

PROPOSED NEW HOME

# CHRISTOPHER JOHN DILGER

LOT 9 EINASLEIGH STREET, MORAYFIELD  
(MORAYFIELD LANDINGS)



SHEET	NAME
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2	SITE PLAN
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6	ELECTRICAL PLAN
A	LANDSCAPE PLAN

STAGE	DATE	COMMENT	DRAWN BY
PP1	04.07.25	PRELIMINARY PLANS	KA

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LIVING HOMES  
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QBCC LICENCE No: 15197458  
Unit 17/9-15 Sinclair Street, Arundel, QLD 4209 | Tel: 07 5529 0481  
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CLIENT  
CHRISTOPHER JOHN DILGER  
ADDRESS  
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(MORAYFIELD LANDINGS)


HOUSE DESIGN  
WESTIN  
21-MODIFIED

FACADE  
HAMPTONS

INCLUSIONS  
INSPIRE

COVER PAGE

THE DRAFTING SHED  
QBCC 15023381  
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PRINTED: 4TH JULY 2025  
# 250609

SCALE  
ORIGINAL SHEET SIZE: A3

PRELIMINARY PLANS

OWNER SIGNATURE.....  
BUILDER SIGNATURE.....

SHEET:  
1

PROPERTY DESCRIPTION	
LOT 9 ON 5P##	
MORTON BAY REGIONAL COUNCIL	
SITE AREA: 600m2	
AREAS	
SITE AREA:	600m2
HOUSE FOOTPRINT:	202.08m2
SITE COVER:	33.68%
MAX SITE COVER:	(60%)
WIND RATING:	T.B.C.
SOIL CLASSIFICATION:	T.B.C.

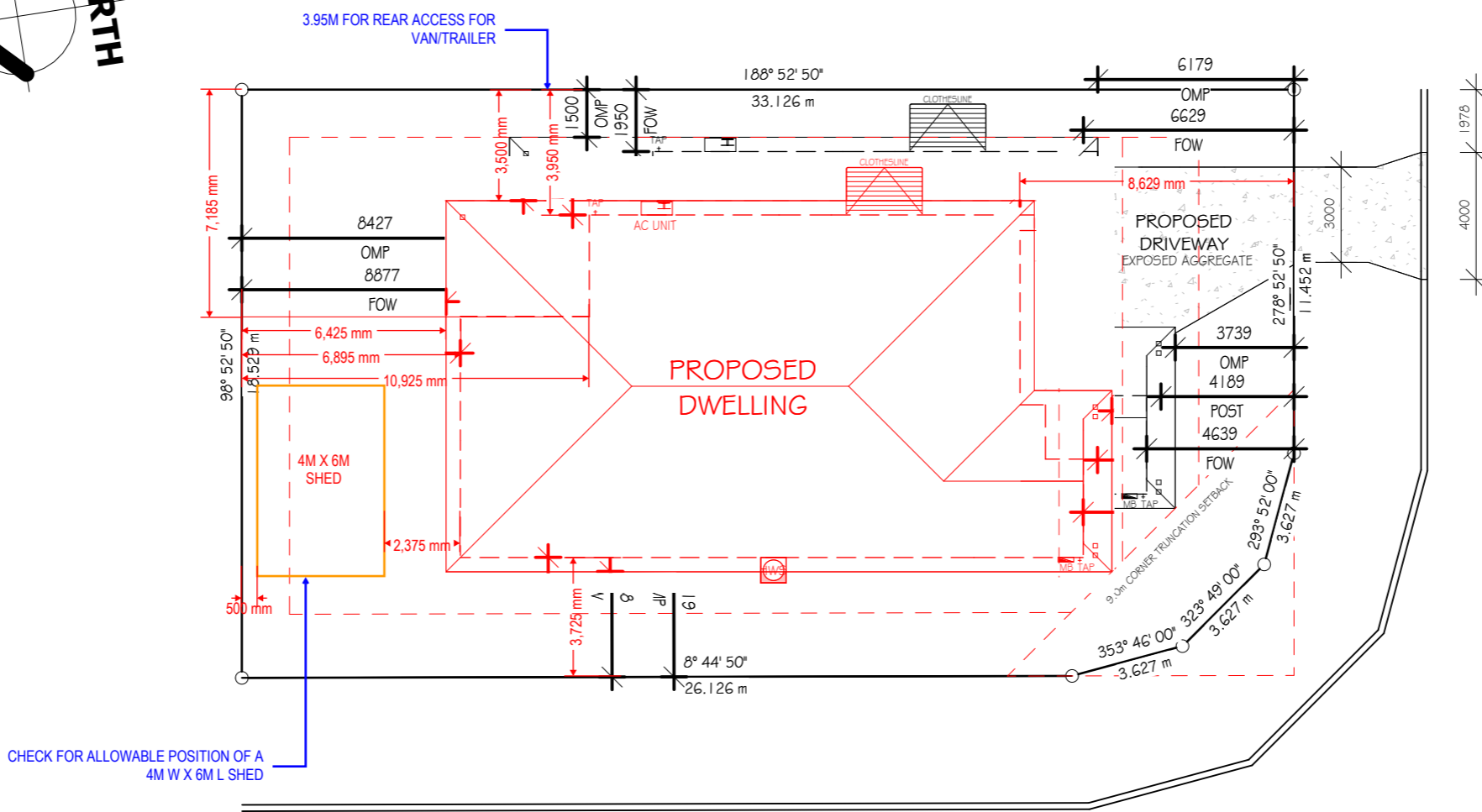
AREA SCHEDULE	
NAME	AREA
LIVING	149.56 m <sup>2</sup>
GARAGE	35.32 m <sup>2</sup>
ALFRESCO	12.99 m <sup>2</sup>
PORCH	4.20 m <sup>2</sup>
	202.08 m <sup>2</sup>

CONCRETE AREAS		
DESCRIPTION	AREA	LOCATION
EXPOSED AGGREGATE	44.9 m <sup>2</sup>	DRIVEWAY
	44.9 m <sup>2</sup>	
STRUCTURAL PLAIN GREY CONCRETE	0.6 m <sup>2</sup>	HWS
	0.6 m <sup>2</sup>	
STRUCTURAL PLAIN GREY CONCRETE (TILED FINISH)	13.0 m <sup>2</sup>	ALFRESCO
STRUCTURAL PLAIN GREY CONCRETE (TILED FINISH)	4.2 m <sup>2</sup>	PORCH
	17.2 m <sup>2</sup>	

- GENERAL NOTES
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
  - ALL DIMENSIONS, ANGLES & LEVELS ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO CONSTRUCTION.
  - DO NOT SCALE OFF DRAWINGS
  - DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.
  - ALL SURVEY PEGS ARE TO BE SITED IN POSITION PRIOR TO COMMENCEMENT OF CONSTRUCTION
  - THE DWELLING IS NOT TO EXCEED 8.5M ABOVE NATURAL GROUND LEVEL
  - CLEAR BUILDING AREA OF ALL VEGETATION TO ONE METRE PAST THE BUILDING PERIMETER. REMOVE ALL STUMPS & ROOTS.
  - ALL VEGETATION, RUBBISH, TOPSOIL AND CONTAMINATED FILL SHALL BE REMOVED FROM SITE AND REPLACED WITH CLEAN FILL.
  - THE SITE IS TO BE ADEQUATELY DRAINED TO THE ENGINEERS RECOMMENDATIONS AS SET OUT IN THE SOIL REPORT AND CSIRO RECOMMENDATIONS FOR THE MAINTENANCES OF RESIDENTIAL SLABS AND FOOTINGS
  - STORMWATER TO STREET KERB IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS U.N.O.
  - BUILDER TO VERIFY THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION.
  - ALL CUT AND FILL EMBANKMENTS TO COMPLY WITH NCC 2022 VOL 2 PART 11 D3 & ABCB HOUSING PROVISIONS TABLE 3.2.1. AND ALL DRIVEWAYS TO BE NO STEEPER THAN 1:5. ALL EARTHWORKS TO BE IN ACCORDANCE WITH NCC 2022 VOL 2 PART 11 D3 & ABCB HOUSING PROVISIONS PART 3.2
  - SLOPE PERIMETER OF SLAB AREA AWAY FROM BUILDING FOR A MINIMUM OF 1 METRE TO COMPLY WITH N.C.C. 2022 VOL 2 & ABCB HOUSING PROVISIONS PART 3.3.3
  - REFER TO ENGINEERS DESIGN AND DETAILS FOR HOUSEHOLD WASTE.

- PLUMBING & DRAINAGE NOTES
- ALL DOWNPIPES TO BE 90mm DIAMETER UPVC (UNO). NUMBER AS SPECIFIED ON THE PLAN.
  - ALL DRAINAGE AND PLUMBING WORKS MUST BE CARRIED OUT BY A LICENSED PLUMBER/DRAINER ONLY AND STRICTLY IN ACCORDANCE WITH THE STANDARDS UNTIL IT HAS BEEN EXAMINED AND PASSES BY THE COUNCILS INSPECTOR.
  - DISCHARGE ALL WASTES TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE LOCAL COUNCIL'S SPECIFICATION.
  - DISCHARGE ROOF WATER DRAINAGE TO STORMWATER CONNECTION POINT VIA 100mm DIA. PVC STORMWATER DRAINS AS PER COUNCIL'S REQUIREMENT.
  - ROOFING CONTRACTOR AND PLUMBER TO ENSURE THAT THE NUMBER OF DOWNPIPES SHOWN ON PLAN IS ADEQUATE AND LOCATED IN THE OPTIMUM POSITIONS.

STAGE	DATE	COMMENT	DRAWN BY
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- LEGEND
- DP DOWNPIPE
  - MB METER BOX (LOCATION TO BE CONFIRMED ON SITE BY ELECTRICIAN)
  - HWS HOT WATER SYSTEM
  - OMP OUTER MOST PROJECTION
  - FOW FACE OF WALL
  - ☒ STORMWATER PIT/YARD GULLY (ALLOCATION OF PITS TO BE CONFIRMED ON SITE BY PLUMBER)
  - ☒ SELECTED LETTERBOX

EINASLEIGH STREET

MINIMBAH STREET

PRELIMINARY SITING ONLY - LEVELS TO BE CONFIRMED ONCE SITE SURVEY COMPLETED

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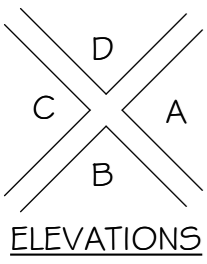
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**SITE PLAN**

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BUILDER SIGNATURE..... 2

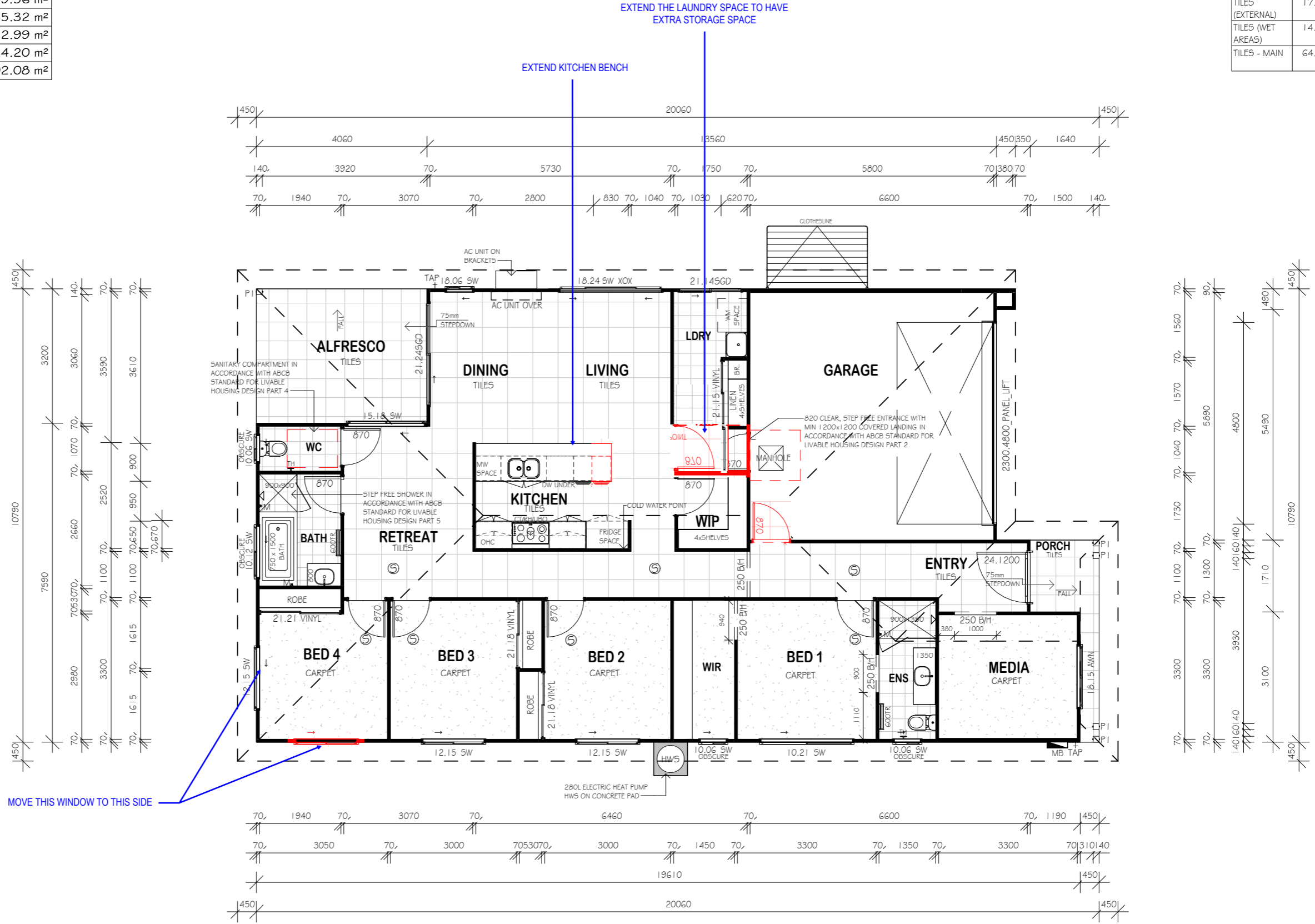


**AREA SCHEDULE**

NAME	AREA
LIVING	149.56 m <sup>2</sup>
GARAGE	35.32 m <sup>2</sup>
ALFRESCO	12.99 m <sup>2</sup>
PORCH	4.20 m <sup>2</sup>
	202.08 m <sup>2</sup>

**FLOOR COVERINGS LEGEND**

CARPET	57.8 m <sup>2</sup>	
TILES (EXTERNAL)	17.2 m <sup>2</sup>	
TILES (WET AREAS)	14.5 m <sup>2</sup>	
TILES - MAIN	64.1 m <sup>2</sup>	



**LEGEND**

- SMOKE DETECTOR
- FLOOR WASTE GULLY
- DOWNPIPE
- METER BOX
- HOT WATER SYSTEM
- OVERHEAD CUPBOARD
- STOVE/ RANGEHOOD
- COOKTOP/ RANGEHOOD/ UNDERBENCH OVEN
- SHOWER HEAD
- SHOWER MIXER
- TOWEL RAIL
- TOILET ROLL HOLDER
- HAND TOWEL RING
- 140 x 140 PLAIN PINE TIMBER POST ON STEEL STIRRUP

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2	ALL DIMENSIONS, ANGLES & LEVELS ARE TO BE CHECKED & VERIFIED ON SITE PRIOR TO CONSTRUCTION.
3	DO NOT SCALE OFF DRAWINGS.
4	DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DOCUMENTS, INCLUDING CONDITIONS OF APPROVAL, ETC.
5	HATCHINGS AND FITTINGS SHOWN ON PLAN ARE INDICATIVE ONLY. REFER TO BUILDERS SPECIFICATIONS FOR FURTHER CLARIFICATION.
6	SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 VOL 2 HSD6 & ABCB HOUSING PROVISIONS PART 9.5 & BUILDING REGULATION 2021 PART 4 & COMPLY WITH AS3786-2023
7	WATERPROOFING TO COMPLY WITH NCC 2022 VOL 2 H4D2 & ABCB HOUSING PROVISIONS PART 10.2. WATERPROOFING TO COMPLY WITH A.5. 3740-2021.
8	EXHAUST FANS, INCLUDING RANGEHOOD MUST DISCHARGE DIRECTLY TO THE OUTSIDE VIA A SHAFT OR DUCT IN ACCORDANCE WITH NCC 2022 VOL 2 H4D9 & ABCB HOUSING PROVISIONS PART 10.8.2.

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**FLOOR PLAN**

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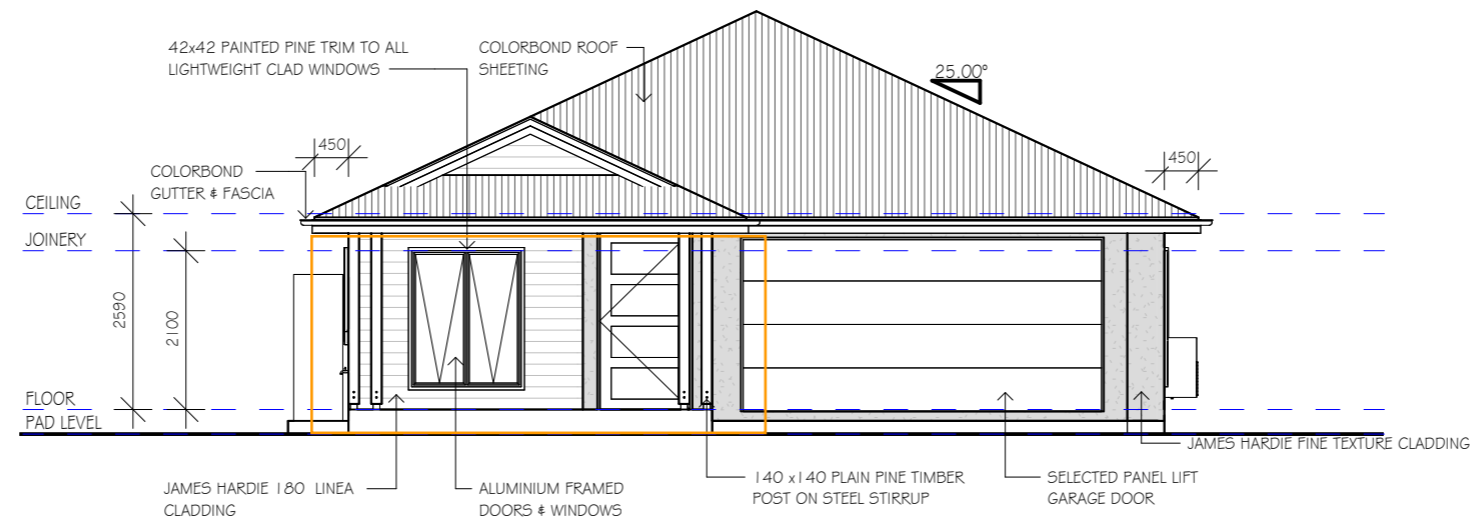
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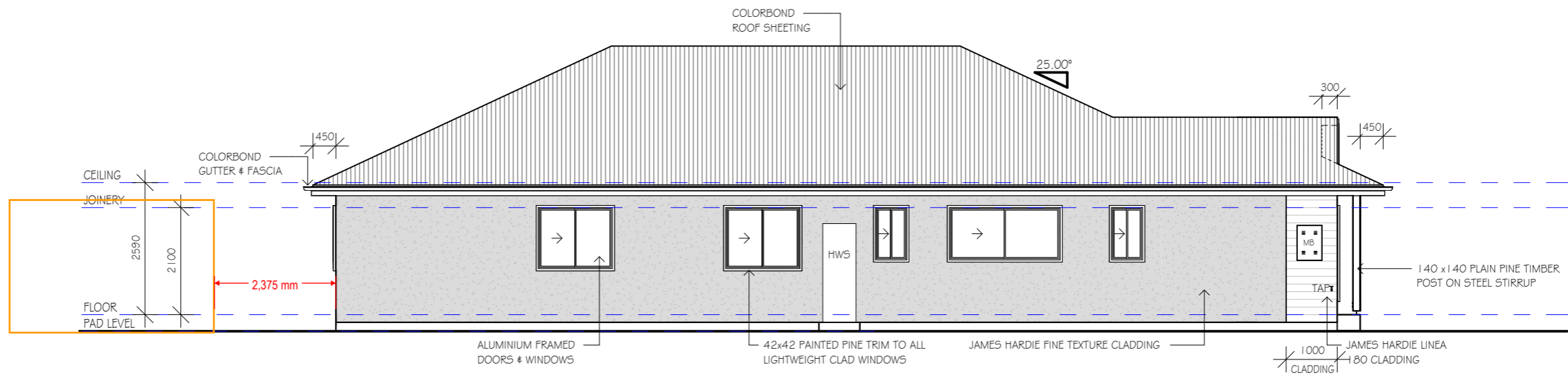
PRELIMINARY PLANS

OWNER SIGNATURE..... SHEET:  
BUILDER SIGNATURE..... 3

# ELEVATION A



# ELEVATION B



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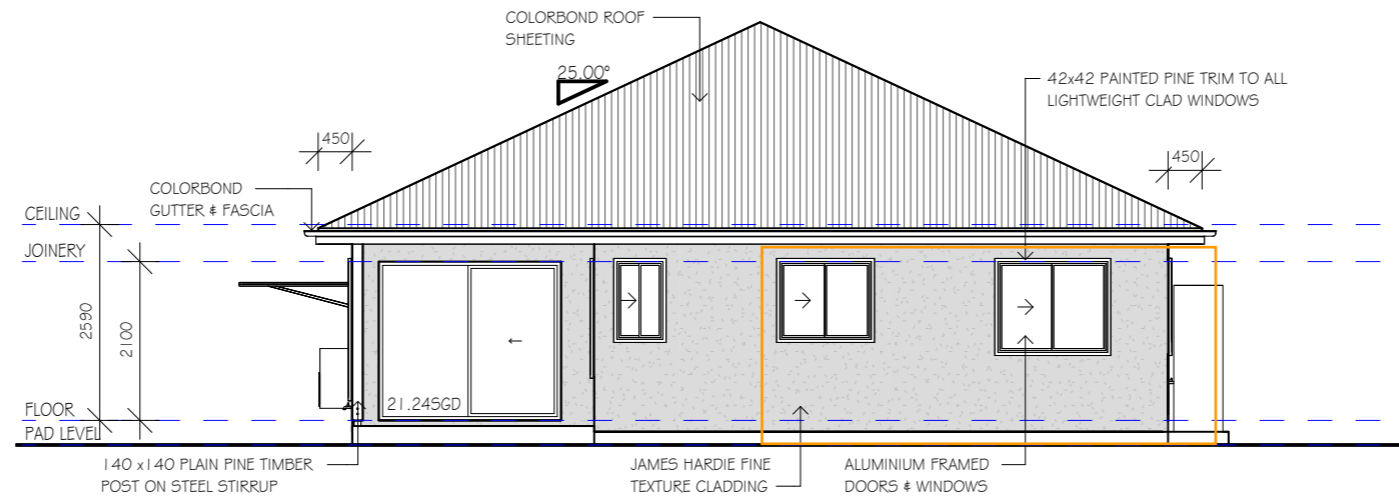
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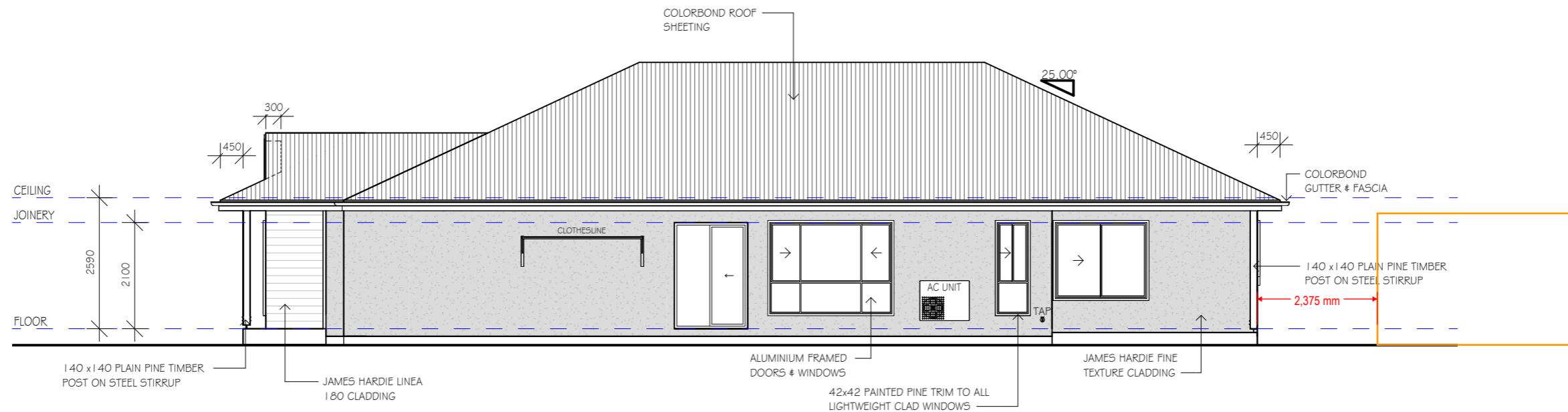
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SHEET:

4



ELEVATION C



ELEVATION D

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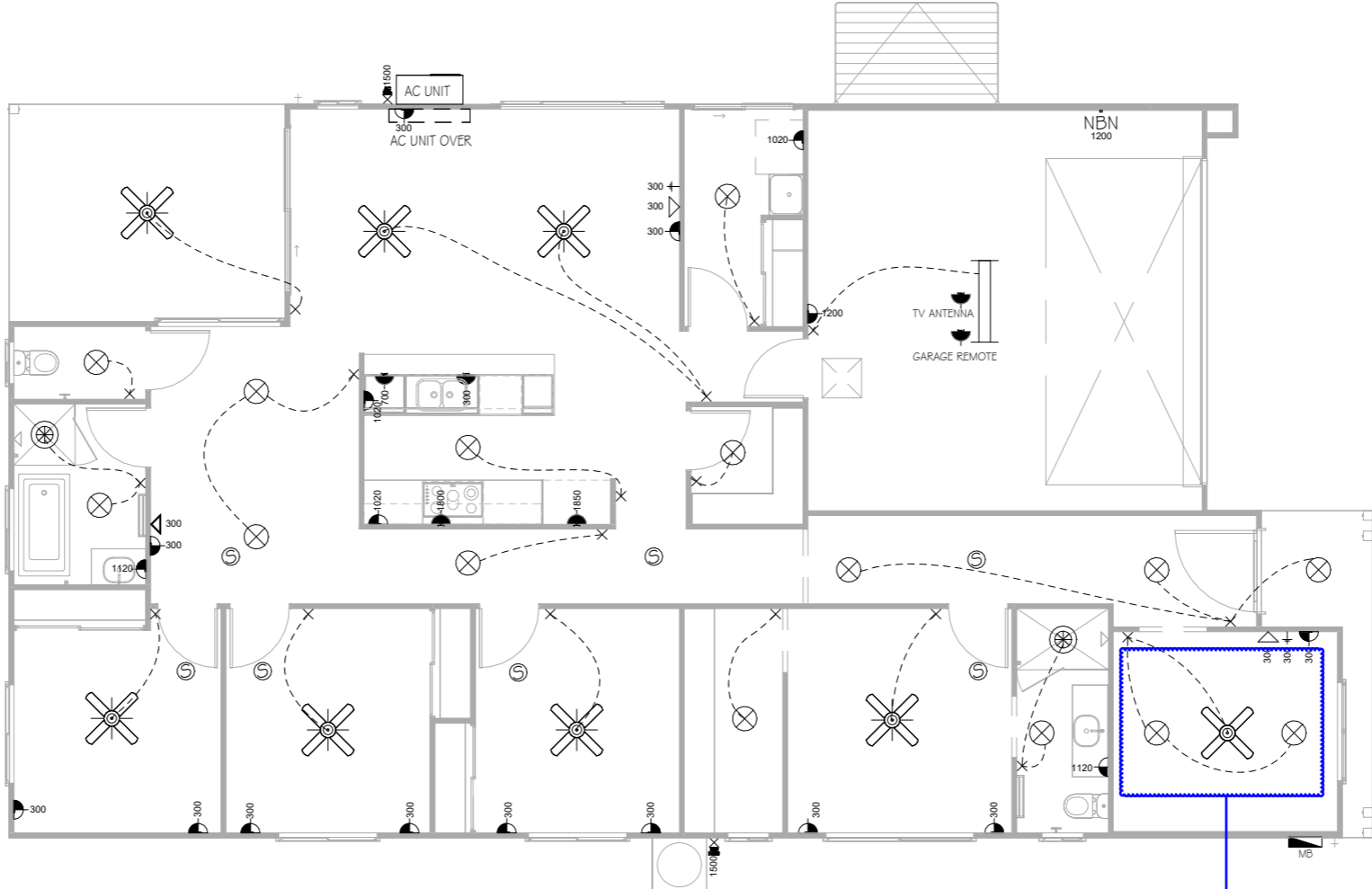
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SHEET: 5

ELECTRICAL LEGEND		
DESCRIPTION	QTY.	
2- 1 200 LED LIGHT	1	
CEILING FAN	1	
CEILING FAN WITH LIGHT	7	
EXHAUST FAN	2	
LED DOWNLIGHT	15	
SWITCHES	18	
DATA POINT	2	
GPO	6	
GPO(DOUBLE)	19	
METER BOX	1	
NBN	1	
PHONE POINT	1	
POWER ISOLATOR SWITCH - AC UNIT	1	
POWER ISOLATOR SWITCH - HWS	1	
SMOKE ALARM	7	
TV POINT	2	
SPLIT SYSTEM AC UNIT	1	



MAKE THIS ROOM FAN/FLIGHT SIMILAR TO OTHER BEDROOM

1	LAYOUT SHOWN ON PLAN IS INDICATIVE ONLY. CONTRACTOR TO COMPLY WITH ALL RELEVANT STANDARDS AND CODES.
2	EXHAUST FANS, INCLUDING RANGEHOOD MUST DISCHARGE DIRECTLY TO THE OUTSIDE VIA A SHAFT OR DUCT IN ACCORDANCE WITH NCC 2022 VOL 2 H4D9 # ABCB HOUSING PROVISIONS PART 1.0.6.2.
3	THIS HOUSE IS TO BE WIRED FOR NBN
4	ELECTRICIAN TO ENSURE ON SITE THAT ALL GPO'S AND SWITCHES ARE MINIMUM 600mm AWAY FROM BATHS, OPEN SHOWERS OR VESSELS THAT CONTAIN MORE THAN 45L.

**CONDENSATION MANAGEMENT**  
 A BATHROOM OR WC WITH NO NATURAL VENTILATION MUST HAVE AN EXHAUST FAN INTERLOCKED WITH THE ROOMS LIGHT SWITCH THAT RUNS FOR 10 MINUTES AFTER ITS SWITCH IS TURNED OFF AND HAVE A MINIMUM 20mm GAP AT THE BOTTOM OF THE DOOR.

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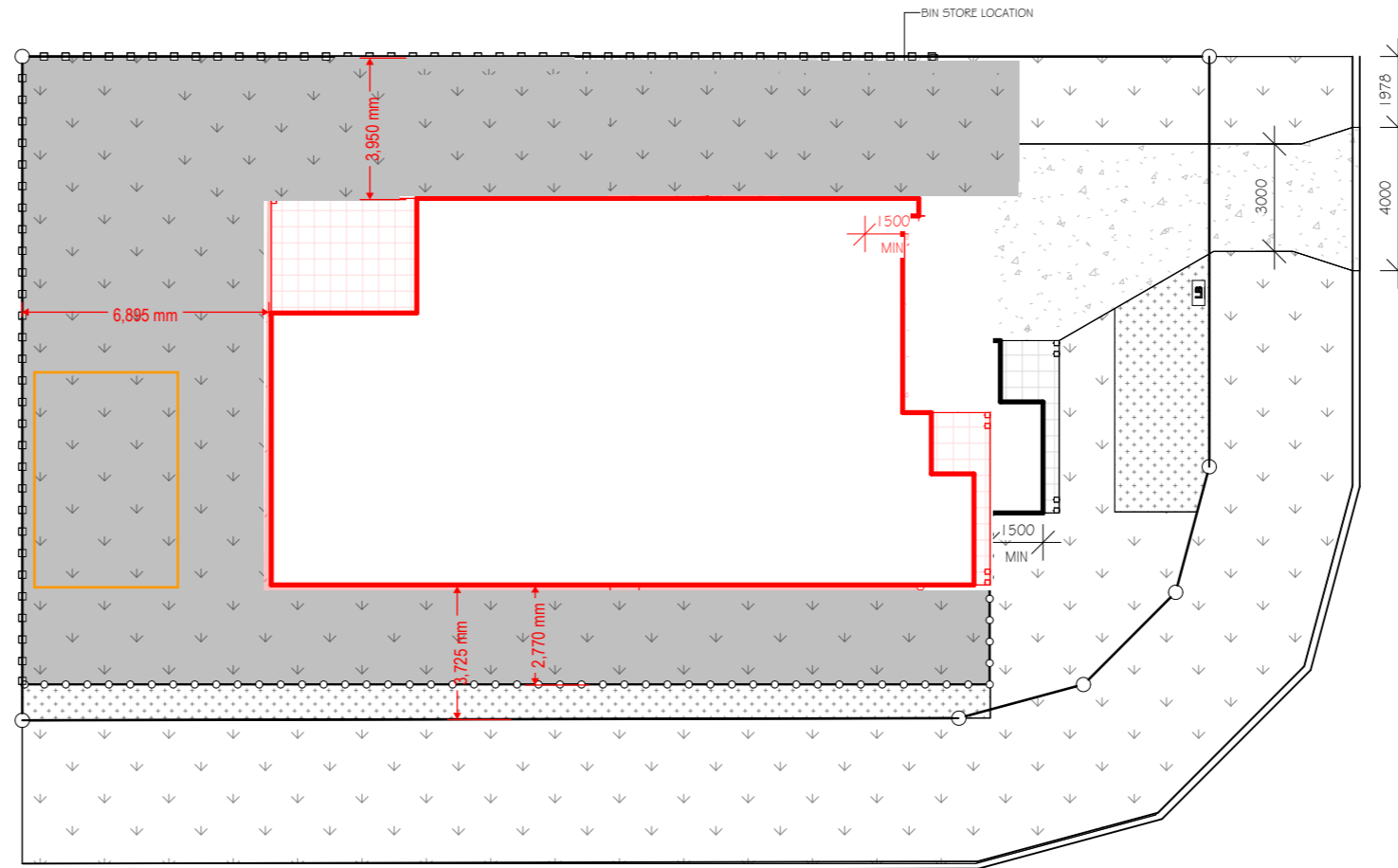
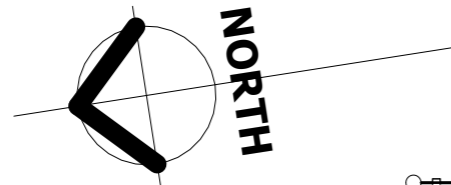
PRELIMINARY PLANS  
 OWNER SIGNATURE.....  
 BUILDER SIGNATURE.....  
 SHEET: 6

LANDSCAPE SCHEDULE		
DESCRIPTION	AREA	
GARDEN BED WITH TIMBER EDGE AND BARK MULCH	43 m <sup>2</sup>	
'A' GRADE WINTERGREEN COUCH GRASS	244 m <sup>2</sup>	
RIVER PEBBLES (BY OWNER)	32 m <sup>2</sup>	
'A' GRADE WINTERGREEN COUCH GRASS (BY OWNER)	241 m <sup>2</sup>	

PLANT SCHEDULE	
NATIVE PLANTING (GARDEN BED 42m2)	
No.	SIZE
3	100L (POT SIZE) TREES
3	45L (POT SIZE) TREES
12	300mm DIA (POT SIZE) SHRUBS
25	200mm DIA (POT SIZE) PLANTS
40	140mm DIA (POT SIZE) PLANTS

NOTE: PLANT SPECIES ARE SUBJECT TO AVAILABILITY.

CONCRETE AREAS		
DESCRIPTION	AREA	LOCATION
EXPOSED AGGREGATE	44.9 m <sup>2</sup>	DRIVEWAY
	44.9 m <sup>2</sup>	
STRUCTURAL PLAIN GREY CONCRETE	0.6 m <sup>2</sup>	HWS
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	17.2 m <sup>2</sup>	



FENCING BY OWNER AFTER HANDOVER

FENCE SCHEDULE				
TYPE	LENGTH	LOCATION	BY	
MAX 1.8m HIGH PAINTED TIMBER PALINGS IN A COLOUR TO MATCH THE DWELLING	31.77 m	SECONDARY FRONTAGE INCLUDING SIDE RETURN, GATE AND SIDE STREET BOUNDARY	OWNER	
MAX 1.8m HIGH TIMBER PALING CONSTRUCTION	43.90 m	SIDE AND REAR BOUNDARIES	OWNER	
TOTAL LENGTH	75.66 m			

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