool joints to dense concave profile.

Plaster render work : Strike joints flush.

PENETRATION AND PERIMETER TERMITE PROTECTION :

Termite treatment: Protection system for all new building works to be in accordance with AS3660.1-2014 & AS3660.2-2000 and any further local authorities requirements.

Stainless steel mesh: Provide stainless steel mesh protection to the following areas - at all conduit pipe or other penetrations through the floor slab. at all construction joints between slabs or between non continuous pours. at the perimeter ensuring that finished ground level is below the level of the barrier.

System to be installed by a licensed and manufacturer approved contractor. The contractor will provide certification as outlined in the Australian Standard.

A 10 year warranty shall be provided on the installation.

Proprietary item: Termimesh

Slab penetration: the concrete slab shall be considered as a termite barrier in terms of as3660.1 - 1995.

TILING :

Slip resistance: Prior to ordering scheduled tiles, confirm slip resistance with supplier is achievable as laid in place, required for balcony tiles and external pavers and courtyards.

Comparability: Ensure waterproofing membrane , adhesive, grout, sealers used are comparable.

Sealers: (stone sealers) Refer schedule - use only warrantable proprietary sealers from reputable companies eg. Fila or equal. Must be non yellowing, penetrative, uv resistant and suitable for the end use and must be approved for use by the stone supplier. Apply two coats - use before fixing tiles and after grouting.

Installation: Scribe internal corners, mitre cut vertical corners. Plinth corners - Hone and arriss & hone and polish visible stone edges as applicable.

Sealants: Select colour polyurethane and or silicone, provide to wall corners, wall floor junction, around door and window openings, around balcony tile perimeter, structural joints and movement joints (to max.5 m2)

Floor finish dividers: refer details, select finish angle to suit height of floor finish.

CARPETS :

Carpet tiles to office areas

PAINTING AND TEXTURED COATINGS :

Samples: Provide samples as required.

Approved paint manufacturers: Orica (dulux), Barloworld (taubmans) and or Resene all from the premium range.

Textured coatings: Rockcote Enterprises - refer schedules

METALWORK :

Weldings: use system appropriate to metals being welded.

Visible welds: Must be ground smooth.

Fillet welds: Neat concave profile.

Butt welds: Smooth , flush with adjacent metal.

Non visible steelwork: grit blast and hot dip galvanise.

Visible steelwork: grit blast and Triplex to selected colour

Visible aluminium work: powdercoating to service condition category as defined in as/nzs4506-2005 clause 1.4 note category 5 required for projects within 1km of surf beach.

Visible stainless steel work: finish as scheduled.

WATERPROOFING

General

Provide, apply and install a complete, effective waterproof sheet tanking system including underslab & around pile caps based on specifications provided by XYPEX Australia. The whole waterproofing system is to be provided by one supplier/installer as a complete system. Work is to be completed by an approved Xypex installer.

Alternative sheet tanking waterproof membrane systems may be considered where also installed and warranted by one supplier/installer and must be submitted at the time of tender for review..

Warranty Waterproofing Membrane System

On completion of work provide a written warranty that is specified or alternatively approved sheet tanking membrane system supplied/applied/protected on this project:-
- Is suitable for the intended purpose which is the complete absence of ingress of ground water.

- Has been supplied and installed by the manufacturers approved/licensed installers and the

installation inspected by the manufacturer.

- Will effectively waterproof the below ground walls and retaining walls.

Period of Warranty:

10 years from the date of Practical Completion.

DOORS :

Internal doors to be solid core door, 35mm thickness u.n.o. Doors to be select flush panelled doors with paint finish - refer schedules.

External doors to be solid core, exterior grade with steel lining - Refer to door schedule for further details. Provide weather seals to all external doors,

JOINERY :

Provide shop drawings of all joinery for approval prior to construction of joinery.

Timber veneers and edge stripping: refer schedule of finishes for species and drawings for grain direction. Edge stripping to carcass, gable division and doors to be in the same species. Note - interior surfaces of cupboards to be back veneered to prevent warping.

Glasswork: Types of glass (shelving, splashback, cupboards) as scheduled. Any visible edges ground and polished.

Construction: Use proprietary assembly systems eg. knockdown fittings, cam and or wedge housing connectors, shelf fastenings and the like.

HYDRAULICS :

Hotwater to be Reticulated

GENERAL NOTES :

New work to be in accordance with the Building Code of Australia and the Building Act 1975 - 1991.NCC-2023 Provide natural light and ventilation in accordance with Clauses F4.4 of the BCA.

Refer to structural engineers drawings for detail of reinforced concrete slab and footings.

Refer lighting designers drawings for detail location and selection of light fixtures (these drawings are diagrammatic only and are intended to indicate the design in accordance with the relevant regulations and requirements of the authorities concerned and do not relieve the contractor or builder from any responsibility even if stamped approved by the authorities).
Notify discrepancies to architect for resolution prior to commencing works.

WATERPROOFING WET AREAS

Standard General:

To AS 3740. - 2021

Membrane - Walls & Floors

Provide a proprietary liquid applied membrane system:

(1) Has a current Australian Building Products and Systems Certification Scheme certificate; or

(2) Has a current technical opinion issued by the Australian Building Systems Appraisal Council stating that the system is suitable for use as a waterproofing system for use in wet areas, shower recess bases and associated floors and wall/floor junctions which

are

to be tiled.

Locations

Membrane under Wall Tiles: Provide single layer membrane to:

(3) Shower walls - to minimum 1800 high.

Membrane Under Floor Tiles: Provide double layer membrane to first floor wet areas single layer to ground :

Double layer as follows:

(7) First layer on floor slab substrate - note check and ensure slabs have no area which can hold/pond water.

(8) Second layer on top of falling screen/mortar bed.

Turn membrane up walls minimum 200 mm.


Proprietary Membrane

Products from the range of ABA - acrylic membrane "Premixed Bathroom & Balcony".

BE ADVISED : SOME CLAUSES IN THIS SPECTIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

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DRAWN BY: MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	GENERAL NOTES

SHEET No.	WD01
REV	A
PROJECT No.	25014

SAFE DESIGN REPORT

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Where possible, components for this building should be prefabricated offsite or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For low rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roofs or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment should be used in accordance with relevant codes of practice, regulations or legislation.

Anchorage points for portable scaffold or fall arrest devices are recommended for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about any anchorage points.

b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004. STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance work on or around this building is likely to involve persons working above ground level or above floor levels.

Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms
3. Provide protective structure below the work area
4. Ensure that all persons below the work area have personal protective equipment.

During construction of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction or maintenance presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service such as Dial Before You Dig, appropriate excavation practice should be used and, where necessary, specialist contractors should be used in locations with underground power.

Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. In locations with overhead power lines:

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

4. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All materials packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction or maintenance of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer specifications and not used where faulty or in the case of electrical equipment not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

5. HAZARDOUS SUBSTANCES

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

6. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction or maintenance of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where onsite loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

The building has been designed to requirements of the classification identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues in accordance with the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be undertaken.

9. OPERATIONAL USE OF BUILDING

This building has been designed to requirements of the classification identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues in accordance with the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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DRAWING NO:	
DESIGNED BY: MERLIN HANNIKERI	
DRAWN BY: MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	SAFE DESIGN REPORT

SHEET No.	WD02
REV	A
PROJECT No.	25014



Stewart McIntyre & Associates Consulting Surveyors 14/2 Mielee Court, Burleigh Heads Phone: (07) 5598 3334 Email: admin@smcsurvey.com.au		TITLE CONTOUR AND DETAIL SURVEY OVER PART OF LOT 179 ON RP815578 LOCALITY: WORONGARY L33A: GOLD-COAST CITY CLIENT: COASTAL LIFESTYLES		SURVEYOR P.M. DRAWN P.M. DATE 17/04/2025 DRAWING NO. 25803WO - 1		THE SURFACE ELEVATIONS OF THE SERVICES SHOWN ON THIS PLAN HAVE BEEN LOCATED BY FIELD SURVEY. THE POSITION OF THE UNDERGROUND ELEMENTS OF THE SERVICES HAVE BEEN DETERMINED BY THE SERVICES OF THE RELEVANT AUTHORITIES. PRIOR TO DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONSULTED TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES AND DETAILED LOCATION OF ALL SERVICES.
SCALE 1:100 AT A2 LEVEL DATUM: MHD						

REV.	DESCRIPTION	DATE	ISSUED BY
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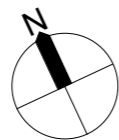
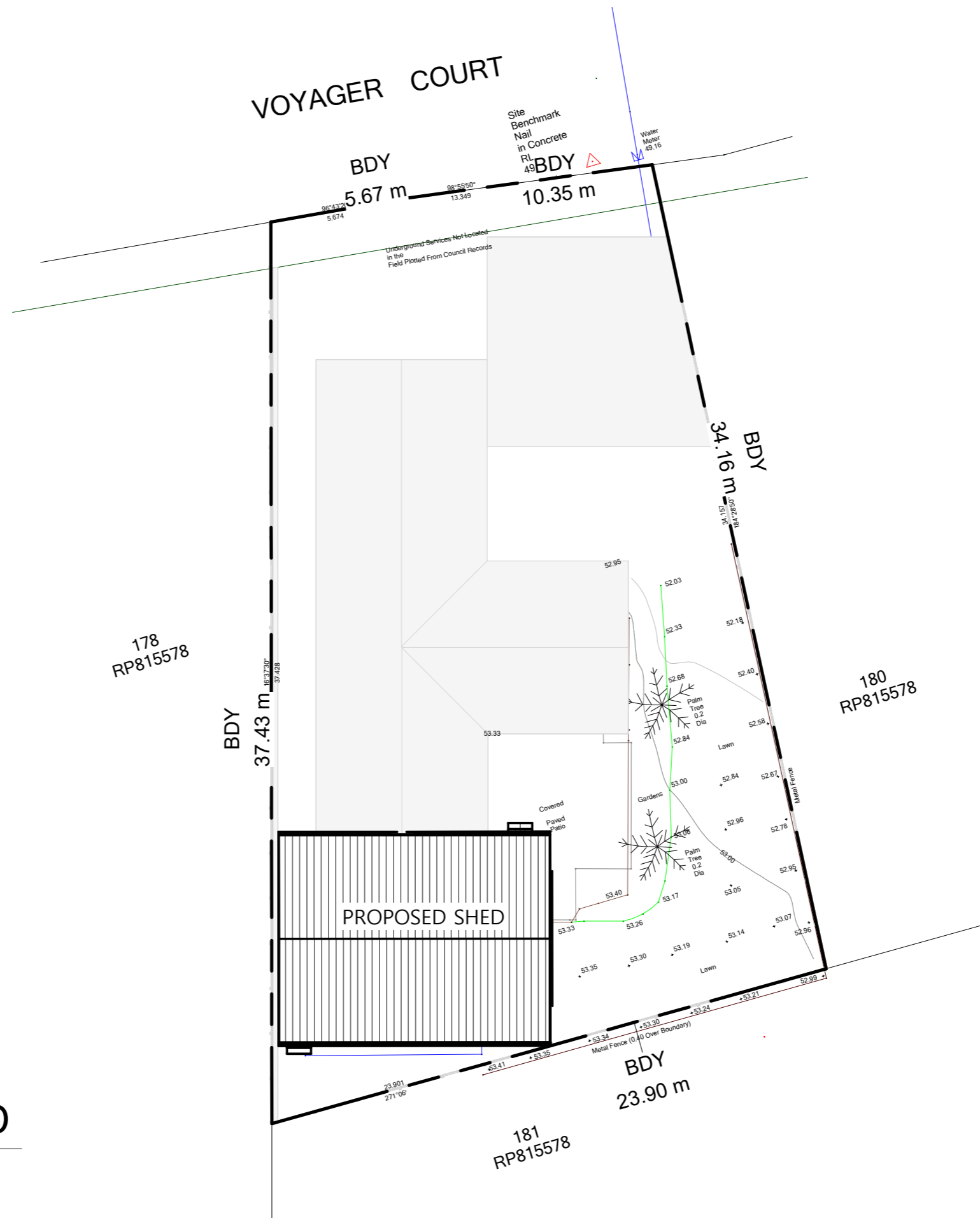
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DRAWN BY: MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	EXISTING SITE SURVEY

SHEET No.	WD03
REV	A
PROJECT No.	25014

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.

VOYAGER COURT



TOTAL SITE- 705m
 EXISTING HOUSE - 160m
 EXISTING CARPORT - 73m
 PROPOSED GARAGE - 96.7m
 PROPOSED SITE COVER - 46.8%

1 SITE PLAN - PROPOSED

1 : 200

REV.	DESCRIPTION	DATE	ISSUED BY
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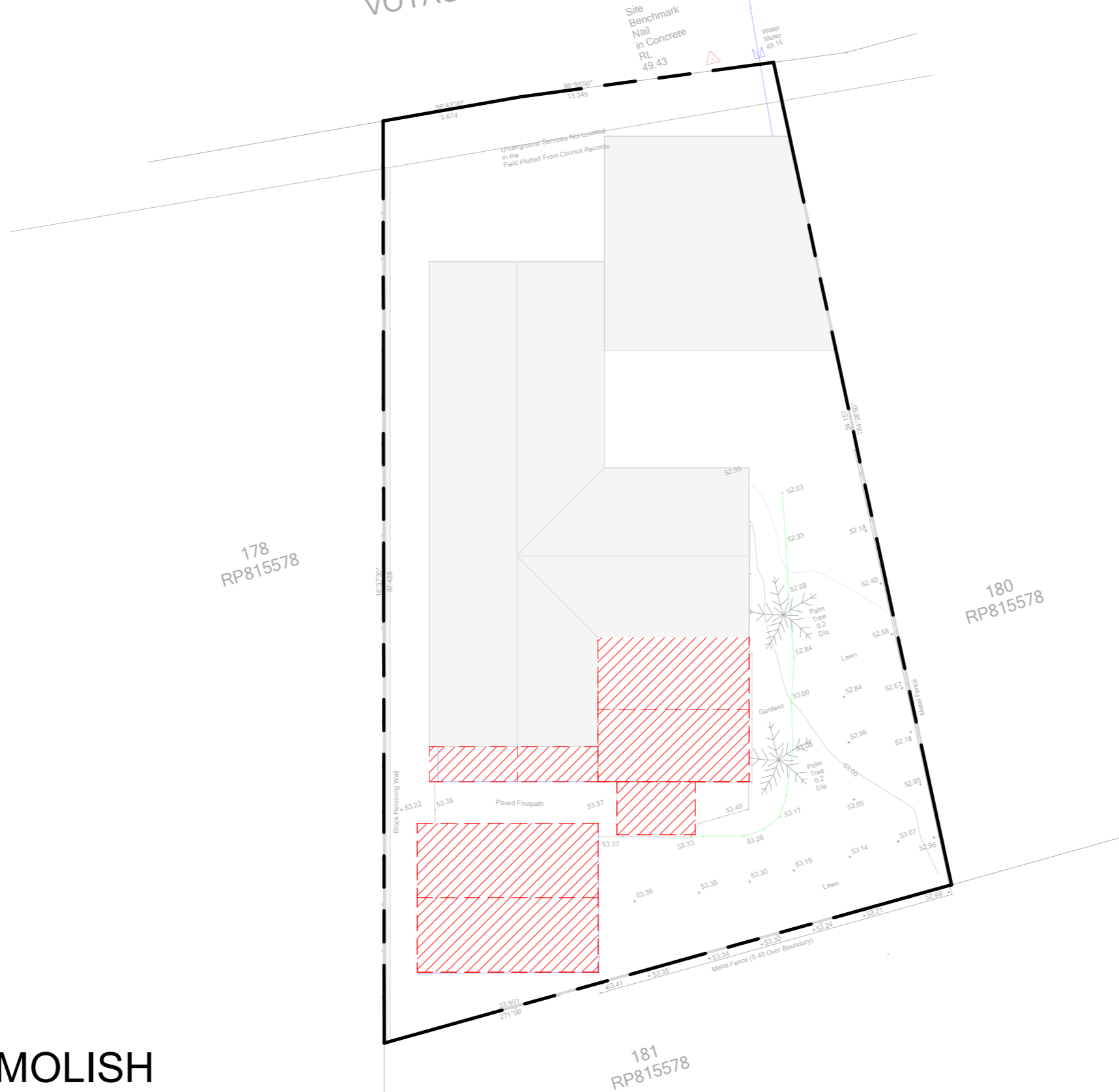
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DRAWN BY:	MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	SITE PLAN

SHEET No.	WD04
REV	A
PROJECT No.	25014

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.

VOYAGER COURT



1

SITE PLAN - DEMOLISH

1 : 200

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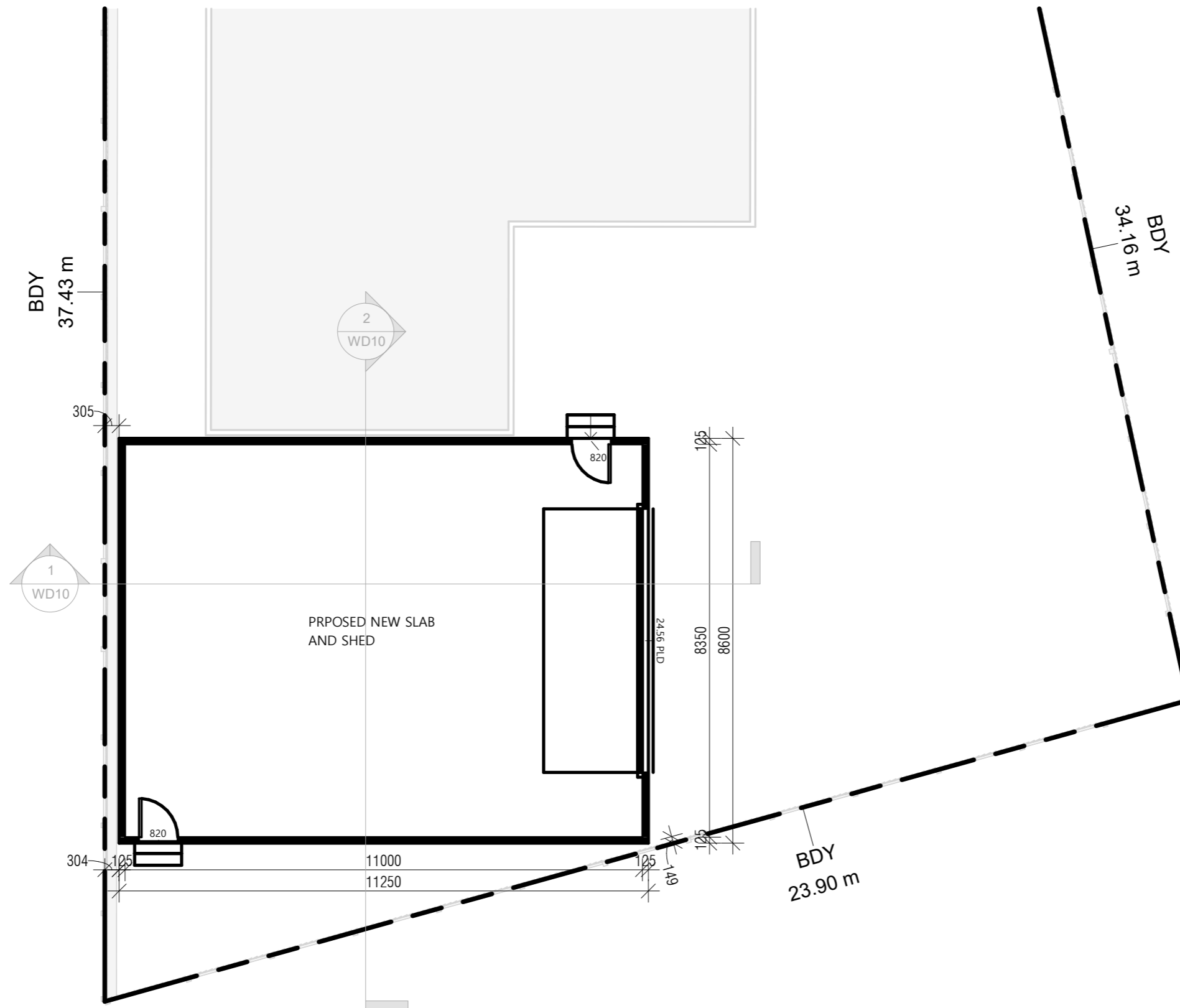
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PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	SITE PLAN - DEMOLISH

SHEET No.	WD05
REV	A
PROJECT No.	25014

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



1 Ground Floor
1 : 100

REV.	DESCRIPTION	DATE	ISSUED BY
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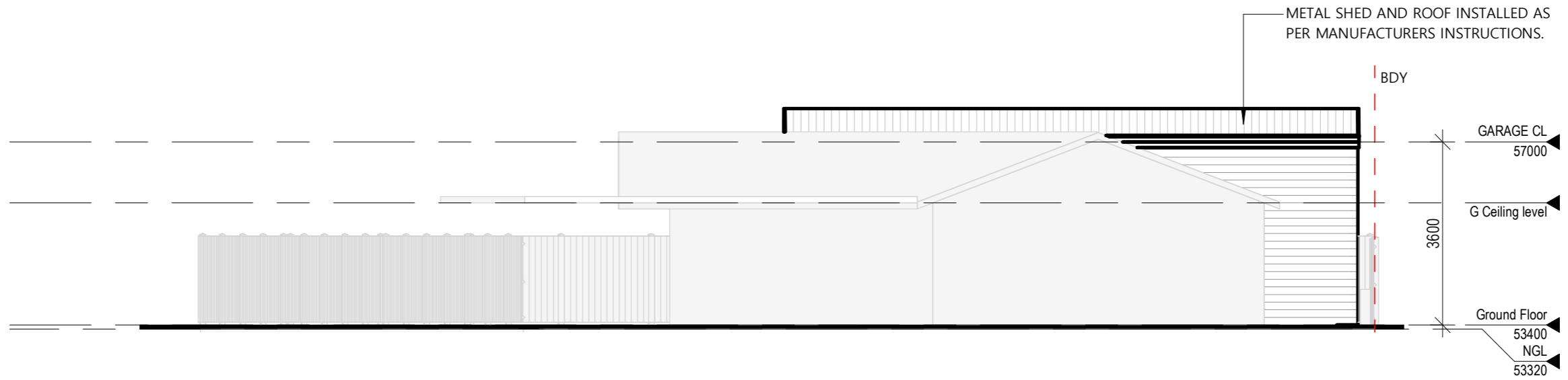
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 ABN - 87615886103
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 email: admin@dmenggd.com.au
 Mob: 0447 768 886

SCALE:	1 : 100	CHECKED BY: MERLIN HANNIKERI (QBCC LICENCE NUMBER : 15045787)
DRAWING NO:		
DESIGNED BY:	MERLIN HANNIKERI	
DRAWN BY:	MH	

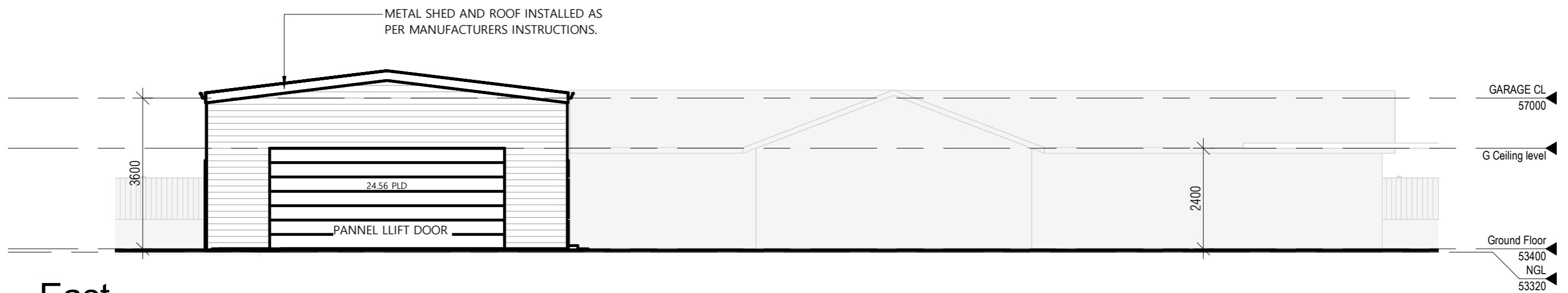
PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	FLOOR PLAN

SHEET No.	WD06
REV	A
PROJECT No.	25014

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



2 North
1 : 100



1 East
1 : 100

REV.	DESCRIPTION	DATE	ISSUED BY
A	PERMIT ISSUE	02.07.25	

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



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 ABN - 87615886103
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 Mob: 0447 768 886

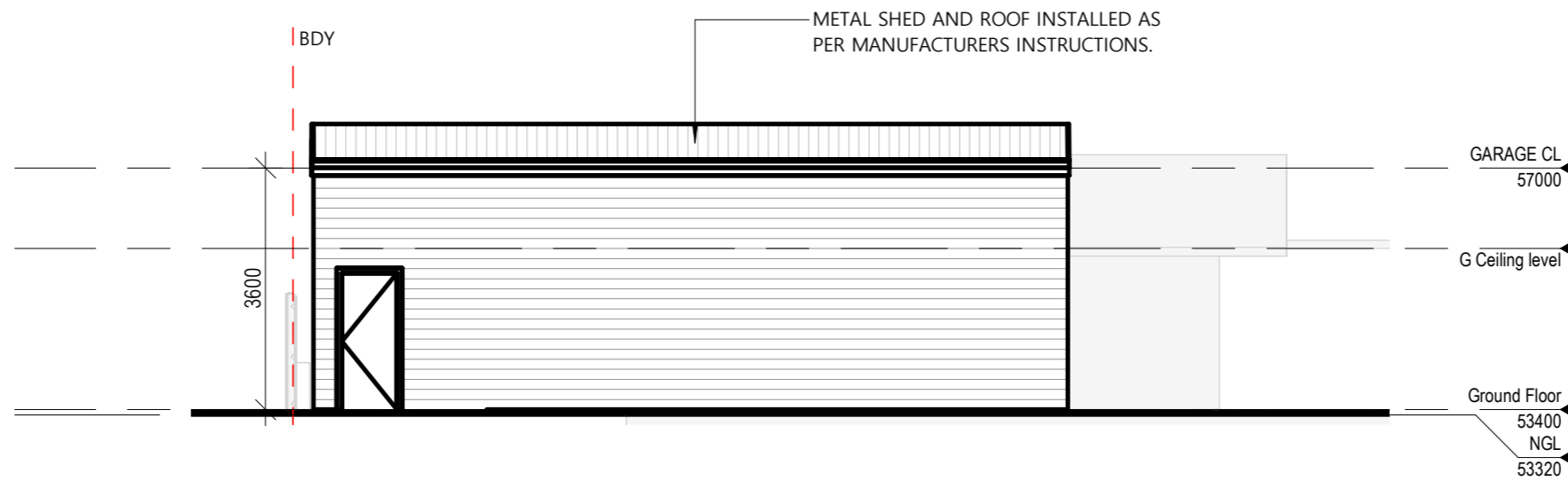
SCALE:	1 : 100
DRAWING NO:	
DESIGNED BY:	MERLIN HANNIKERI
DRAWN BY:	MH

CHECKED BY: MERLIN HANNIKERI
 (QBCC LICENCE NUMBER : 15045787)

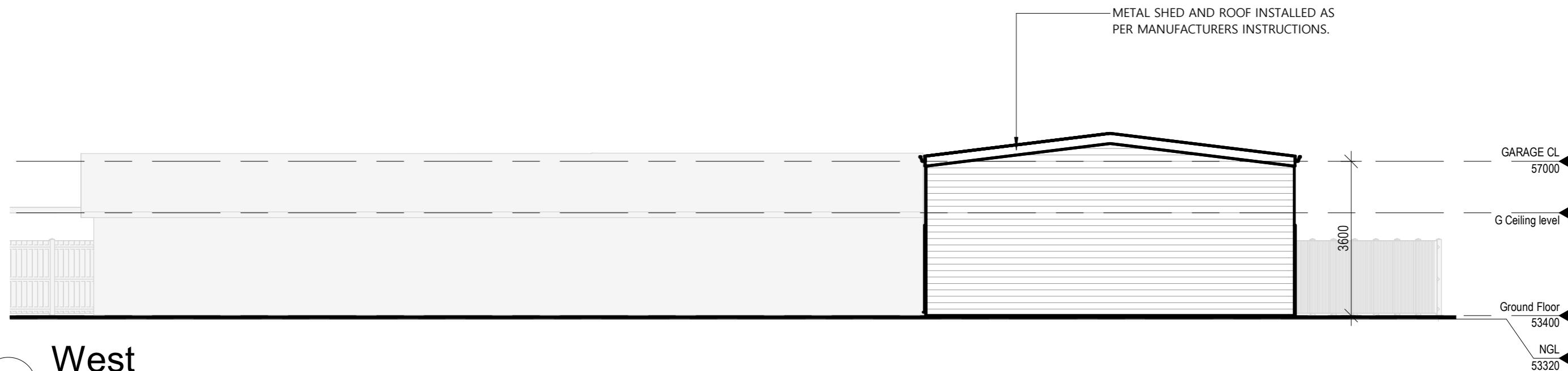
PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	ELEVATIONS

SHEET No.	WD07
REV	A
PROJECT No.	25014

1 South
1 : 100



2 West
1 : 100



REV.	DESCRIPTION	DATE	ISSUED BY
A	PERMIT ISSUE	02.07.25	

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



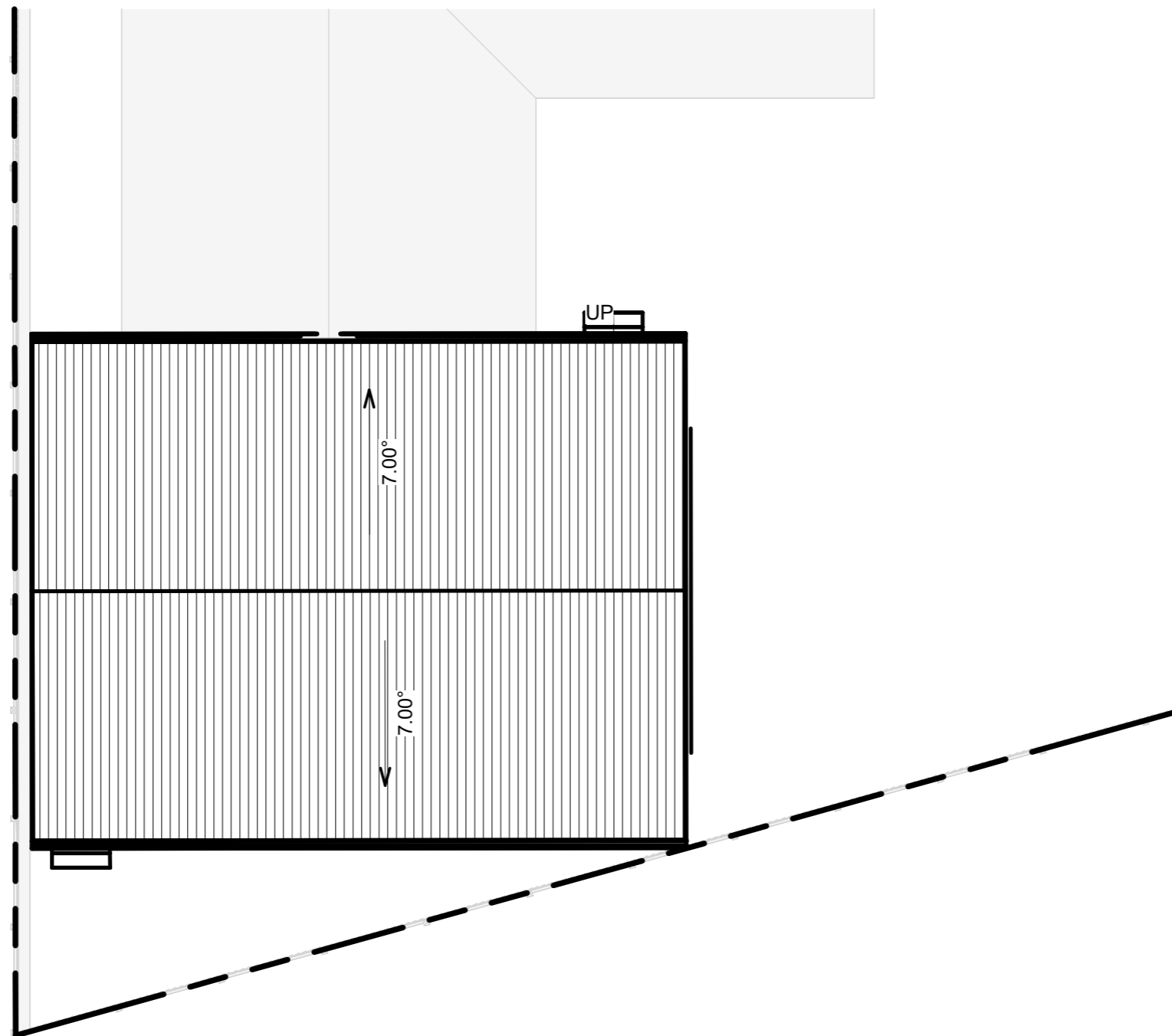
DM ENGG DESIGN AND DRAFTING PTY LTD
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 email: admin@dmenggdrawing.com.au
 Mob: 0447 768 886

SCALE: 1 : 100
 DRAWING NO:
 DESIGNED BY: MERLIN HANNIKERI
 DRAWN BY: MH

CHECKED BY: MERLIN HANNIKERI
 (QBCC LICENCE NUMBER : 15045787)

PROJECT: PROPOSED STORAGE GARAGE
 ADDRESS: 12 Voyager Court, Worongary
 CLIENT: Owner
 TITLE: ELEVATIONS

SHEET No. **WD08**
 REV **A**
 PROJECT No. **25014**



1 ROOF PLAN
1 : 100

REV.	DESCRIPTION	DATE	ISSUED BY
A	PERMIT ISSUE	02.07.25	



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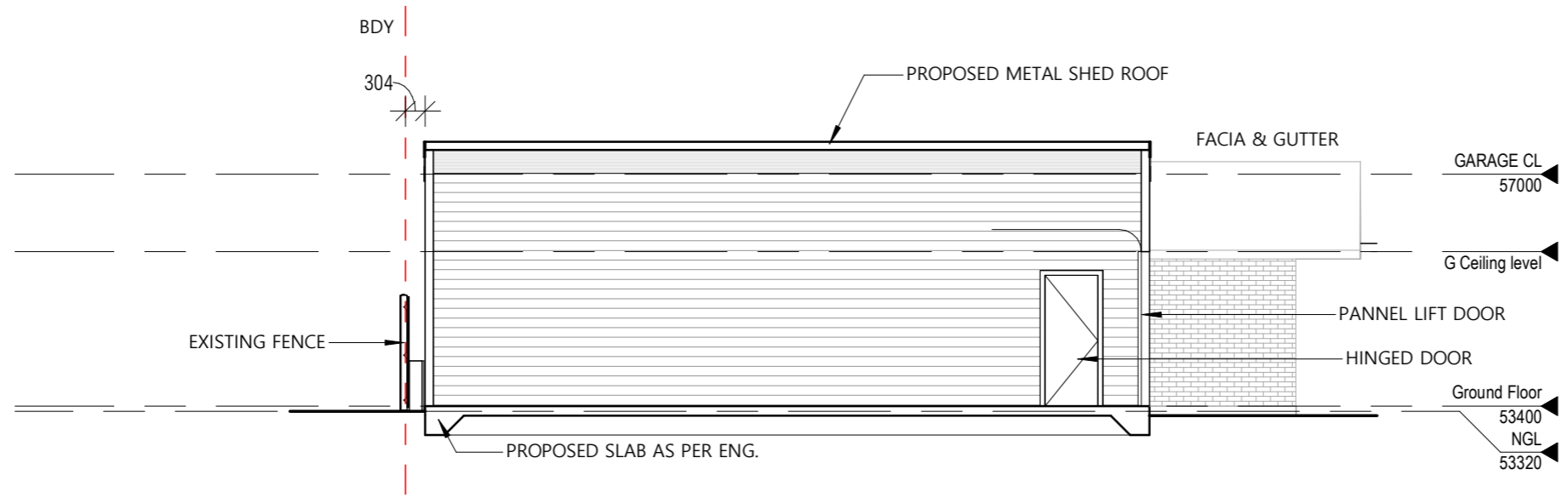
SCALE:	1 : 100
DRAWING NO:	
DESIGNED BY:	MERLIN HANNIKERI
DRAWN BY:	MH

CHECKED BY: MERLIN HANNIKERI
 (QBCC LICENCE NUMBER : 15045787)

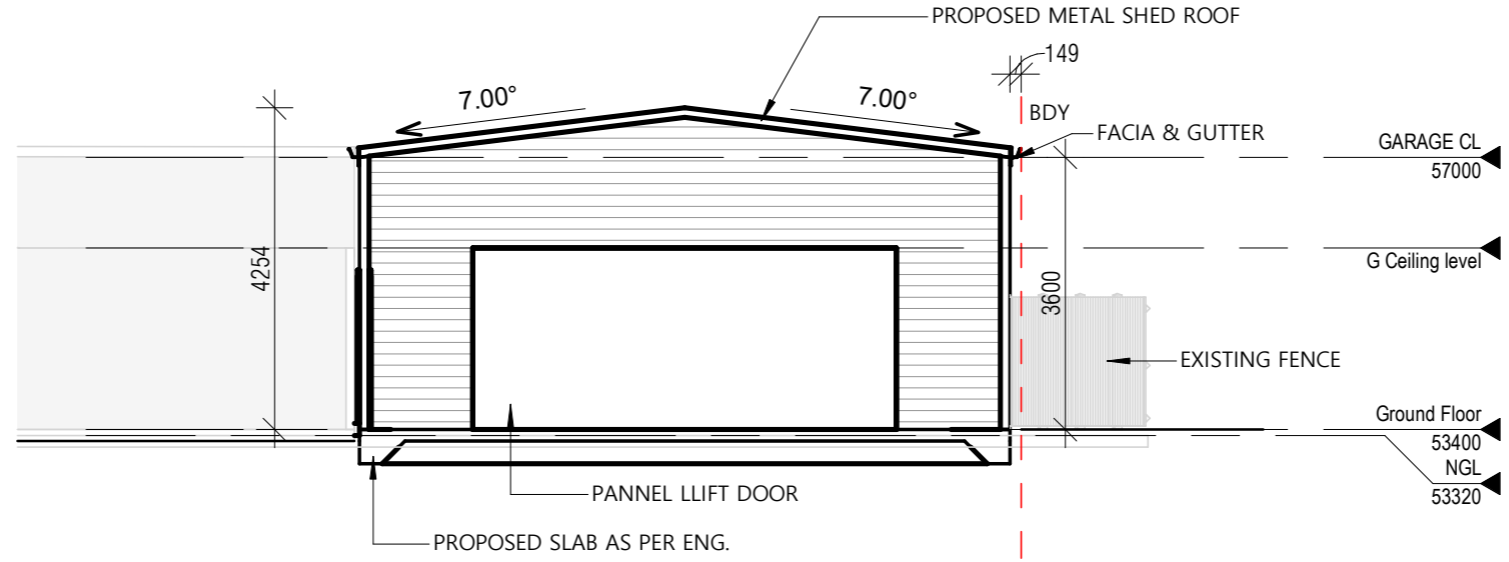
PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	ROOF PLAN

SHEET No.	WD09
REV	A
PROJECT No.	25014

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.



1 Section 1
1 : 100



2 Section 2
1 : 100

REV.	DESCRIPTION	DATE	ISSUED BY
A	PERMIT ISSUE	02.07.25	

FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS. VERIFY ALL DIMENSIONS ON SITE.


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SCALE:	1 : 100	CHECKED BY: MERLIN HANNIKERI (QBCC LICENCE NUMBER : 15045787)
DRAWING NO:		
DESIGNED BY:	MERLIN HANNIKERI	
DRAWN BY:	MH	

PROJECT:	PROPOSED STORAGE GARAGE
ADDRESS:	12 Voyager Court, Worongary
CLIENT:	Owner
TITLE:	SECTIONS

SHEET No.	WD10
REV	A
PROJECT No.	25014