

PLANS TO BE READ IN CONJUNCTION WITH ENGINEERING PLANS 19058-1526-106 PREPARED BY BLUE WATER CIVIL ENGINEERING & PROJECT MANAGEMENT

IMPORTANT
Refer to the Consent Conditions prior to commencing this development. NSW Legislation provides penalties for breaching Conditions of Consent.

NOTE: Engineering and/or structural details included in this plan have not been assessed by Council. These matters are to be assessed by the PCA prior to the release of any Construction Certificate.

APPROVED PLAN
Development Consent:
DA/2022/329/1
Determined: 20-12-2022

- GENERAL NOTES:**
1. PLANS TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS & SPECIFICATIONS PROVIDED.
 2. DIMENSIONS PROVIDED TO BE CHECKED BY BUILDER PRIOR TO WORK COMMENCING.
 3. BOUNDARIES & CONTOURS ARE SUBJECT TO SURVEY PRIOR TO WORK COMMENCING.
 4. SERVICES TO BE LOCATED ON SITE BY BUILDER PRIOR TO WORK COMMENCING.
 5. DO NOT SCALE OFF DRAWINGS.

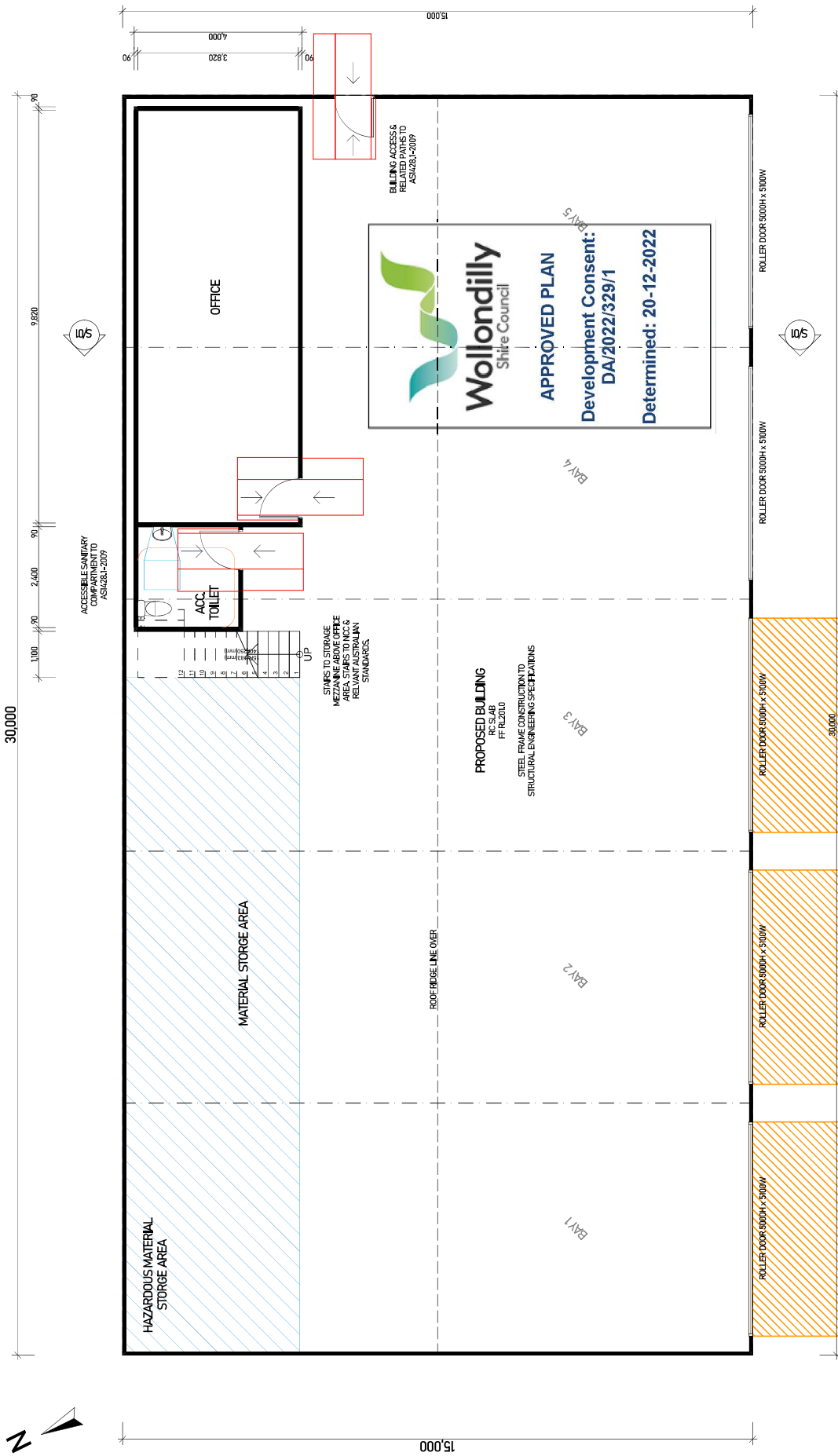
CONTOUR BENCHMARK MGA2020, AHD	
LEGEND	
CONTOUR LINES	
EXISTING TREE	
TREE TO BE REMOVED	
PROPOSED BUILDING	
PROPOSED MATERIAL BAY ZONE	
PROPOSED NURSERY ZONE	
BILLBOARD SIGN	
BUSINESS SIGN	
BIN STORAGE AREA	
TEMPORARY SITE COMPOUND	


DRAWINGS # : 0218	21/11/2022	CLIENT: CONDELL PARK ROAD PTY LTD	PROJECT: LANDSCAPE SUPPLY DEVELOPMENT	DATE: 22/03/22	LOT: 17	DP: 702024
				DESCRIPTION: SIGN AMENDMENTS & DETAILS ADDED	LOCATION: 145 CONDELL PARK ROAD, WILTON	SCALE (A3): 1:2000
LOCAL DRAFTING		CONDELL PARK ROAD PTY LTD		ISSUE: A	DESCRIPTION: SIGN AMENDMENTS & DETAILS ADDED	DATE: 22/03/22
E: info@localdrafting.com.au W: localdrafting.com.au A/N: 99654818240		CONDELL PARK ROAD PTY LTD		ISSUE: B	DESCRIPTION: SIGNAGE & PLAN AMENDMENTS	DATE: 12/09/22
LOCAL DRAFTING		CONDELL PARK ROAD PTY LTD		ISSUE: C	DESCRIPTION: SIGN AMENDMENTS & DETAILS ADDED	DATE: 21/11/22

ISSUE: **C**

SHEET: **1 of 6**

PROPOSED SITE PLAN





Wollondilly
 Shire Council
APPROVED PLAN
 Development Consent:
 DA/2022/329/1
 Determined: 20-12-2022

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LEGEND

CIRCULATION ZONES	CIRCULATION ZONES
MATERIAL STORAGE	MATERIAL STORAGE
LOADING & UNLOADING BAY	LOADING & UNLOADING BAY

NOTE: Engineering and/or structural details included in this plan have not been assessed by Council. These matters are to be assessed by the PCA prior to the release of any Construction Certificate.

PROPOSED BUILDING GROUND FLOOR PLAN

IMPORTANT

Refer to the Consent Conditions prior to commencing this development. NSW Legislation provides penalties for breaching Conditions of Consent.

FLOOR AREAS

ITEM	AREA (sq m)
OFFICE, AMENITIES & STAIRS	59.27
GROUND FLOOR STORAGE	390.73
MEZZANINE	46.42
TOTAL FLOOR AREA	496.42 m ²
PROPOSED BUILDING FOOTPRINT	450m²

LOCAL DRAFTING

T: 02 4621 8240 | F: 02 4621 8240
 E: info@localdrafting.com.au | W: localdrafting.com.au

PROJECT: LANDSCAPE SUPPLY DEVELOPMENT

CLIENT: CONDELL PARK ROAD PTY LTD

LOCATION: 145 CONDELL PARK ROAD, WILTON

DATE: 22/03/22

LOT: 17 DP: 702024

SCALE (A2): 1:100

DRAWINGS: PROPOSED BUILDING GROUND FLOOR PLAN

PLAT DATE: 21/11/2022

DRAWINGS #: 0218

ISSUE: C

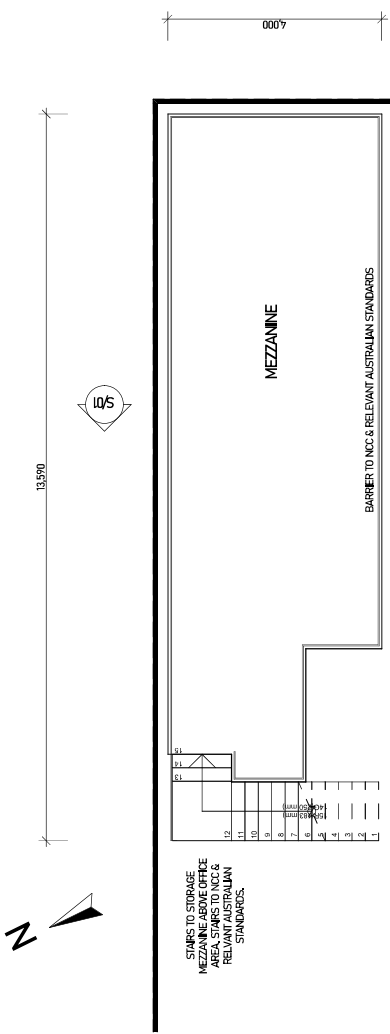
SHEET: 2 of 6

PROJECT: LANDSCAPE SUPPLY DEVELOPMENT
 CLIENT: CONDELL PARK ROAD PTY LTD
 DRAWINGS: MEZZANINE & SECTION
 SCALE (A3): 1:100

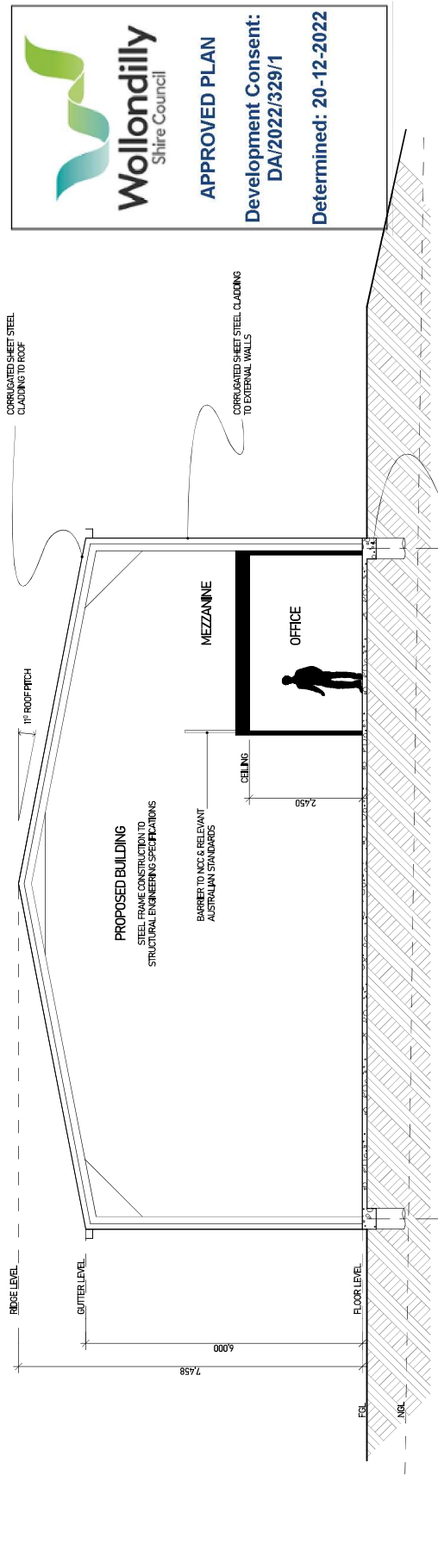
DATE	22/03/22	LOT: 17	D.P.: 702024
DESCRIPTION	MEZZANINE & SECTION	LOCATION:	145 CONDELL PARK ROAD, WILTON
ISSUE	C SIGN AMENDMENTS & DETAILS ADDED	DATE	21/1/22
A	FIRST ISSUE	DATE	22/03/22
B	ISSUE & PLAN AMENDMENTS	DATE	12/09/22

LOCAL DRAFTING
 E: info@localdrafting.com.au | W: localdrafting.com.au | A/N: 99654818240

PLANT DATE:	21/1/2022
DRAWINGS #:	0218
ISSUE:	C
SHEET:	3 of 6



MEZZANINE



Wollondilly
 Shire Council

APPROVED PLAN

Development Consent:
 DA/2022/329/1

Determined: 20-12-2022

SECTION S/01

IMPORTANT
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ITEM	AREA (sq m)
OFFICE, AMENITIES & STAIRS	59.27
GROUND FLOOR STORAGE	390.73
MEZZANINE	46.42
TOTAL FLOOR AREA	496.42 m ²
PROPOSED BUILDING FOOTPRINT	
	450m ²

- GENERAL NOTES:**
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PLANS TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERING PLANS FOR CUT, FILL & BATTER DETAILS

1:100

ELEVATIONS

SCALE (A2)

PROJECT: LANDSCAPE SUPPLY DEVELOPMENT

CLIENT: CONDELL PARK ROAD PTY LTD

LOCATION: 145 CONDELL PARK ROAD, MILTON

LOT: 17 D.P.: 702024

ISSUE	DESCRIPTION	DATE
A	FIRST ISSUE	22/03/22
B	SIGNAGE & PLAN AMENDMENTS	12/09/22
C	SIGN AMENDMENTS & DETAILS ADDED	21/11/22

LOCAL DRAFTING

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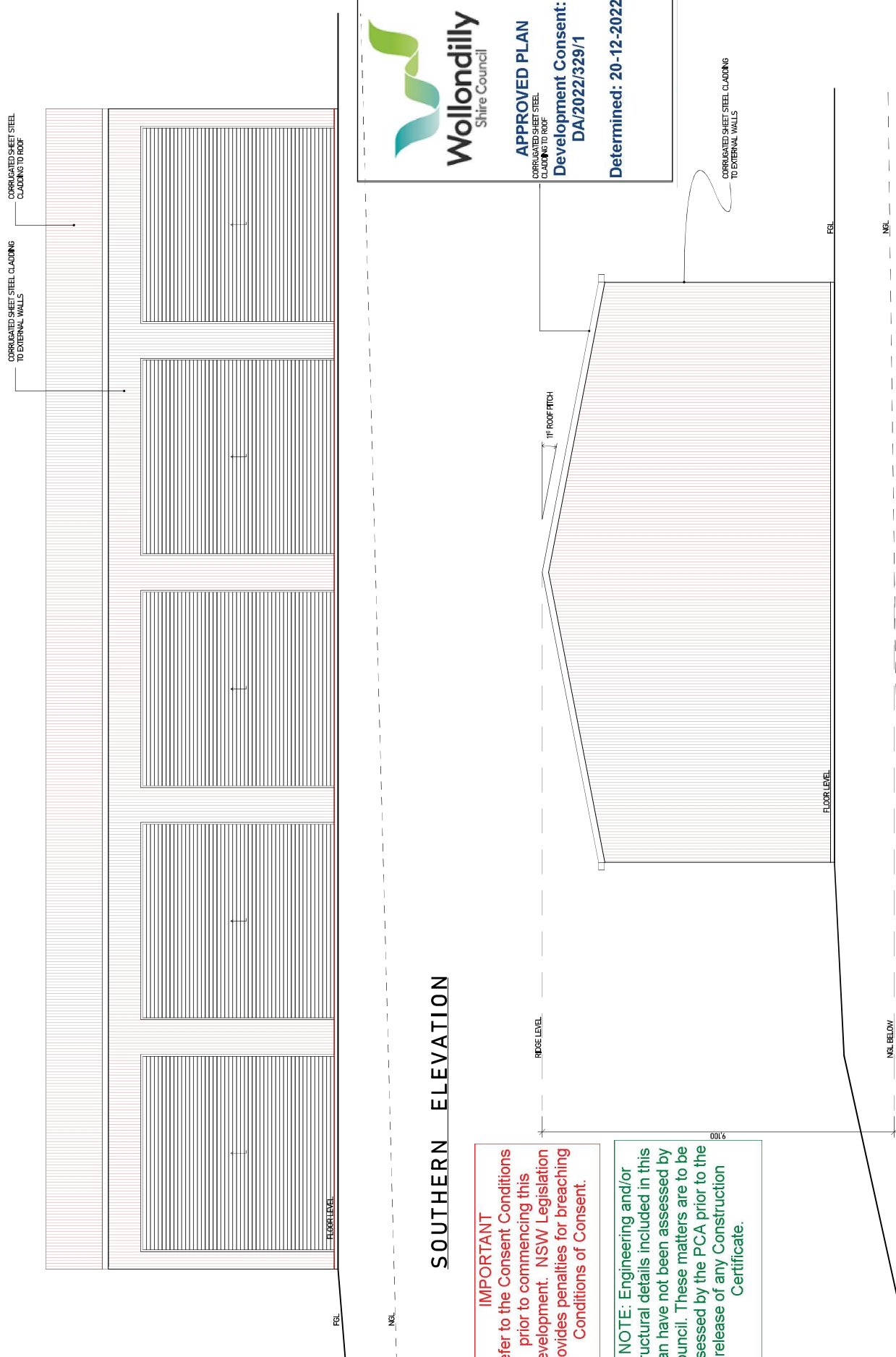
PLOT DATE: 21/11/2022

DRAWING #: 0218

ISSUE: C

SHEET: 4 of 6

PLAN TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERING PLANS FOR CUT, FILL & BATTER DETAILS




Wollondilly
 Shire Council
APPROVED PLAN
 CORRUGATED SHEET STEEL CLADDING TO ROOF
Development Consent:
 DA/2022/329/1
Determined: 20-12-2022

SOUTHERN ELEVATION

WESTERN ELEVATION

IMPORTANT
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1:100

ELEVATIONS

SCALE (A2):

PROJECT: LANDSCAPE SUPPLY DEVELOPMENT

CLIENT: CONDELL PARK ROAD PTY LTD

LOCATION: 145 CONDELL PARK ROAD, WILTON

LOT: 17 DP: 702024

ISSUE	DESCRIPTION	DATE
A	FIRST ISSUE	22/03/22
B	SIGNAGE & PLAN AMENDMENTS	12/09/22
C	SIGN AMENDMENTS & DETAILS ADOPTED	21/11/22



E: info@localdrafting.com.au | W: localdrafting.com.au | ABN: 99654818240

0218

DRAWINGS #:

21/11/2022

PLOT DATE:

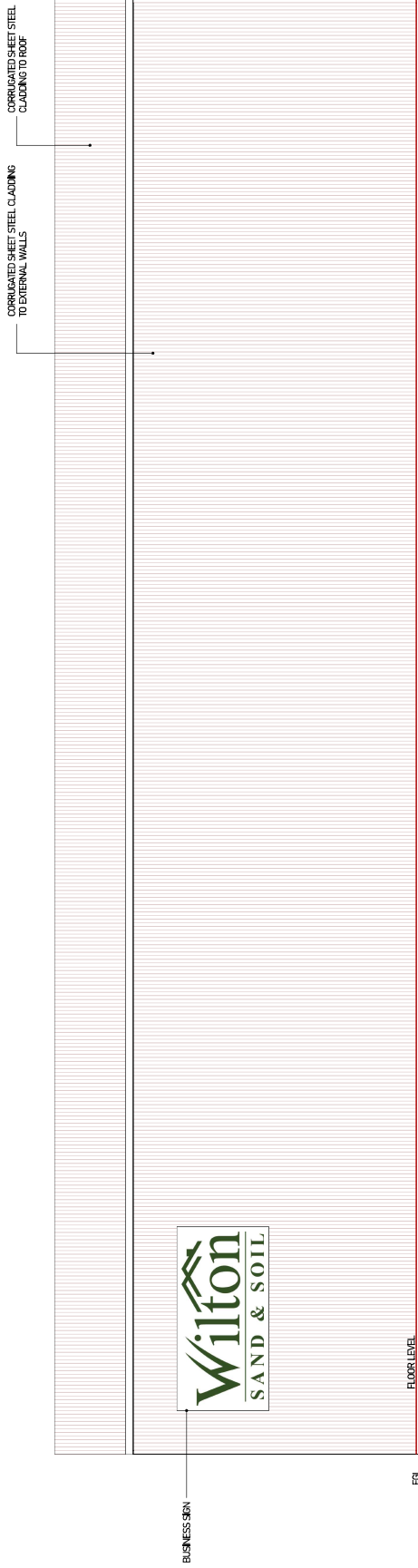
C

ISSUE:

5 of 6

SHEET:

PLAN TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERING PLANS FOR CUT, FILL & BATTER DETAILS

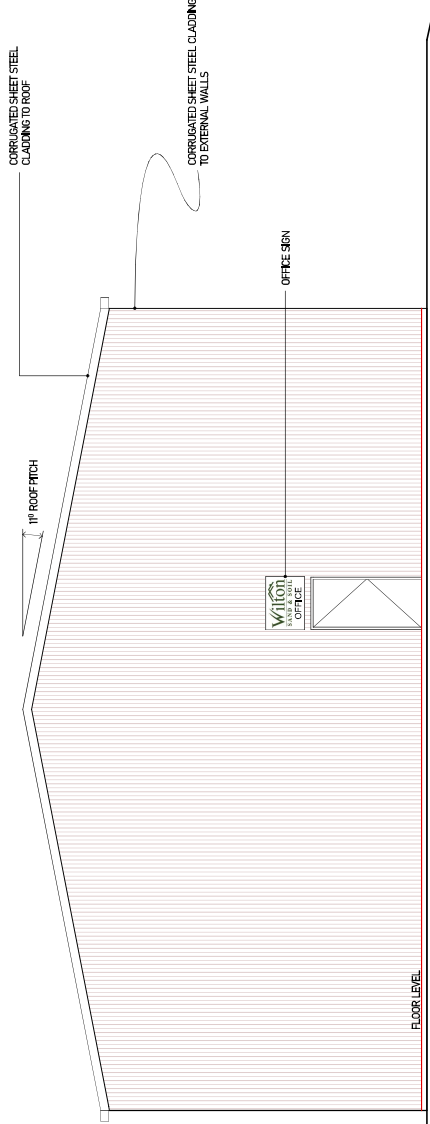


NORTHERN ELEVATION

IMPORTANT
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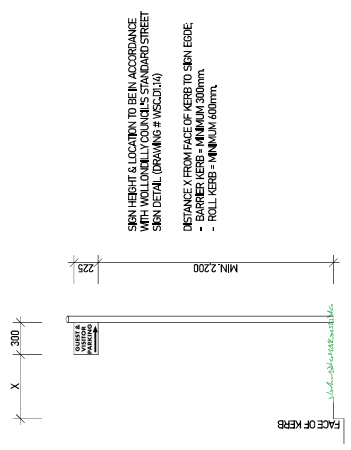
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APPROVED PLAN
 Development Consent: DA/2022/329/1
 Determined: 20-12-2022



EASTERN ELEVATION

ISSUE	DESCRIPTION	DATE
A	FIRST ISSUE	22/03/22
B	SIGNAGE & PLAN AMENDMENTS	12/09/22
C	SIGN AMENDMENTS & DETAILS ADDED	21/11/22



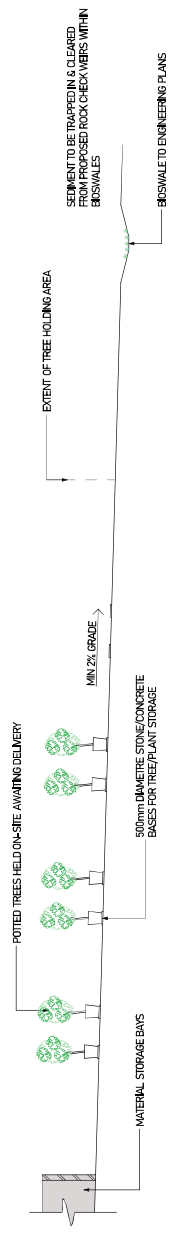
ON-SITE PARKING SIGN
 SCALE 1:50

Wollondilly Shire Council
APPROVED PLAN
 Development Consent:
 DA/2022/329/1
 Determined: 20-12-2022

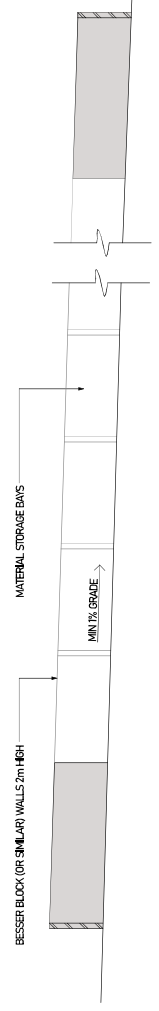
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SITE ENTRY SIGN
 SCALE 1:50



S/02-PLANT HOLDING AREA
 SCALE 1:200



S/03-MATERIAL STORAGE BAYS
 SCALE 1:200