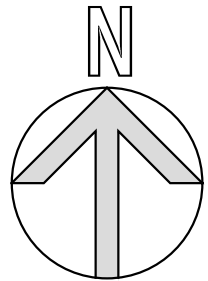
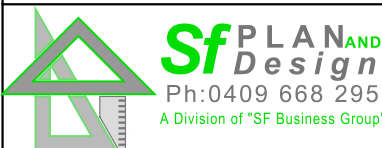


complying development application plans (SEPP 2008)

Existing Site Plan



Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	 <p>Sf PLAN AND Design Ph: 0409 668 295 A Division of "SF Business Group"</p>	Plan No: P0908-23	Scale: 1:200 @ A3	01 / 11
		Date: Nov 2023	For: Craig Townsend	
		Drawn: SF Plan & Design ML	Address: Lot 3. DP 38634. No 56	
		Design: SF Plan & Design	Cawley Street, Bellambi, NSW.	

Note:

The setbacks/site measurements/floor levels/finished ground levels shown on these plans are approximate only and should be verified/checked by a Qualified Land Surveyor prior to commencement or setout of the construction/building works proposed.

The proposal is to comply with the deposited plan and 88b requirements that relate to the property. The builder and owner are to ensure that compliance is achieved.

All notes making reference to current BCA / Australian requirements are to be read in conjunction with the National Construction Code.

All roof water to be piped to the stormwater pit system. All roof plumbing and stormwater systems must be installed to the requirements of the relevant Australian/New Zealand Standards and the BCA.

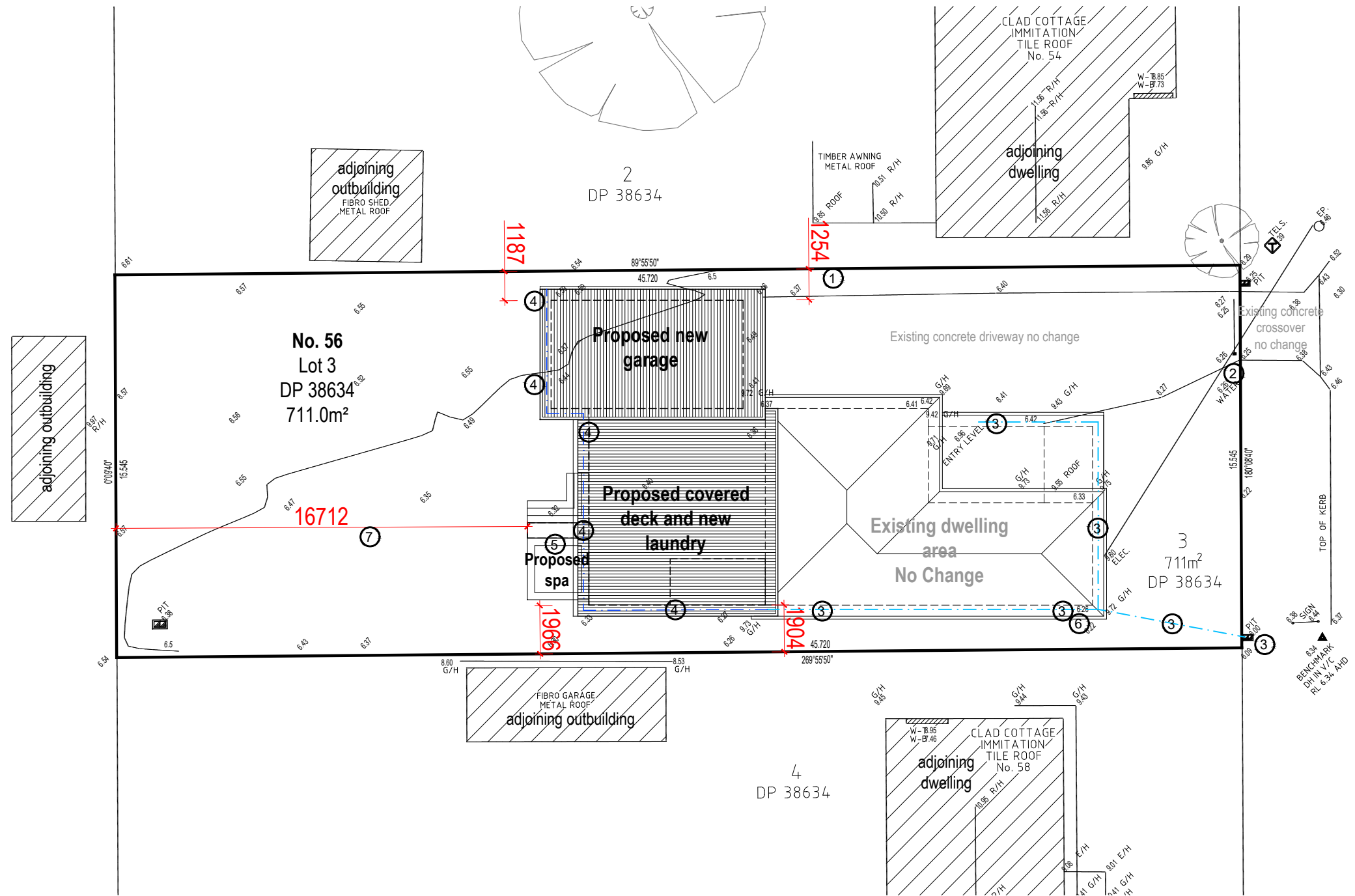
The depth and location of all services (i.e. gas, water, sewer, electricity, telephone, etc) must be ascertained and on the Construction Certificate plans and supporting documentation. Builder is to verify with Authorities prior to carrying out or any excavation on site.



No BASIX report required as value of works less than \$50 000.00

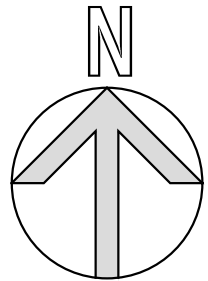
All new building works are to comply with current Australian Standards and NCC / BCA requirements.

- ① Bins location (existing)
- ② existing letterbox location.
- ③ existing storm water lines connected to existing street pit system
- ④ proposed new 90mm PVC storm water lines connected to existing lines to AS / NZ requirements
- ⑤ proposed new spa with lockable lid to manufacturers requirements.
- ⑥ existing meter box (on floor plan)
- ⑦ existing clothes line location



existing dwelling floor area:	= 90.10 m ²
proposed new laundry floor area:	= 6.60 m ²
proposed new garage floor area:	= 34.25 m ²
Total Floor Area:	= 130.95 m²
Site Area:	= 711.00 m²
(Note: Allowed for lot area = 335.00m ² , therefore complies)	

Site Analysis Plan



Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	Plan No: P0908-23	Scale: 1:200 @ A3	02 / 11	
	Date: Nov 2023	For: Craig Townsend		
	Drawn: SF Plan & Design ML	Address: Lot 3. DP 38634. No 56		
	Design: SF Plan & Design	Cawley Street, Bellambi, NSW.		

complying development application plans (SEPP 2008)

Condition:

3.13 Minimum landscaped area

- (1) The minimum landscaped area that must be provided on a lot is shown in the following table—
 >600m²–900m² - 30% of lot area
- (2) Each landscaped area must have a minimum width and length of 1.5m.
- (3) The minimum landscaped area calculated in accordance with subclause (1) must be provided as follows—
 - (a) if the lot width measured at the building line is 18m or less—25% of the area forward of the building line must be landscaped,
 - (c) 50% of the minimum landscaped area must be located behind the building line.

Landscape CALCULATIONS - Total


Total Site Area: = 711.00m²
 30% of site is required = 213.30 m²
 Total Landscaped area = 378.40m², therefore complies.


Landscape CALCULATIONS - In front of Building line

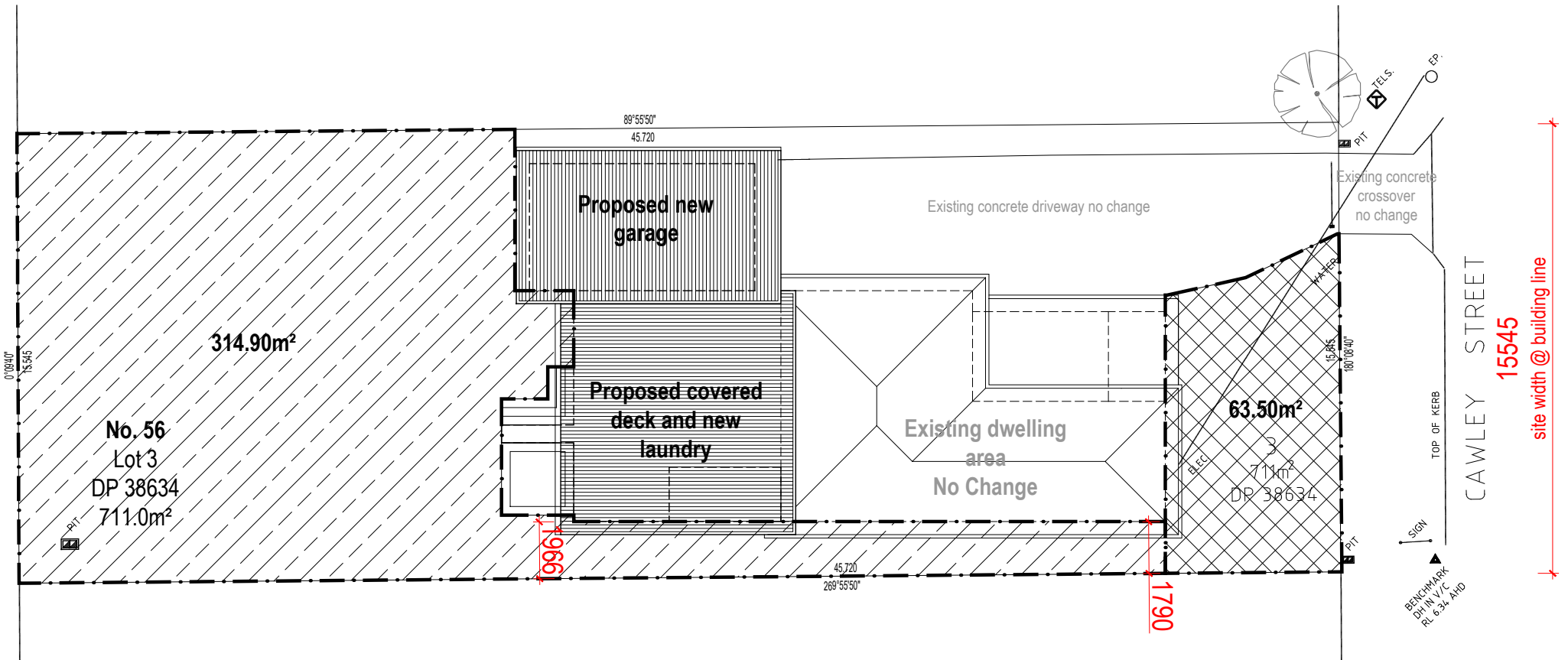
Area of Site in front of building line: = 93.70m²
 Required landscape in front of building line = 25% = 23.425m²
 Total Landscaped area = 63.50m², therefore complies.

Landscape CALCULATIONS - Behind front Building line

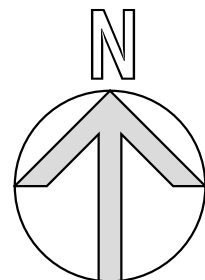
Required landscape behind front building line = 50% = 106.65m²
 Total Landscaped area = 314.90m², therefore complies.


 Shows landscaped area included in calculations behind front building line.

 Shows landscaped area included in calculations in front of building line.



Landscape Area Plan



Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	Plan No: P0908-23	Scale: 1:200 @ A3	03 / 11	
	Date: Nov 2023	For: Craig Townsend		
	Drawn: SF Plan & Design ML	Address: Lot 3. DP 38634. No 56		
	Design: SF Plan & Design	Cawley Street, Bellambi, NSW.		

complying development application plans (SEPP 2008)

Note:

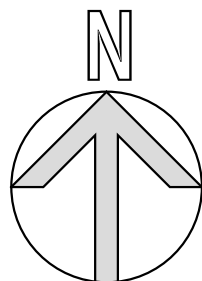
SA existing smoke alarm location


MB existing meter box location



complying development application plans (SEPP 2008)

Existing Floor Plan



Issue:	proposed alterations and additions to existing dwelling			Sheet No: 04 / 11
	 <p>Sf PLAN AND Design Ph: 0409 668 295 A Division of "SF Business Group"</p>	Plan No: P0908-23 Date: Nov 2023 Drawn: SF Plan & Design ML Design: SF Plan & Design	Scale: 1:100 @ A3 For: Craig Townsend Address: Lot 3. DP 38634. No 56 Cawley Street, Bellambi, NSW.	

Note:

Generally:

The site has front yard open space with direct access to the street. This area will be used for the waste skip and storage of some materials. Activities in the street will be minimal and will be restricted to entering and exiting the site and unloading.

Safe access to and from the site, protection of road and footpath:

When vehicles are entering or leaving the site the supervisor will warn other road users and pedestrians on the footpath. The front yard open space will be used for equipment and materials delivery.

Loading/unloading to and from trucks:

This will occur at the vehicle entrance. Materials and equipment delivered will be immediately moved onto the site. Excavating machines and cranes are not required.

Storage areas:

Storage areas will be the front yard open space.

Rubbish disposal:

Trade waste will be contained on site until removal.

Silt barrier:

Sediment will be prevented from washing into Council's stormwater system or onto adjoining property by one of the following methods as appropriate:

- geotextile fabric on the inside of the site fencing or steel mesh support
- a continuous straw bale barrier, bales placed in a 100mm deep trench and fixed with stakes

Exit/entrance - access point:

The exit/entrance to the site will be constructed of a bed of 50-75mm aggregate, 200mm deep for the vehicular exit/entrance width and to a length of 5m from the street curb to ensure soil and excavated materials is not transported by vehicle or plant onto surrounding roadways.

Existing paving and vegetation:

Existing paving and vegetation will be retained as much as possible to minimise the amount of exposed soil.

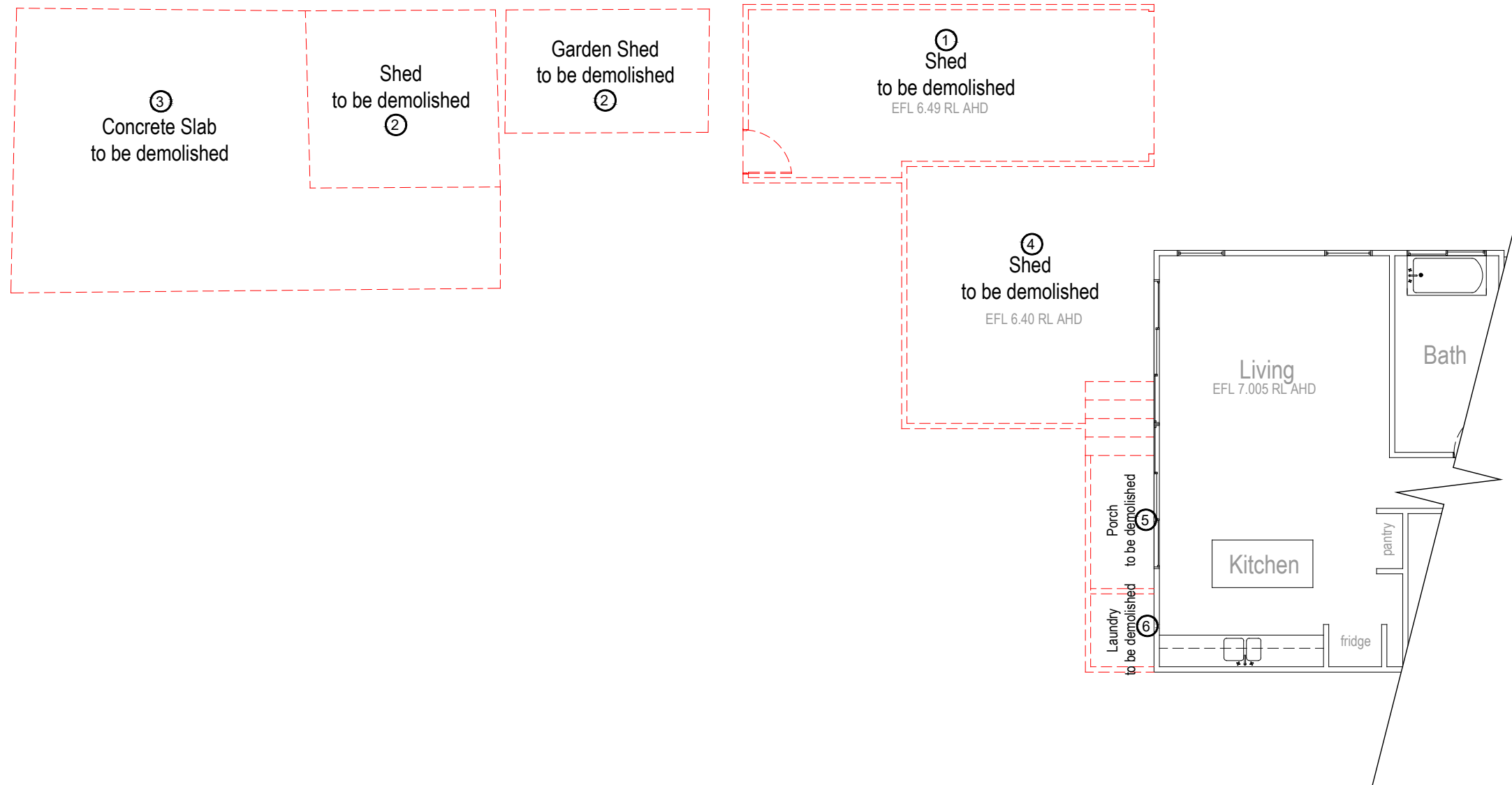
Materials stockpiles:

Stockpiles of loose material (sand, gravel, etc) will be contained under cover, away from drainage lines and watercourses and within a suitable barrier. Accidental spills will be cleaned from the roadway each day and before rain. Footpaths and road surfaces will not be used for material stockpiles.

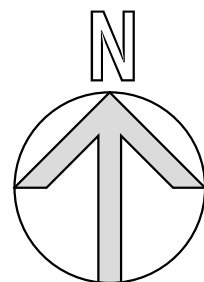
Cleaning of tools:


Tools and equipment will be cleaned away from drainage lines, road and pavement. Any ancillary work or activity will not be carried out on public property with respect to this development.

- ① existing garage outbuilding to be demolished
- ② existing garden shed to be demolished
- ③ existing concrete slab on ground to be demolished
- ④ existing covered outdoor area to be demolished
- ⑤ existing timber porch to be demolished
- ⑥ existing laundry to be demolished



Demolition Floor Plan



Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	 Ph: 0409 668 295 A Division of "SF Business Group"	Plan No: P0908-23 Date: Nov 2023 Drawn: SF Plan & Design ML Design: SF Plan & Design	Scale: 1:100 @ A3 For: Craig Townsend Address: Lot 3. DP 38634. No 56 Cawley Street, Bellambi, NSW.	05 / 11

complying development application plans (SEPP 2008)

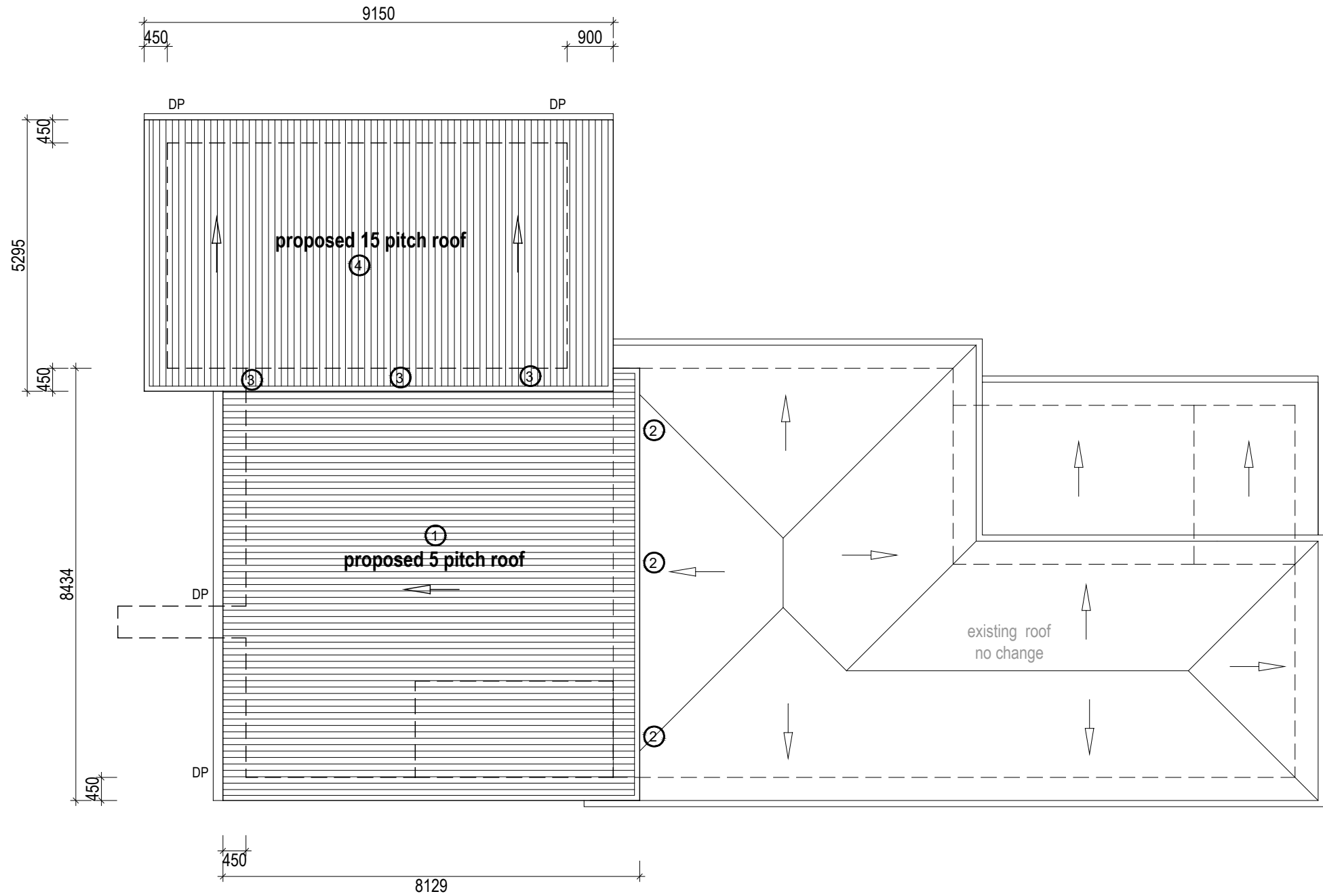
Note:

All roof water to be piped to the existing stormwater system that is directed to the existing disposal pitsystem.
 All roof plumbing and stormwater systems must be installed to the requirements of the relevant Australian/New Zealand Standards and the BCA.

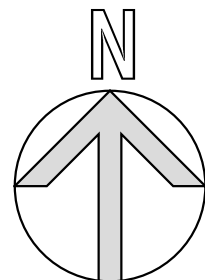
DP: Downpipes to Australian Standards. Proposed

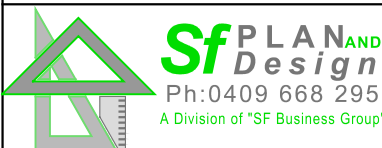
→ Arrows show direction of fall.

- ① Proposed new colorbond / clear sheet 5° pitch roof, colour to owners choice.
- ② New awning roof secured to existing dwelling roof timbers and overlapped / flashed - sealed to NCC / AS requirements
- ③ flash / seal garage wall / awning roof construction joint to AS / NCC requirements
- ④ Proposed new colorbond 15° pitch roof, colour to owners choice.

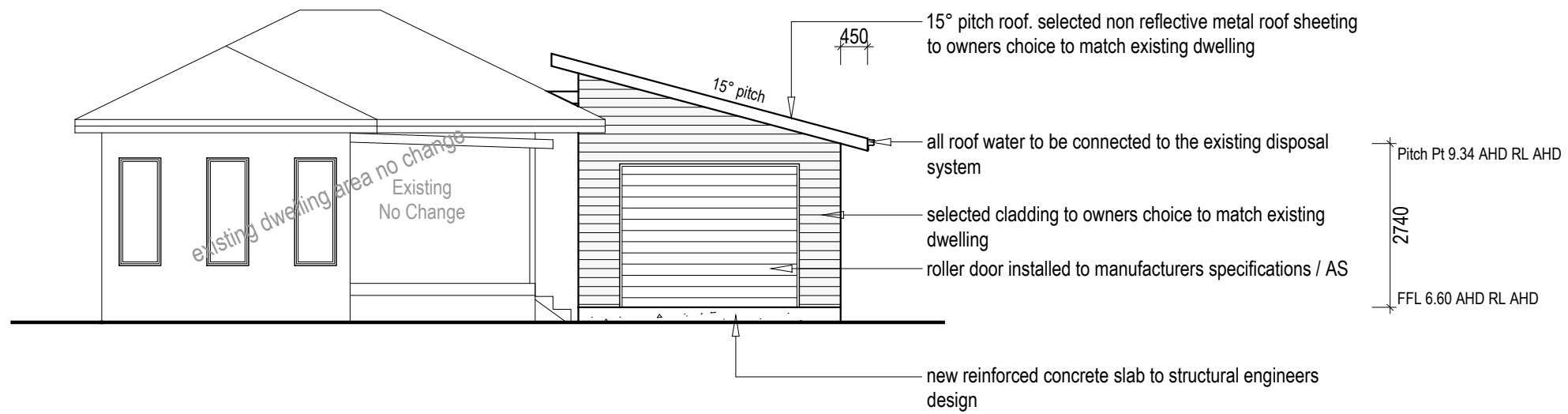


Proposed Roof Plan

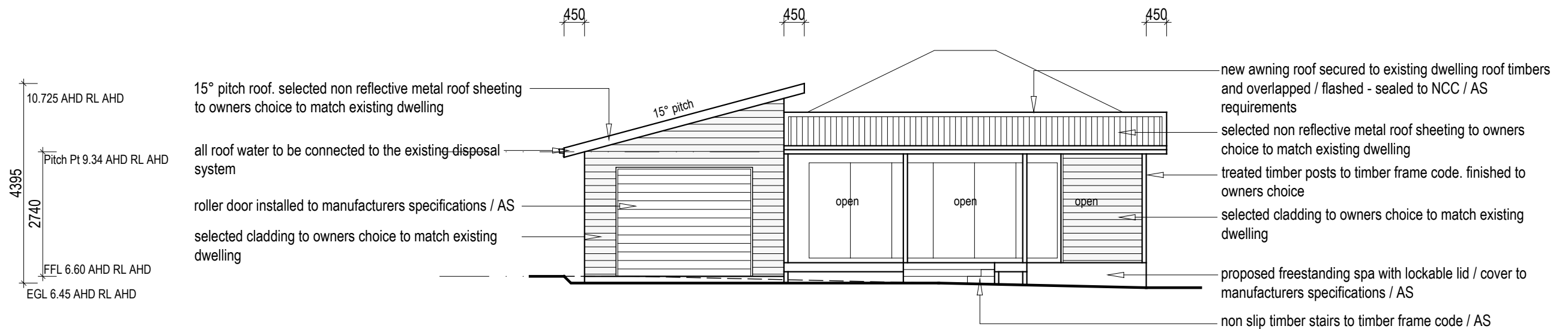


Issue:	proposed alterations and additions to existing dwelling			Sheet No: 07 / 11
	 <p>Sf PLAN AND Design Ph: 0409 668 295 A Division of "SF Business Group"</p>	Plan No: P0908-23 Date: Nov 2023 Drawn: SF Plan & Design ML Design: SF Plan & Design	Scale: 1:100 @ A3 For: Craig Townsend Address: Lot 3. DP 38634. No 56 Cawley Street, Bellambi, NSW.	

complying development application plans (SEPP 2008)




Proposed East Elevation

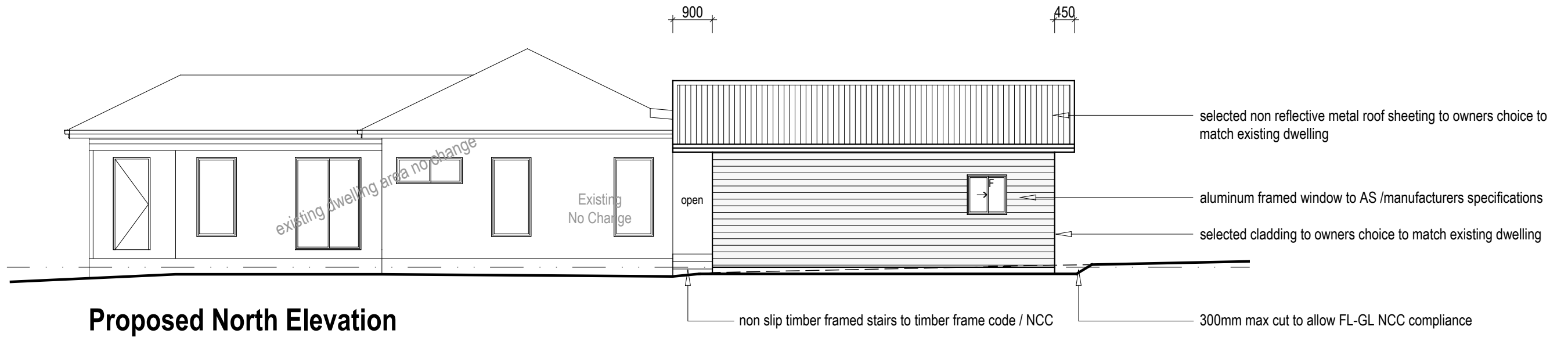


Proposed West Elevation

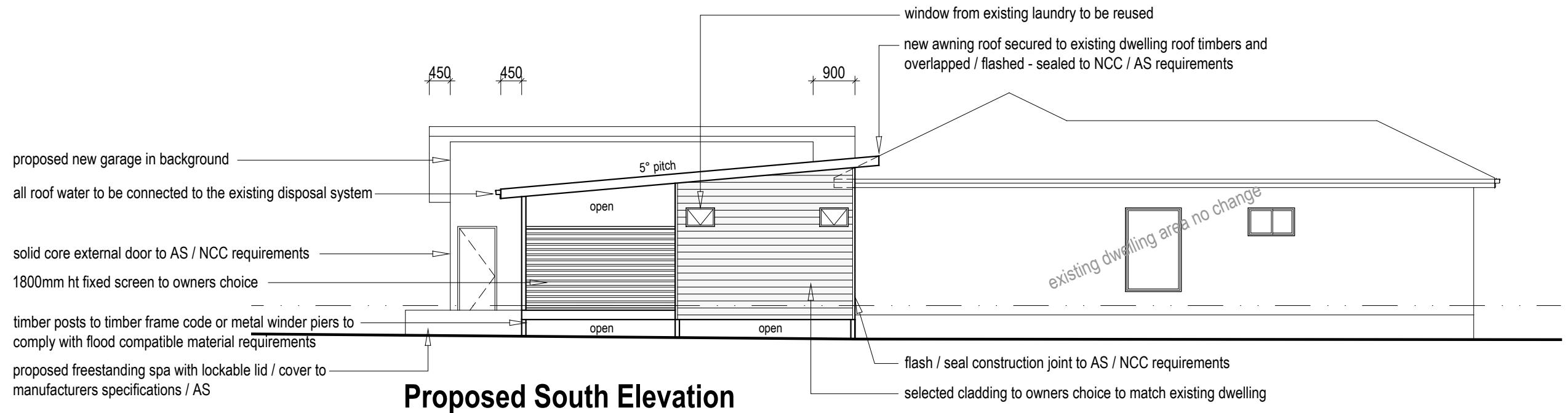
Proposed Elevations

complying development application plans (SEPP 2008)

Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	 <p>Sf PLAN AND Design Ph: 0409 668 295 A Division of "SF Business Group"</p>	Plan No: P0908-23	Scale: 1:100 @ A3	08 / 11
		Date: Nov 2023	For: Craig Townsend	
		Drawn: SF Plan & Design ML	Address: Lot 3. DP 38634. No 56	
		Design: SF Plan & Design	Cawley Street, Bellambi, NSW.	



Proposed North Elevation

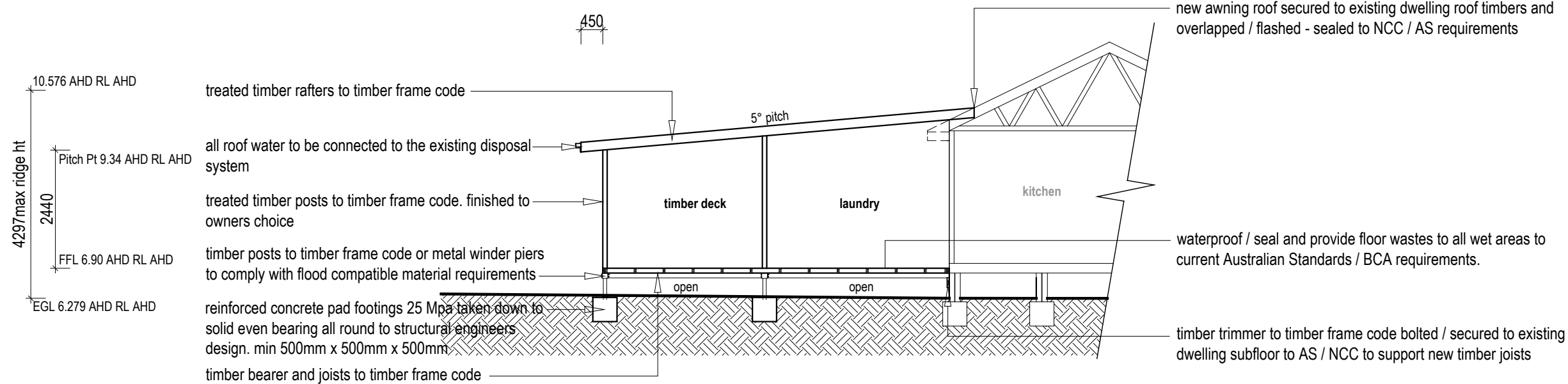


Proposed South Elevation

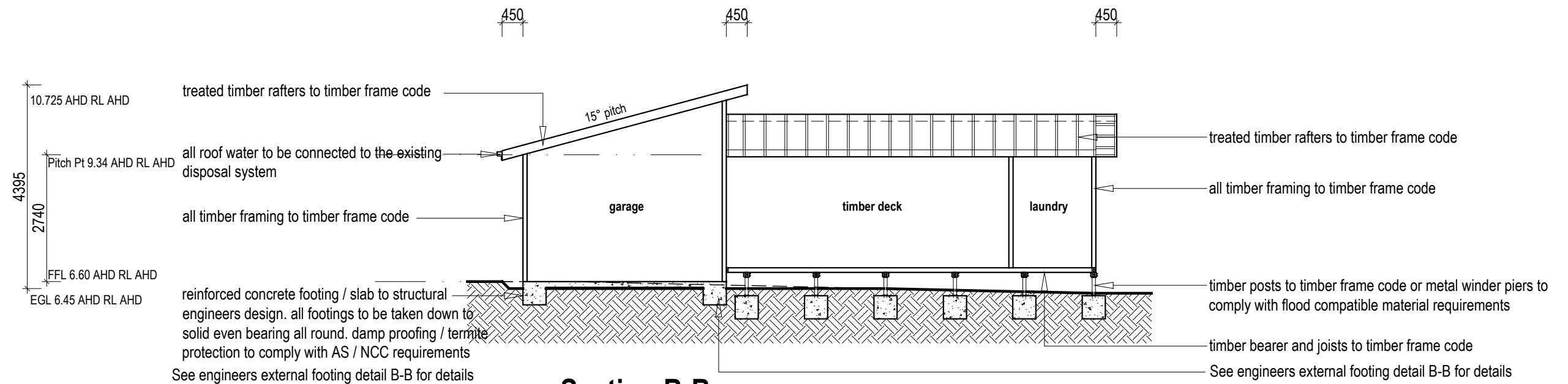
Proposed Elevations

complying development application plans (SEPP 2008)

Issue:	proposed alterations and additions to existing dwelling			Sheet No:
	 <p>Sf PLAN AND Design Ph: 0409 668 295 A Division of "SF Business Group"</p>	Plan No: P0908-23	Scale: 1:100 @ A3	09 / 11
		Date: Nov 2023	For: Craig Townsend	
		Drawn: SF Plan & Design ML	Address: Lot 3. DP 38634. No 56	
		Design: SF Plan & Design	Cawley Street, Bellambi, NSW.	



Section A-A



Section B-B

Acid Soil Note: Class 5: All footing/slabs on ground will be provided with a barrier that protects the structure from Acid Sulfate Soils. Material should be Fortecon High grade Plastic Membrane or similar material.
 Any spoil material from excavations must be neutralised with commercial lime (calcium bicarbonate) 10kilograms of lime per 1 cubic meter of spoil before reusing on site or disposal off site. Lime should also be added to exposed surface areas (Under concrete slab/ in piers or footing trenches prior to pouring concrete. Refer to NSW ACID SULFATE MANAGEMENT Aug 1988.

Proposed Section

complying development application plans (SEPP 2008)

Issue:	proposed alterations and additions to existing dwelling			Sheet No: 10 / 11
		Plan No: P0908-23 Date: Nov 2023 Drawn: SF Plan & Design ML Design: SF Plan & Design	Scale: 1:100 @ A3 For: Craig Townsend Address: Lot 3. DP 38634. No 56 Cawley Street, Bellambi, NSW.	

Note:

Generally:

The site has front yard open space with direct access to the street. This area will be used for the waste skip and storage of some materials. Activities in the street will be minimal and will be restricted to entering and exiting the site and unloading.

Safe access to and from the site, protection of road and footpath:

When vehicles are entering or leaving the site the supervisor will warn other road users and pedestrians on the footpath. The front yard open space will be used for equipment and materials delivery.

Loading/unloading to and from trucks:

This will occur at the vehicle entrance. Materials and equipment delivered will be immediately moved onto the site. Excavating machines and cranes are not required.

Storage areas:

Storage areas will be the front yard open space.

Rubbish disposal:

Trade waste will be contained on site until removal.

Silt barrier:

Sediment will be prevented from washing into Council's stormwater system or onto adjoining property by one of the following methods as appropriate:

- geotextile fabric on the inside of the site fencing or steel mesh support
- a continuous straw bale barrier, bales placed in a 100mm deep trench and fixed with stakes

Exit/entrance - access point:

The exit/entrance to the site will be constructed of a bed of 50-75mm aggregate, 200mm deep for the vehicular exit/entrance width and to a length of 5m from the street curb to ensure soil and excavated materials is not transported by vehicle or plant onto surrounding roadways.

Existing paving and vegetation:

Existing paving and vegetation will be retained as much as possible to minimise the amount of exposed soil.

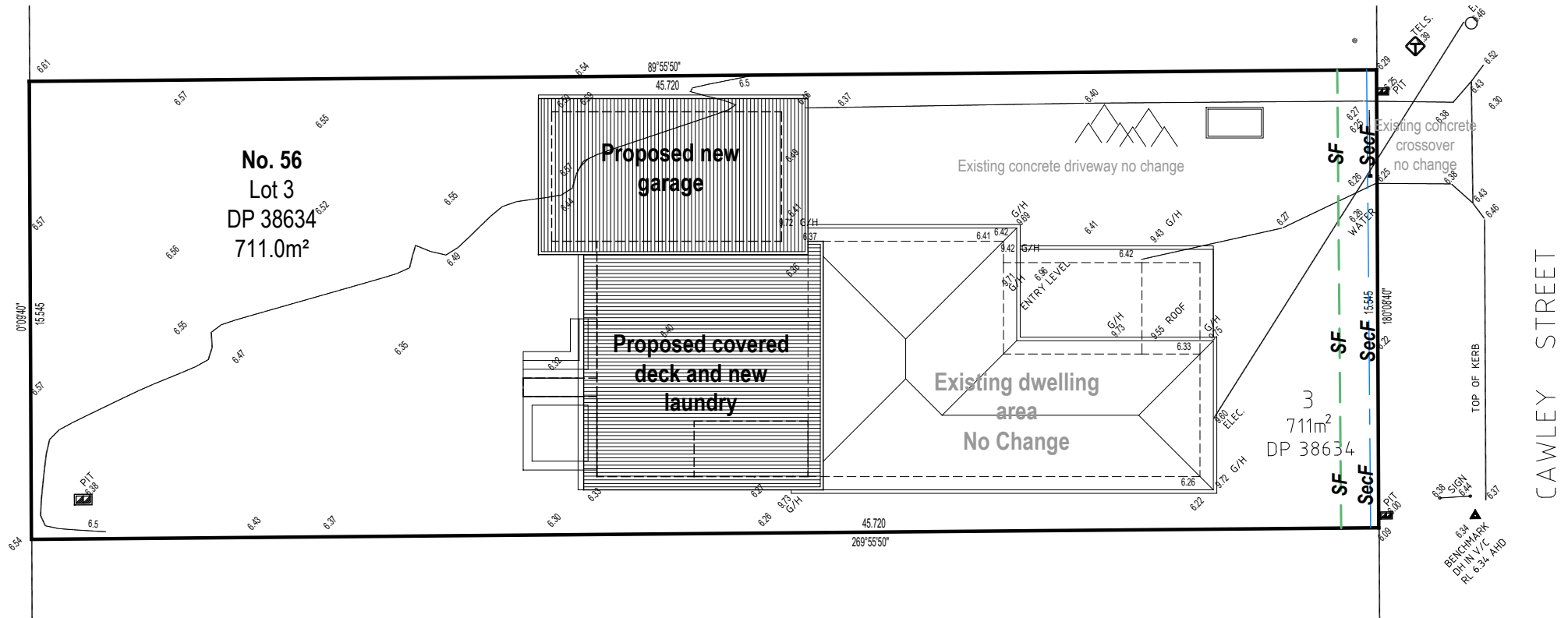
Materials stockpiles:

Stockpiles of loose material (sand, gravel, etc) will be contained under cover (below front verandah roof where possible), away from drainage lines and watercourses and within a suitable barrier.

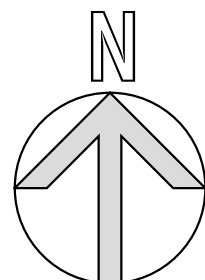
Accidental spills will be cleaned from the roadway each day and before rain. Footpaths and road surfaces will not be used for material stockpiles.

Cleaning of tools:

Tools and equipment will be cleaned away from drainage lines, road and pavement. Any ancillary work or activity will not be carried out on public property with respect to this development.



LEGEND		
	SecF	SECURITY FENCING
	SF	SEDIMENT CONTROL FENCING (Geotech fabric or equivalent)
		MATERIAL STOCKPILES
		WASTE MATERIALS BIN 7 CUBIC MTR



Site Management Plan

Issue:	proposed alterations and additions to existing dwelling			Sheet No:
		Plan No: P0908-23	Scale: 1:200 @ A3	11 / 11
	Ph: 0409 668 295	Date: Nov 2023	For: Craig Townsend	
	A Division of "SF Business Group"	Drawn: SF Plan & Design ML	Address: Lot 3, DP 38634, No 56	
		Design: SF Plan & Design	Cawley Street, Bellambi, NSW.	

complying development application plans (SEPP 2008)