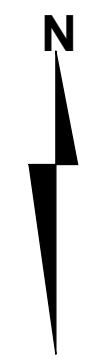
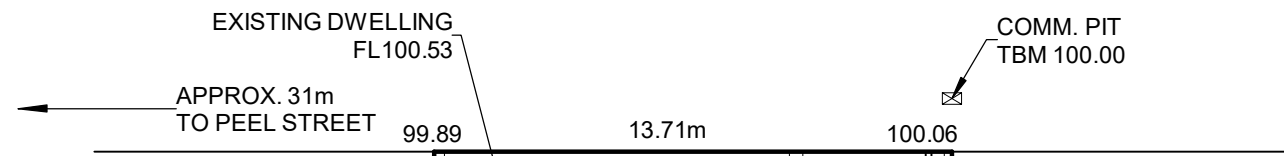


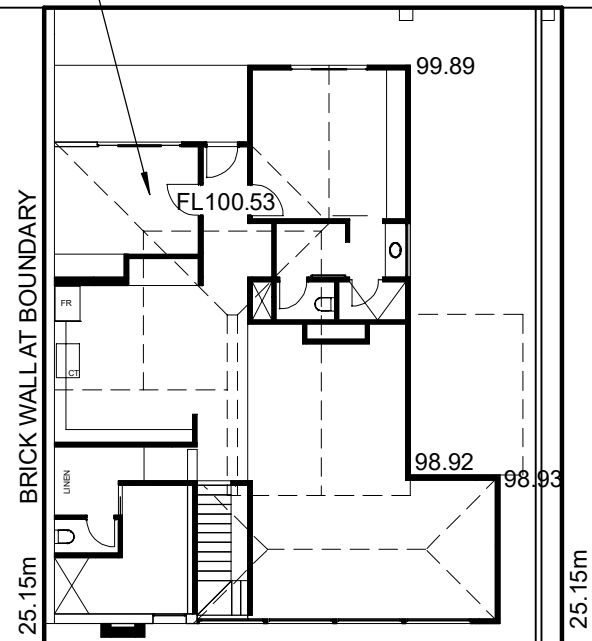
DO NOT SCALE

CLISSOLD STREET

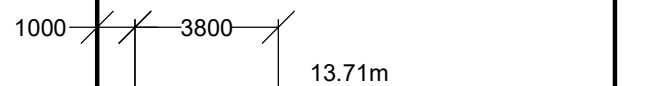


ADJACENT PROPERTY

ADJACENT PROPERTY

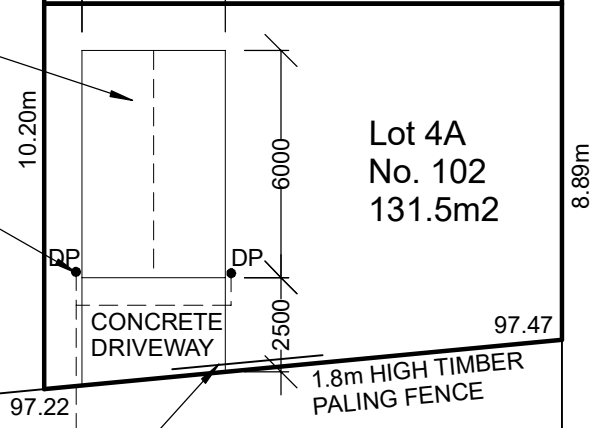


Lot 1  
No. 102  
345m<sup>2</sup>



PROPOSED GARAGE  
AS PER MANUFACTURERS SPEC.  
FFL97.62

DOWNPIPES AT 12000  
MAX. SPACING TO EXISTING  
STORMWATER & LPOD



Lot 4A  
No. 102  
131.5m<sup>2</sup>

REMOTE CONTROL  
SLIDING GATE 4m WIDE

LANEWAY

SITING AREA ANALYSIS	
LAND TITLE AREA	131.5m <sup>2</sup>
GARAGE FLOOR	22.8m <sup>2</sup>
CONCRETE	10.76m <sup>2</sup>
TOTAL IMPERMEABLE AREA	33.56m <sup>2</sup>
% IMPERMEABLE AREA	25.5% < 80%
SITE COVERAGE	17.3% < 60%

Reg. DP-AD475

<p><b>M.C.R.</b> <b>DRAFTING</b> 3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	DRN	M. Robertson	<p>TITLE</p> <h2 style="text-align: center;">Site Plan</h2>		
	DATE	2.2.22			
	DES	J. Oliver			
	ISSUED	2.2.22	<p><b>A3</b></p>	<p>J. Oliver 102 Clissold Street Ballarat East</p>	<p>DRG No. 4228</p>
<p>THIRD ANGLE PROJECTION </p>		<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm. TOLERANCES: LINEAR: ANGULAR:</p>		<p>SCALE 1 : 200</p>	<p>SHEET 01 OF 10</p>

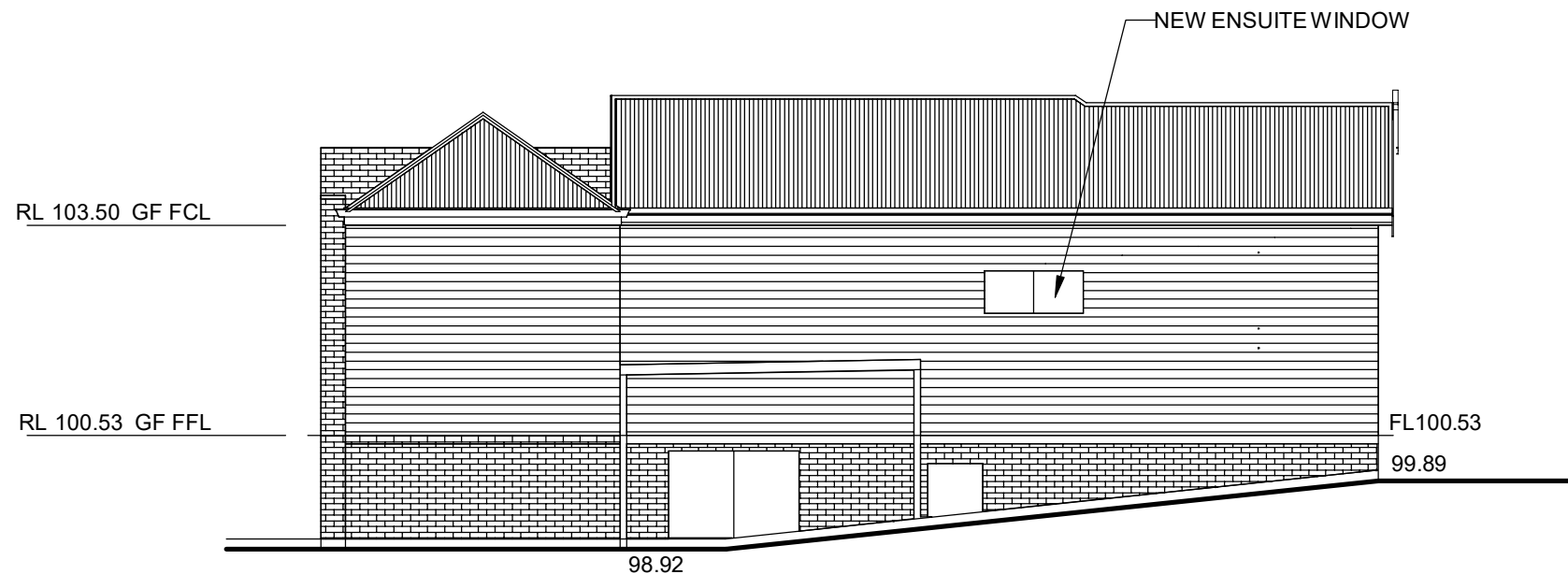
BUSHFIRE ATTACK LEVEL BAL (12.5)  
DESIGNATED BUSHFIRE PRONE AREA

DO NOT SCALE

WIND CLASSIFICATION: **N1**




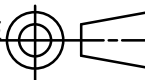
**North Elevation**  
**1:100**



**East Elevation**  
**1:100**

RL 97.30 L FLOOR PLAN

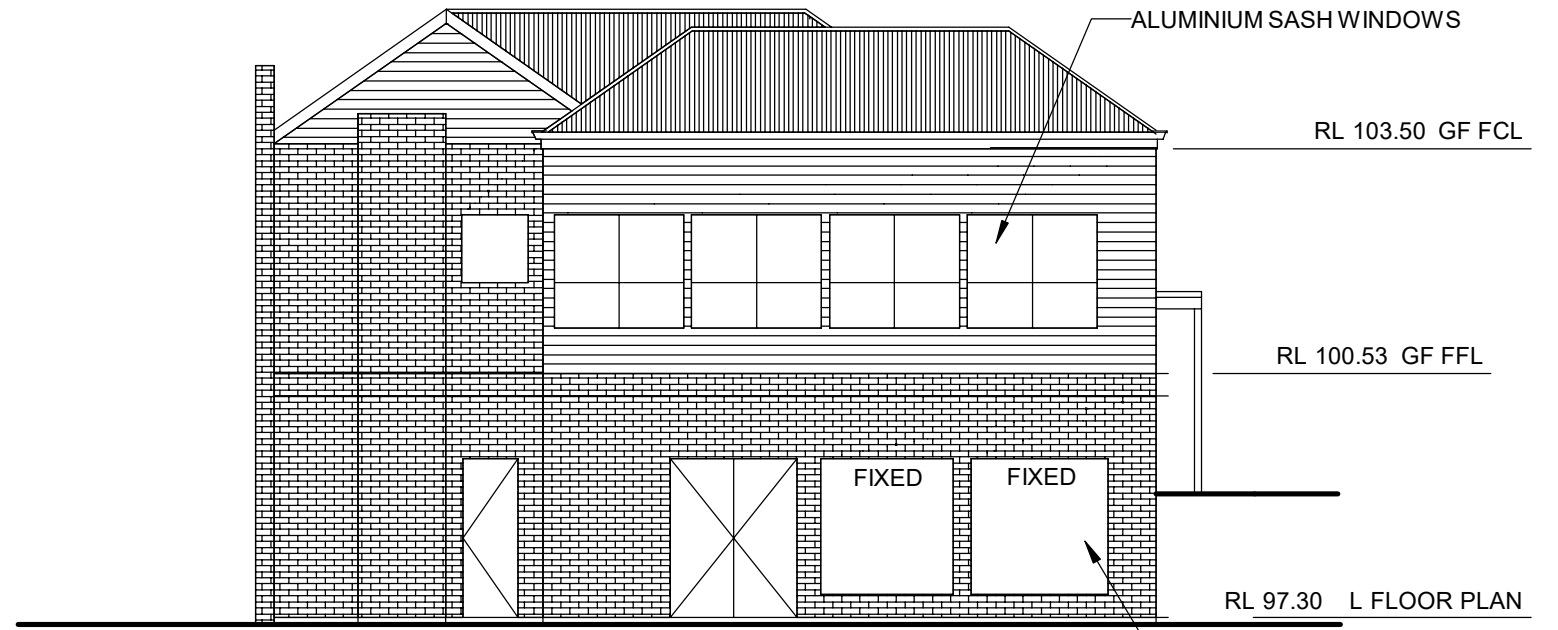
Reg. DP-AD475

 <b>M.C.R.</b> <b>DRAFTING</b> 3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360	DRN M.Robertson	TITLE		
	DATE 2.2.22	<i>Elevations</i>		
DES J. Oliver	ISSUED 2.2.22			
THIRD ANGLE PROJECTION 	UNLESS OTHERWISE STATED ALL DIMENSIONS mm. TOLERANCES: LINEAR: ANGULAR:	A3	J. Oliver 102 Clissold Street Ballarat East	DRG No. 4229
		SCALE 1 : 100	SHEET 02 OF 10	AMDT. 2

BUSHFIRE ATTACK LEVEL BAL (12.5)  
DESIGNATED BUSHFIRE PRONE AREA

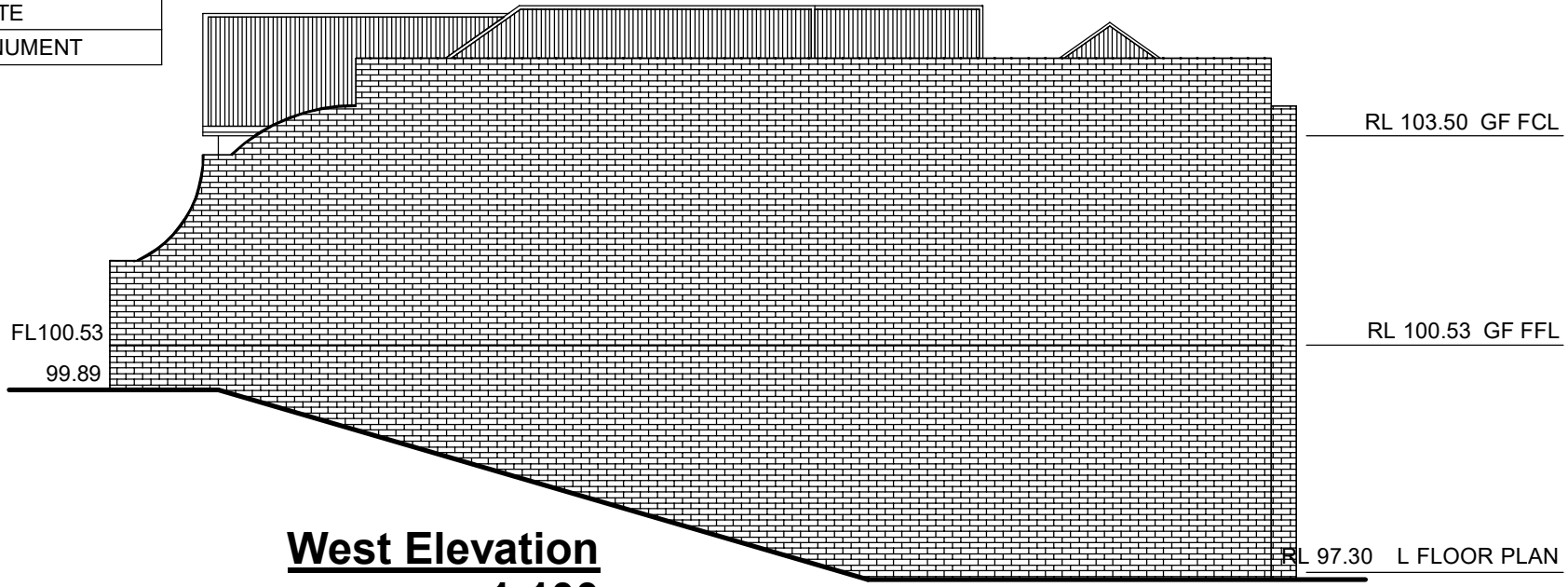
WIND CLASSIFICATION: **N1**

DO NOT SCALE



**South Elevation**  
**1:100**

EXTERNAL COLOUR SCHEDULE	
WEATHERBOARD WALL CLADDING	WHITE
WINDOW FRAMES	MONUMENT

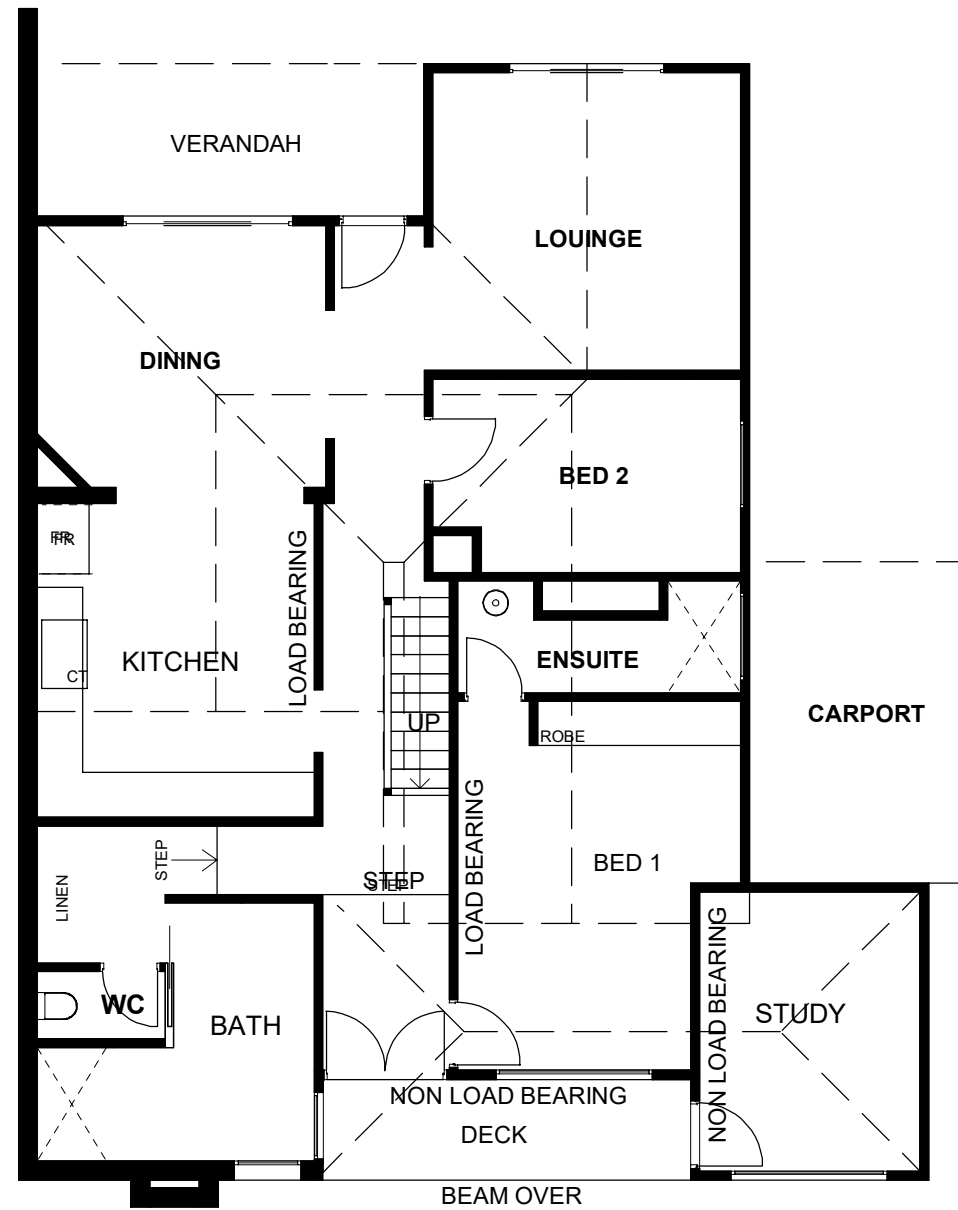


**West Elevation**  
**1:100**

Reg. DP-AD475

<p><b>M.C.R.</b></p> <p><b>DRAFTING</b></p> <p>3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p> <p>THIRD ANGLE PROJECTION</p>	<p>DRN M.Robertson</p> <p>DATE 29.6.22</p>	<p>TITLE</p> <p style="text-align: center;"><i>Elevations</i></p>	
	<p>DES J. Oliver</p> <p>ISSUED 29.6.22</p>		
	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm.</p> <p>TOLERANCES: LINEAR: ANGULAR:</p>	<p><b>A3</b></p> <p>J. Oliver 102 Clissold Street Ballarat East</p>	<p>DRG No. 4285</p>
	<p>SCALE 1 : 100</p>	<p>SHEET 03 OF 10</p>	<p>AMDT. 1</p>

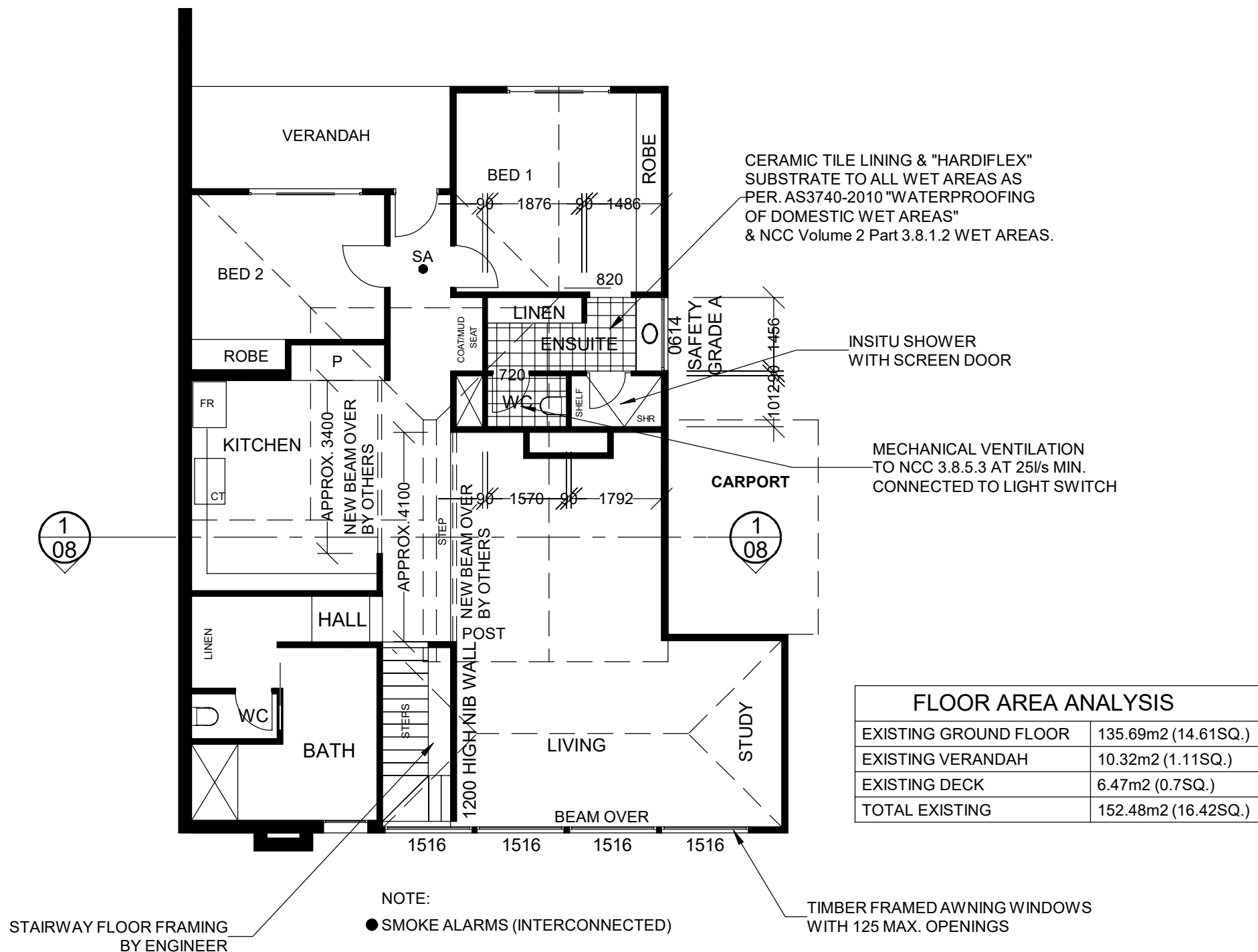
DO NOT SCALE



Reg. DP-AD475

<p><b>M.C.R.</b></p> <p><b>DRAFTING</b></p> <p>3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	<p>DRN M.Robertson</p>	<p>TITLE</p> <p><i>Existing Ground Floor Plan</i></p>		
	<p>DATE 2.2.22</p>			
	<p>DES J. Oliver</p>	<p>ISSUED 2.2.22</p>	<p><b>A3</b></p>	<p>J. Oliver 102 Clissold Street Ballarat East</p>
<p>THIRD ANGLE PROJECTION</p>	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm.</p> <p>TOLERANCES: LINEAR: ANGULAR:</p>	<p>SCALE 1 : 100</p>	<p>SHEET 04 OF 10</p>	<p>AMDT. 1</p>

DO NOT SCALE

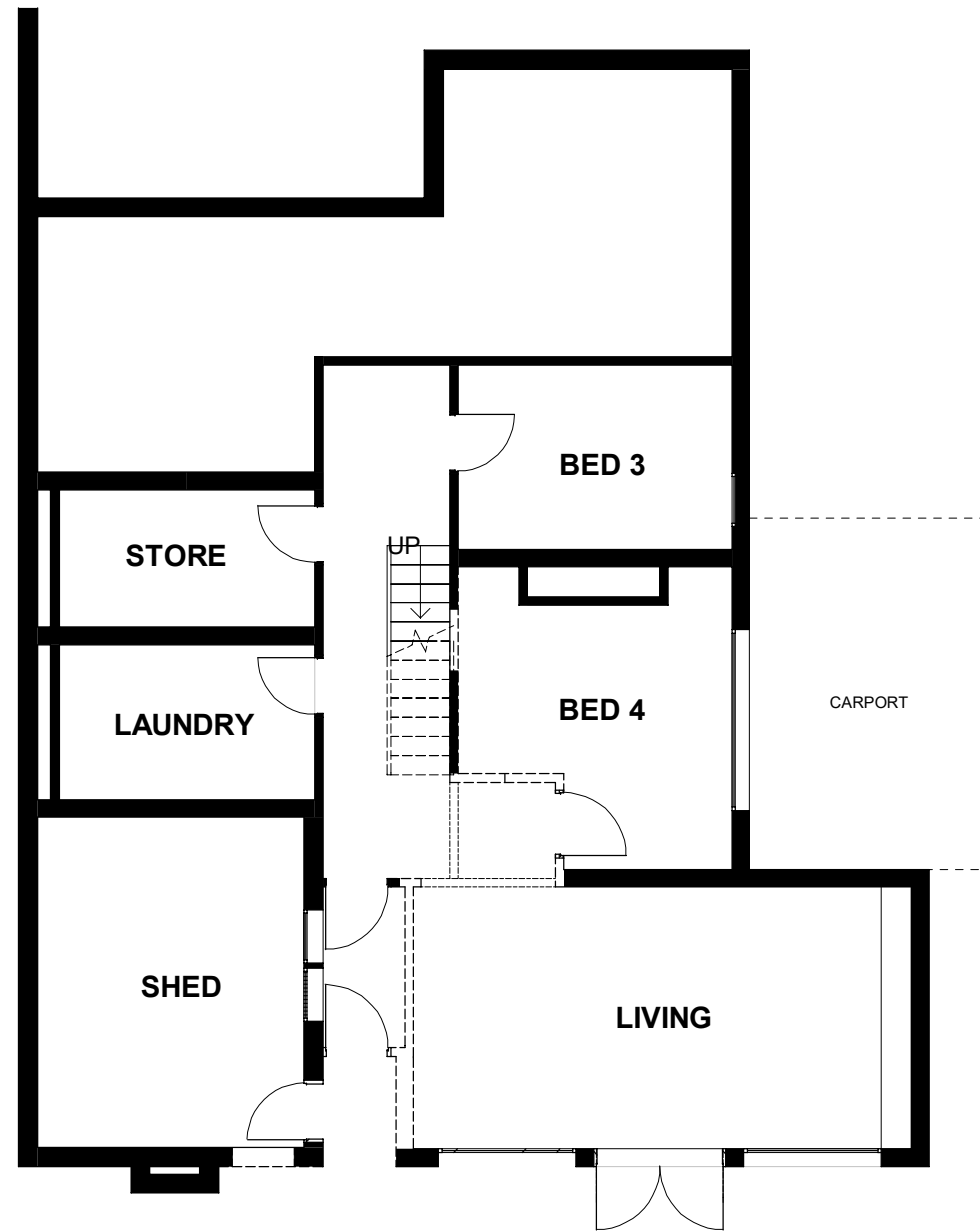


Reg. DP-AD475

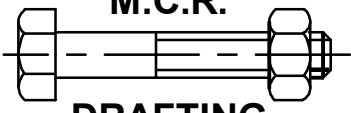
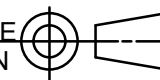
<p><b>M.C.R.</b></p> <p><b>DRAFTING</b></p> <p>3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p> <p>THIRD ANGLE PROJECTION</p>	<p>DRN M.Robertson</p> <p>DATE 2.2.22</p>	<p>TITLE</p> <p><i>Proposed Ground Floor Plan</i></p>	
	<p>DES J. Oliver</p> <p>ISSUED 2.2.22</p>	<p><b>A3</b> J. Oliver 102 Clissold Street Ballarat East</p>	
	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm.</p> <p>TOLERANCES: LINEAR: ANGULAR:</p>	<p>DRG No. 4231</p>	<p>SCALE 1 : 100</p>

AMDT. 2

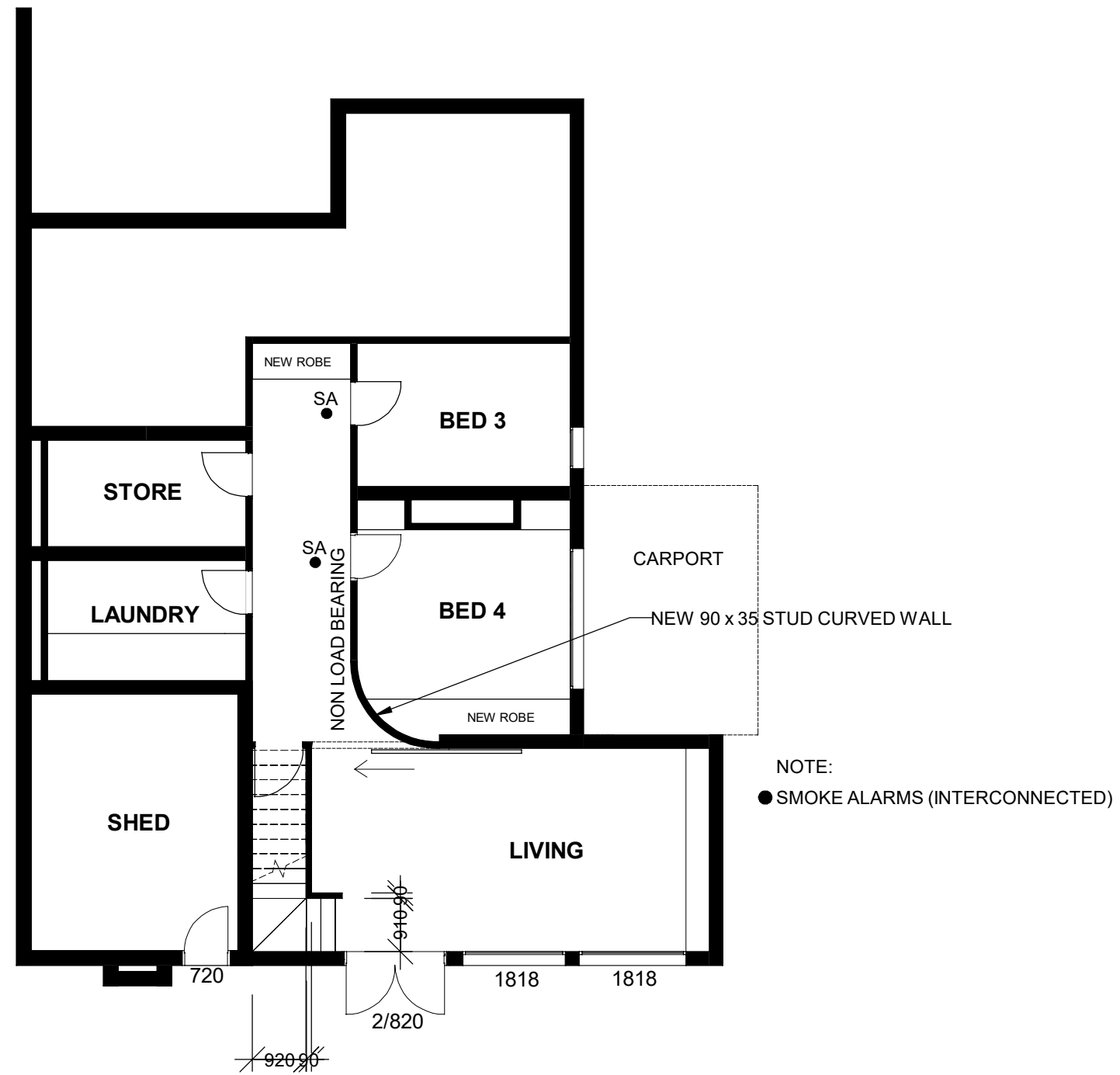
DO NOT SCALE



Reg. DP-AD475

<b>M.C.R.</b>  <b>DRAFTING</b> 3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360	DRN M.Robertson	TITLE <i>Existing Lower Floor Plan</i>		
	DATE 2.2.22			
THIRD ANGLE PROJECTION 	DES J. Oliver	A3	J. Oliver 102 Clissold Street Ballarat East	DRG No. 4232
	ISSUED 2.2.22			
	UNLESS OTHERWISE STATED ALL DIMENSIONS mm. TOLERANCES: LINEAR: ANGULAR:	SCALE 1 : 100	SHEET 06 OF 10	AMDT. 1

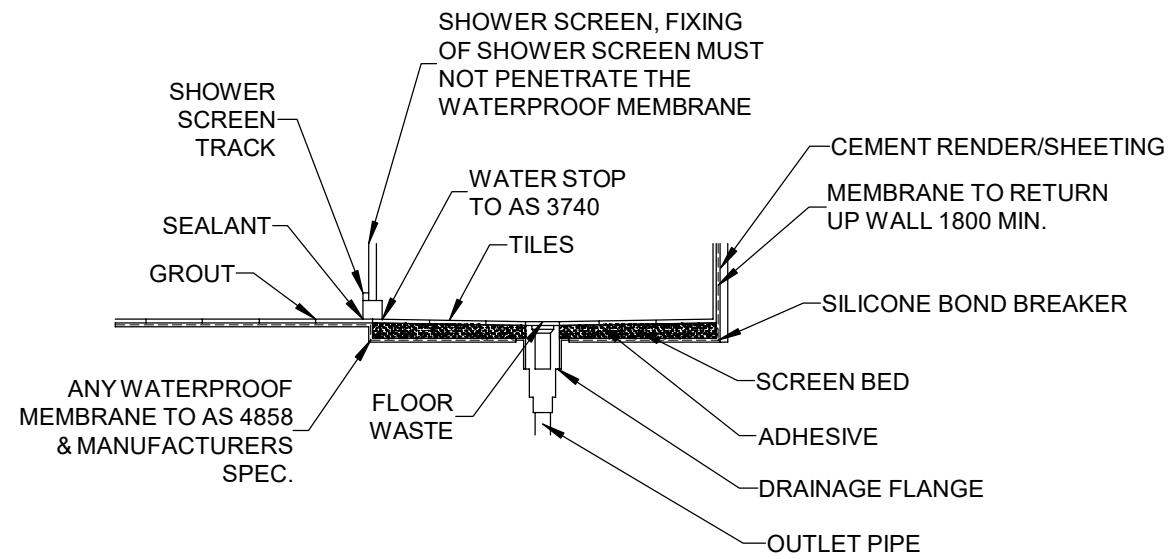
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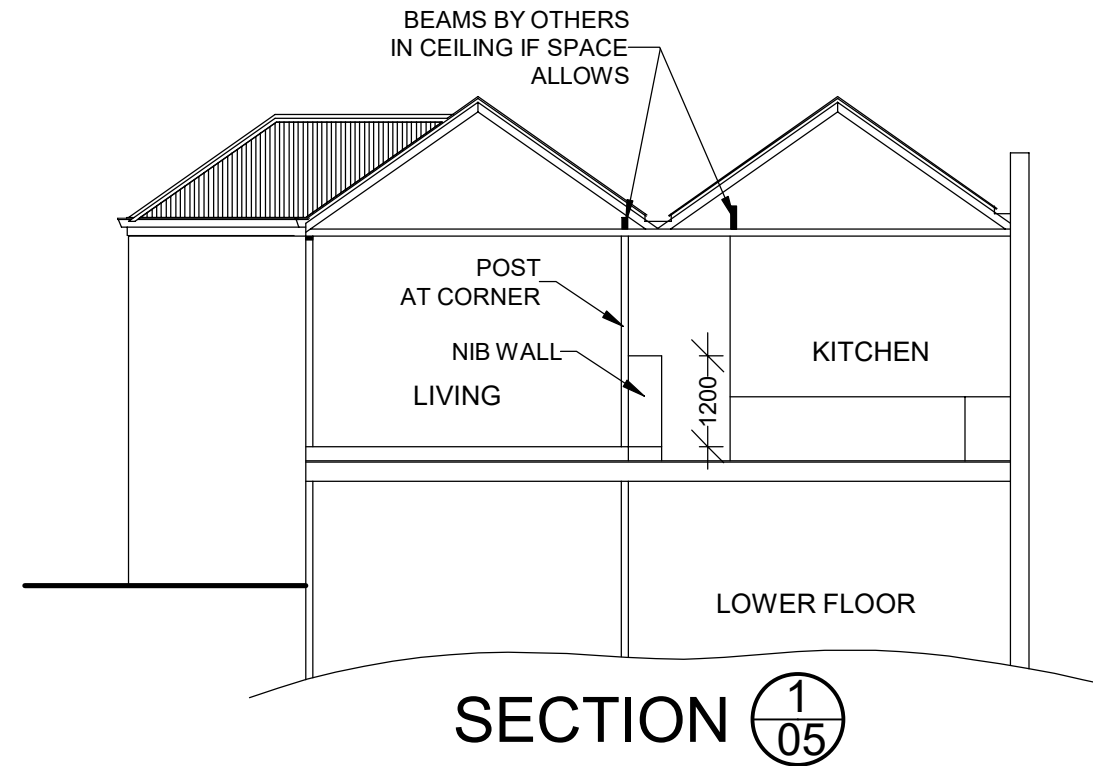
Reg. DP-AD475

<p><b>M.C.R.</b></p> <p><b>DRAFTING</b></p> <p>3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	DRN M.Robertson	<p>TITLE</p> <p><i>Proposed Lower Floor Plan</i></p>		
	DATE 2.2.22			
	DES J. Oliver			
ISSUED 2.2.22	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm.</p> <p>TOLERANCES: LINEAR: ANGULAR:</p>		<p><b>A3</b></p> <p>J. Oliver 102 Clissold Street Ballarat East</p>	<p>DRG No. 4233</p>
<p>THIRD ANGLE PROJECTION</p>	SCALE 1 : 100	SHEET 07 OF 10	AMDT. 1	

DO NOT SCALE



INSITU SHOWER DETAIL  
Scale: 1:20



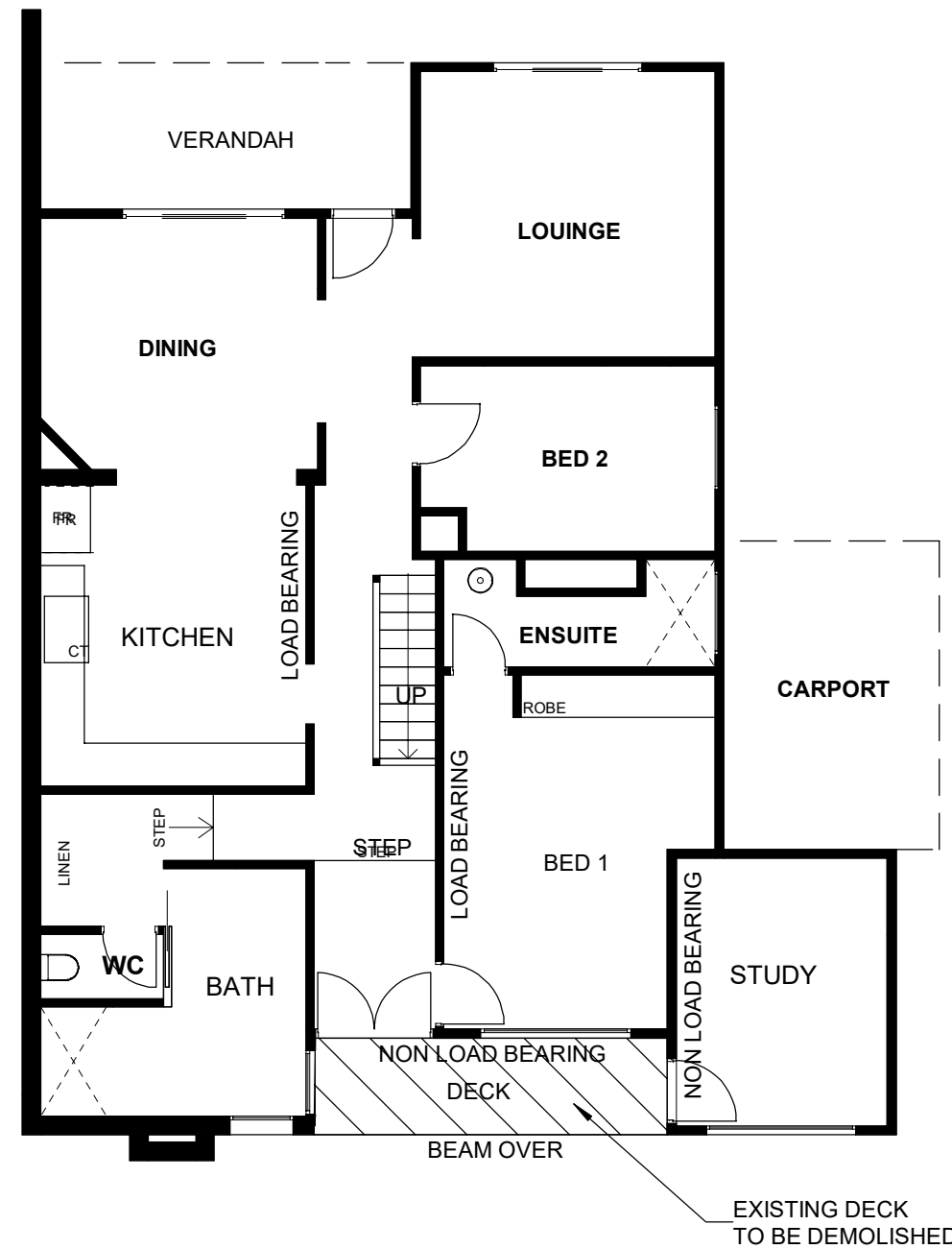
NOTES:

- 1) THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHERS OF THE SET.
- 2) ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT SAA CODES, BCA, 2022 NCC, 2022 HOUSING PROVISIONS AND THE BYLAWS OF THE CITY.
- 3) ALL FOOTINGS BASED UPON THE SOIL REPORT CLASSIFICATION.
- 4) CONCRETE COMPRESSIVE STRENGTH SHALL BE 20MPa AT 28 DAYS DETERMINED IN ACCORDANCE WITH AS.1480.
- 5) ALL TIMBER FRAMEWORK SHALL BE TO AS.1684 "TIMBER FRAMING CODE".
- 6) INSULATION SHALL BE INSTALLED AS FOLLOWS;  
ROOF R5.3  
EXTERNAL WALLS R2.5
- 7) WALL SARKING TO AS/NZS 4200.1 & BCA 3.8.7.2 (a) (iii) & INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2
- 8) ALL BUILDING MEMBRANES TO BE PLIABLE & COMPLY WITH NCC 3.8.7.2, AS4200.1 & BE INSTALLED IN ACCORDANCE WITH AS4200.2.
- 9) SMOKE ALARMS TO NCC 2019 VOL.2 SHALL BE INSTALLED AS REQUIRED.
- 10) SPEED BRACING SHALL BE FITTED TO ROOF.
- 11) TERMITE PROTECTION SHALL BE PROVIDED WITH ANT CAPS TO STUMPS.
- 12) STEPS RISERS & GOINGS SHALL BE 115-190 & 240-355 RESPECTIVELY WITH MAX. 18 RISERS & TO BCA 3.9.1 STAIRWAY & RAMP CONSTRUCTION WITH A TREAD SURFACE OF P4 OR R11 OR NOSING STRIP OF P4. SLOPE RELATIONSHIP OF 2R + G = 700 MAX. & 550 MIN., NO OPENINGS GREATER THAN 125mm.
- 13) ALL MECHANICAL VENTILATION SANITARY COMPARTMENTS TO ACHIEVE A MINIMAL FLOW RATE OF 25 L/s & 40 L/s FOR A KITCHEN OR LAUNDRY & DISCHARGE DIRECTLY TO OUTSIDE. WHERE THE MECHANICAL EXHAUST SYSTEM SERVES A BATHROOM OR SANITARY COMPARTMENT IT MUST BE INTERLOCKED WITH THE ROOM'S LIGHT SWITCH & INCLUDE A RUN-ON TIMER TO OPERATE THE EXHAUST SYSTEM FOR 10 MINUTES AFTER THE LIGHT SWITCH IS TURNED OFF.
- 14) ALL ROOF DRAINAGE TO COMPLY WITH AS3500 2018.
- 15) a) ALL METAL ROOFING TO COMPLY WITH NCC 3.5.2.  
b) THE ATMOSPHERIC CORROSION CATEGORY & MINIMUM METAL COATING WHEN CALCULATED IIN ACCORDANCE WITH THE HOUSING PROVISIONS STANDARD TABLE 3.5.1.13.  
c) MAX. SPAN OF METAL ROOFING IN ACCORDANCE WITH NCC TABLE 3.5.1.34.  
d) FIXING REQUIREMENTS FOR SHEET ROOFING AS PER NCC TABLE 3.5.1.4.
- 16) ALL PLUMBING JOINTS TO BE FLEXIBLE AS PER AS2870 CLAUSE 5.6.4.
- 17) ALL EAVES GUTTERS TO BE INSTALLED WITH A FALL OF NO LESS THAN 1:500 & BE SUPPORTED BY BRACKETS AT ENDS, CORNERS & NO GREATER THAN 1200 CENTRES.

Reg. DP-AD475

<p><b>M.C.R.</b> <b>DRAFTING</b> 3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	DRN	M. Robertson	TITLE  <i>Typical Section</i>	
	DATE	2.2.22		
	DES	J. Oliver		
	ISSUED	2.2.22	A3	J. Oliver 102 Clissold Street Ballarat East
UNLESS OTHERWISE STATED ALL DIMENSIONS mm. TOLERANCES: LINEAR: ANGULAR:		SCALE 1 : 100, 20		

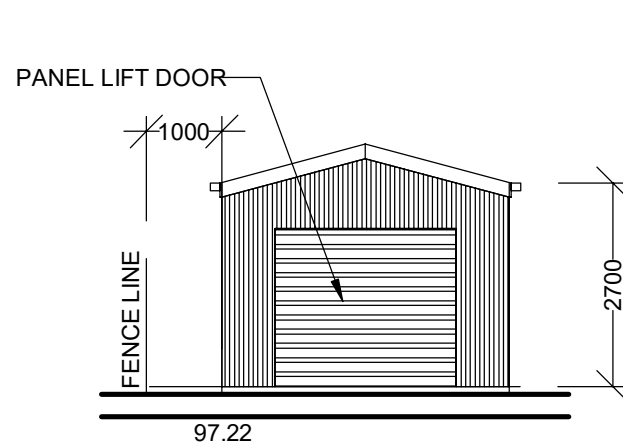
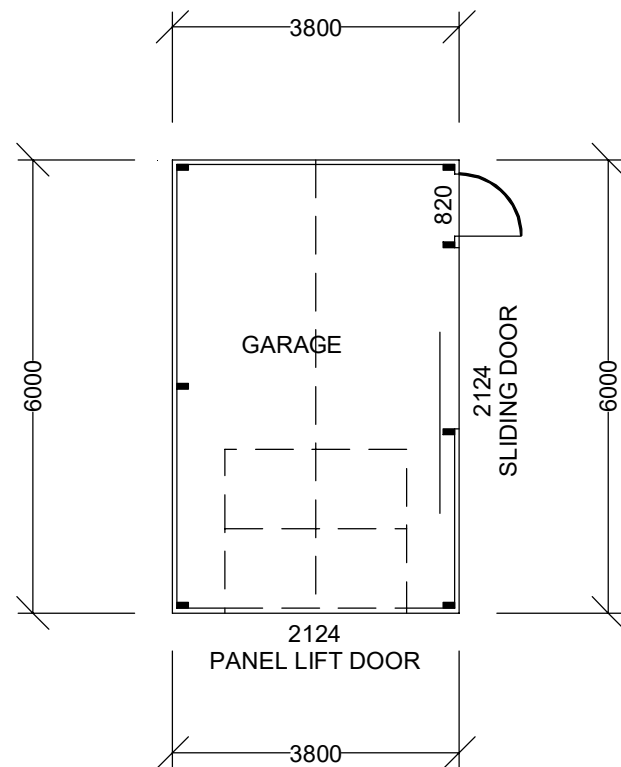
DO NOT SCALE



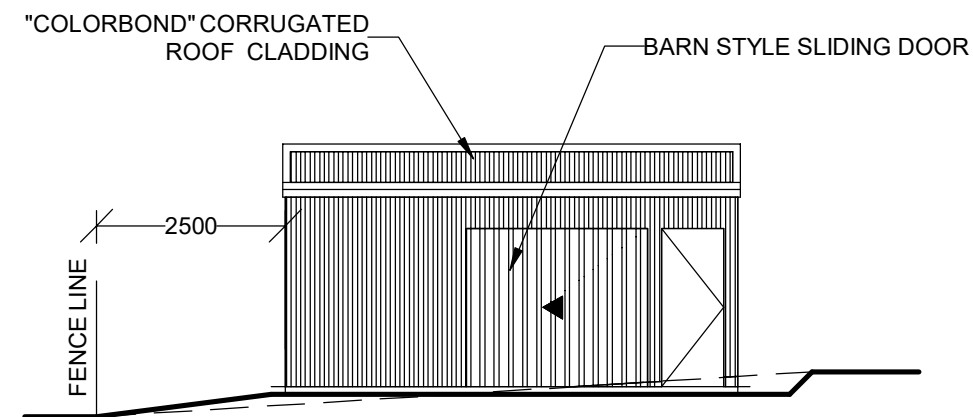
Reg. DP-AD475

<p><b>M.C.R.</b></p> <p><b>DRAFTING</b></p> <p>3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	<p>DRN M.Robertson</p>	<p>TITLE</p> <p><i>Demolition Floor Plan</i></p>		
	<p>DATE 29.6.22</p>			
	<p>DES J. Oliver</p>	<p>ISSUED 29.6.22</p>	<p><b>A3</b></p>	<p>J. Oliver 102 Clissold Street Ballarat East</p>
<p>THIRD ANGLE PROJECTION</p>	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm.</p> <p>TOLERANCES: LINEAR: ANGULAR:</p>	<p>SCALE 1 : 100</p>	<p>SHEET 09 OF 10</p>	<p>AMDT. 1</p>

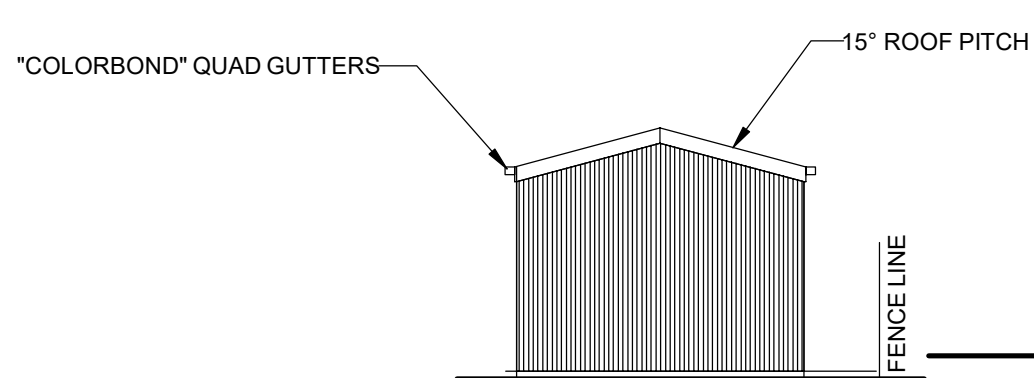
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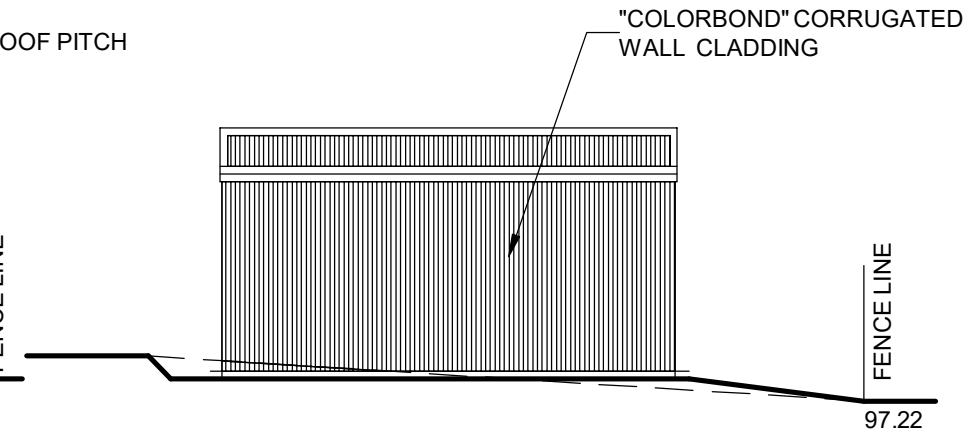
**South Elevation**  
**1:100**



**East Elevation**  
**1:100**



**North Elevation**  
**1:100**



**West Elevation**  
**1:100**

Reg. DP-AD475

<p><b>M.C.R.</b> <b>DRAFTING</b> 3050 SKIPTON RD. LINTON (03) 5344 7444 VIC. 3360</p>	DRN M.Robertson	<p><b>TITLE</b> <i>Garage Floor Plan &amp; Elevations</i></p>	
	DATE 14.2.25		
	DES J. Oliver	<p><b>A3</b> J. Oliver 102 Clissold Street Ballarat East</p>	<p>DRG No. 4482</p>
ISSUED 14.2.25	SCALE 1 : 100		
<p>THIRD ANGLE PROJECTION</p>	<p>UNLESS OTHERWISE STATED ALL DIMENSIONS mm. TOLERANCES: LINEAR: ANGULAR:</p>		