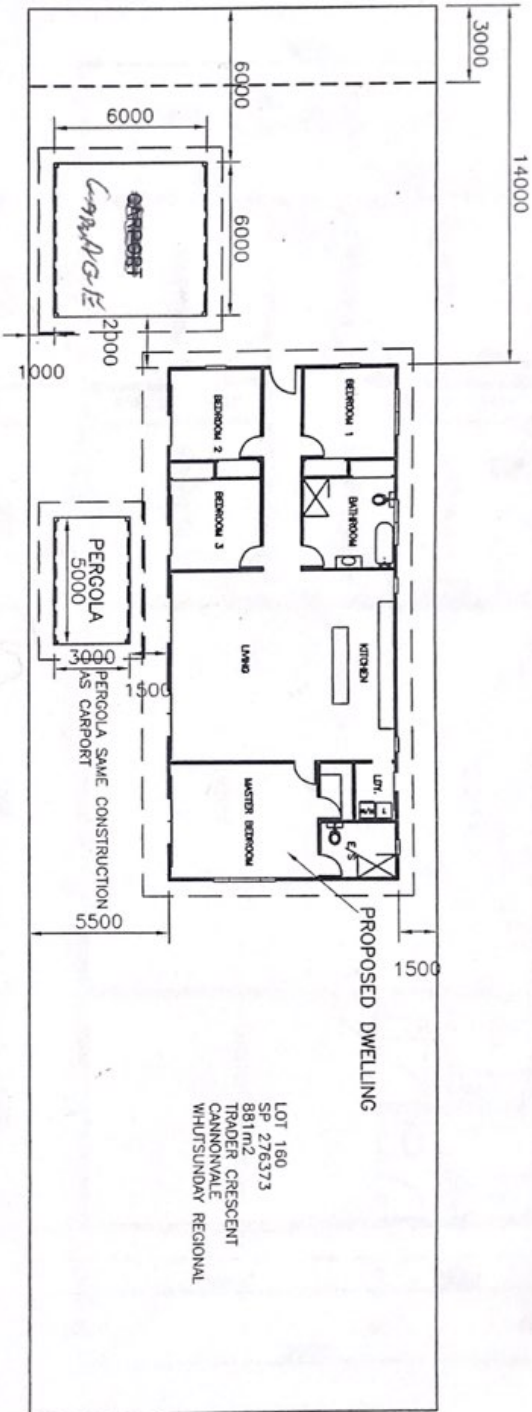


LOT. 160, TRADER STREET, CANNONVALE

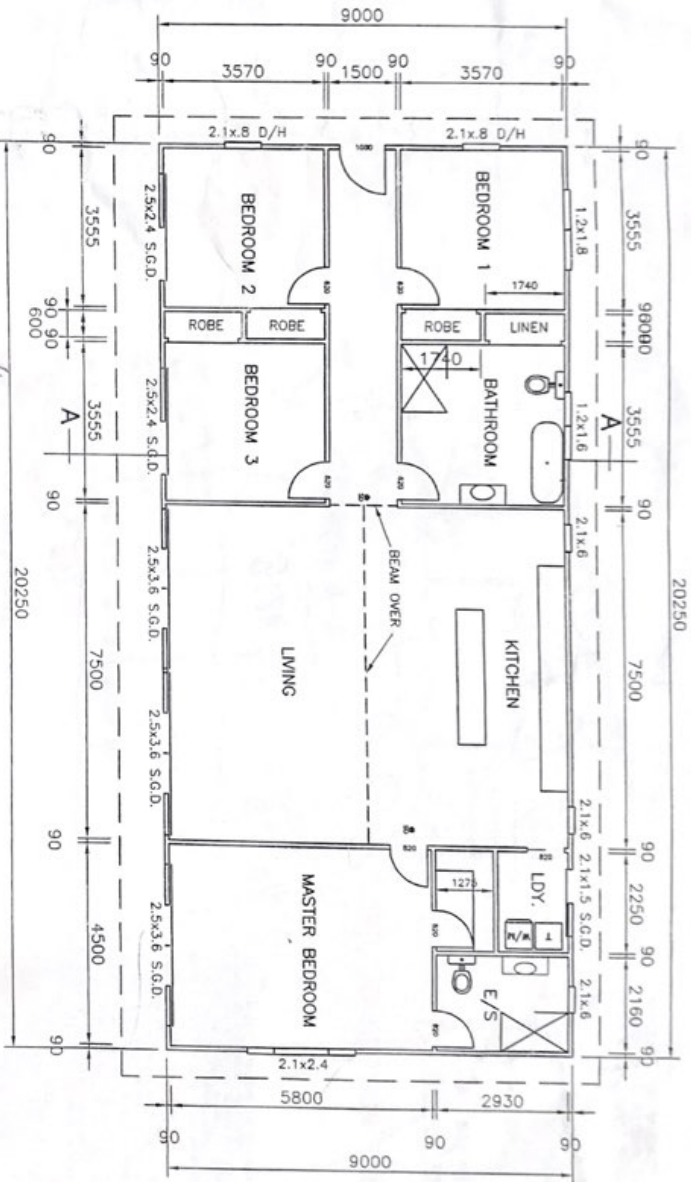


SITE PLAN

GENERAL SCALE, 1:200

**PROPOSED TIMBER FRAMED DWELLING & GARAGE FOR
D. DAHEWY, LOT 160, TRADER CRESCENT, CANNONVALE.**

NOTE:
ALL MEASUREMENTS, LEVELS TO BE THOROUGHLY CHECKED
BEFORE CONSTRUCTION COMMENCES, PLEASE DO NOT
SCALE OFF PLANS, IF IN DOUBT, PLEASE CHECK OR ASK
FOR ALL FOOTINGS, WIND LOADING DETAILS & BEAMS SEE
ENGINEER'S REPORT OR PLANS ATTACHED
SET OUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR
MARCH, 2018, P.J. DOUGHERTY, 11 BANKSIA STREET, GRAYTON, 2460. PHONE: 0266424521. MOBILE: 0437 424521. EMAIL ADDRESS: peter@pddrafting.com.au



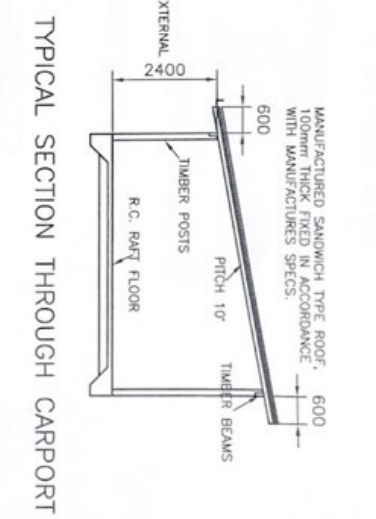
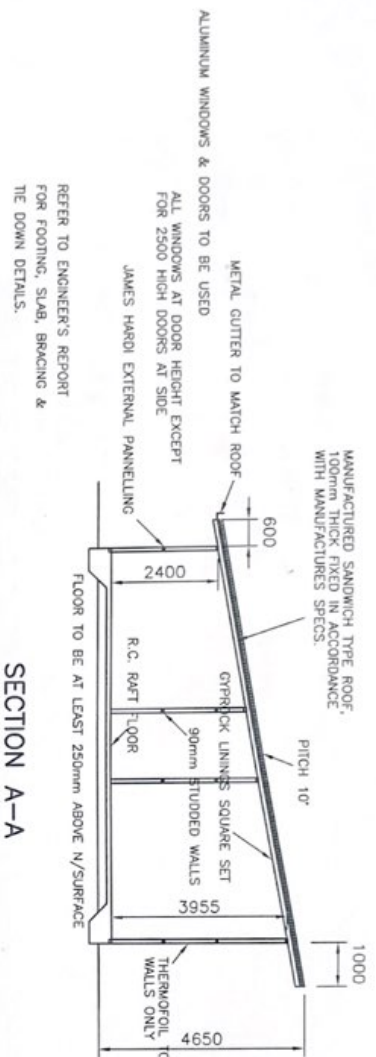
FLOOR PLAN
GENERAL SCALE, 1:100

PROPOSED TIMBER FRAMED DWELLING & GARAGE FOR
N. HEWITSON, LOT 160, TRADER CRESCENT, CANNONVALE.

NOTE:
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MARCH, 2018, P.J. DOUGHERTY, 11 BANNSIA STREET, GRAFTON. 2460. PHONE: 0286424821. MOBILE: 0437 424521. EMAIL: ADDRESS, peter@pddrafting.com.au

SHEET 2

Handwritten notes and calculations:
72 DRIVE
B2 SLAB
6x2.4
3240
30
90
7.935
37.5
0.0115
0.0115



- GENERAL NOTES**
- TIMBER FRAMED DWELLING
 - EAVES AS SHOWN
 - 10° PITCH
 - CONC. RAFT FLOOR
 - CEILING HEIGHT 2.44m AT LOW SIDE
- LEGEND**
- SMOKE DETECTOR
 - TO COMPLY WITH AS3786
 - CONNECT TO CONSUMER MAINS
 - T-TRIPLE IN CEILING
 - C-CARPET
 - DP-DOWN PIPE
 - FW FLOOR WASTE
- VENTILATION NOTES**
- PROVIDE EXHAUST FAN IN E/SUITE & BATHROOM
 - KITCHEN CANOPY TO BE VENTED THROUGH ROOF
- TOTAL AREAS**
- LIVING 182.25m²
 - CARPORT 36m²

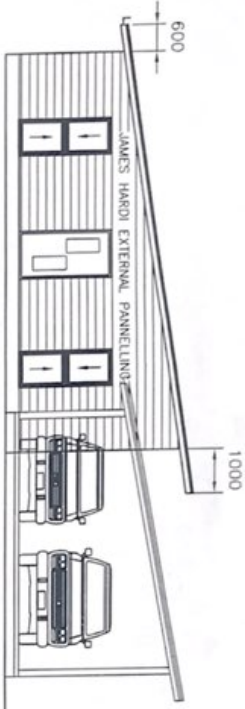
- BASIC REQUIREMENTS**
- SITE AREA: 1336m²
 - ROOF AREA: 267m²
 - SUMMARY OF BASIC COMMITMENTS
 - WATER COMMITMENTS:
 - FIXTURES
 - 5000 ROUND PLASTIC WATER TANK CONNECTED TO LDY, WC's & 1 OUTSIDE TAP
 - ENERGY COMMITMENTS
 - 3 SPLIT PHASE SQUAR HOT WATER SYSTEM
 - CEILING FANS
 - SPLIT AIR CONDITIONER
 - SINGLE PHASE POWER
 - NO HEATER
 - EXHAUST FANS TO B/ROOM & ENSUITE
 - GAS COOK TOP
 - OTHER COMMITMENTS
 - INDUSTRIAL DOOR CLOTHES LINE
 - WELL VENTED FRIDGE AREA
 - DOUBLE GLAZED CLASS TO ALL WINDOWS

- NOTES**
- ENGINEER'S DETAIL FOR SITE CLASSIFICATION, CONCRETE FLOORS, FOOTINGS & STEEL BEAMS AS REQUIRED
 - SEE FRAMES & TRUSSES DESIGN FOR ROOF TRUSS LAYOUT, BRACING & CONNECTIONS TO BE MADE TO EXISTING WALLS
 - PROVIDE TRANSPARENT THERMATE PROTECTION TO PENETRATION, CRACKS & PERIMETER THERMATE PROTECTION TO BE IN ACCORDANCE WITH MANUFACTURERS' THERMATE RISK MANAGEMENT TO BE IN ACCORDANCE WITH MANUFACTURERS' THERMATE RISK MANAGEMENT
 - PROVIDE WET AREA PROTECTION TO BATHROOM, ENSUITE & LAUNDRY IN ACCORDANCE WITH BCA VOL 2 Pt 3.6.1
 - INSTALL A SOLAR HOT WATER SPLIT SYSTEM WITH ELECTRIC BOOST
 - FINISHED FLOOR LEVEL EXCLUDING CARPORT TO BE A MINIMUM 250mm ABOVE GROUND LEVEL
 - ALL WET AREAS TO BE PROVIDED IN ACCORDANCE WITH AS3740/BCA 3.6.1
 - ROOF & SURFACE WATERS TO BE DISPOSED TO ROAD OR DRAINAGE EXCEPTS
 - SMOKE ALARMS TO AS3786 & BSA3723, CONNECTED TO MAINS POWER WITH BATTERY BACK UP TO AS3786
 - ALUMINUM WINDOWS AND DOORS TO AS2047
 - THERMATE PROTECTION TO AS3760
 - BLINDS TO PROVIDE ENERGY EFFICIENT GLAZING IN ACCORDANCE WITH ENERGY EFFICIENT GLAZING AS3760
 - FLOORING TO BE IN ACCORDANCE WITH AS3740/BCA 3.6.1
 - TIMBER WORK TO COMPLY TO AS1824 & BSA 81.3
 - EXTERNAL TIMBER FRAME 90x35
 - TIMBER CHAIR RIS
 - TIMBER CHAIR RIS TO BE SET PAVED TO SLAB AT 900 CENTRES
 - REFER TO ENGINEER'S DETAIL FOR BRACING TO ENGINEERS DETAIL

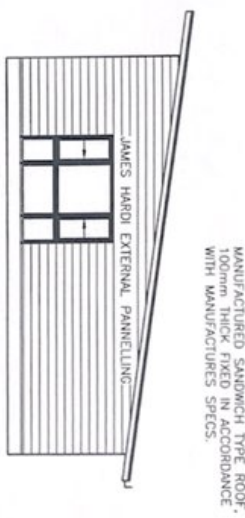
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PROPOSED TIMBER FRAMED DWELLING & GARAGE FOR
N. HEWITSON, LOT 160, TRADER CRESCENT, CANNONVALE.
SHEET 3

MARCH, 2018, P.J. DOUGHERTY, 11 BANNSIA STREET, GRAFTON, 2460. PHONE: 0266424521. MOBILE: 0437 424521. EMAIL ADDRESS: peter@pddrafting.com.au

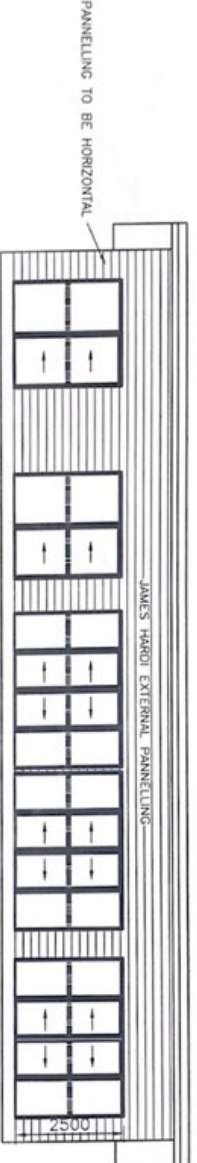


FRONT ELEVATION

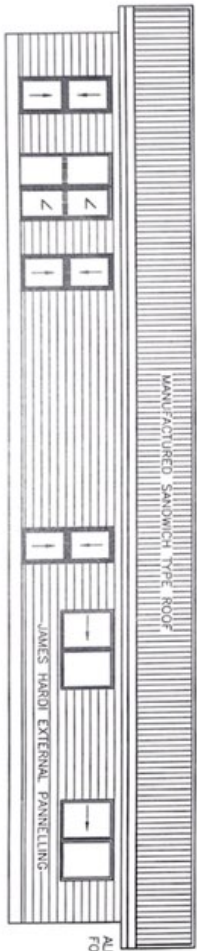


BACK ELEVATION

MANUFACTURED SANDWICH TYPE ROOF.
100mm THICK FIBRE IN ACCORDANCE
WITH MANUFACTURES SPECS.



SOUTHERN ELEVATION



NORTHERN ELEVATION

PROPOSED TIMBER FRAMED DWELLING & GARAGE FOR
N. HEWITSON, LOT 160, TRADER CRESCENT, CANNONVALE.

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BRACING FOR DIRECTION A

CODE	No.	TYPE	LENGTH (m)	UNIT	VALUE	TOTAL VALUE (kN)
A1	6	PLY	0.9	5.2	4.6	27.6
A2	2	PLY	1.5	5.2	7.8	15.6
A3	3	PLY	1.8	5.2	9.3	27.9
A4	1	PLY	2.7	5.2	14.0	14.0
A5	1	PLY	3.6	5.2	18.7	18.7

RESISTANCE PROVIDED: 102.5 kN

BRACING FOR DIRECTION B

CODE	No.	TYPE	LENGTH (m)	UNIT	VALUE	TOTAL VALUE (kN)
B1	3	PLY	0.5	5.2	2.6	7.8
B2	5	PLY	0.6	5.2	3.1	15.5
B3	6	PLY	0.9	5.2	4.6	27.6
B4	1	PLY	1.2	5.2	6.2	6.2
B5	2	PLY	1.8	5.2	9.3	18.6

RESISTANCE PROVIDED: 54.5 kN

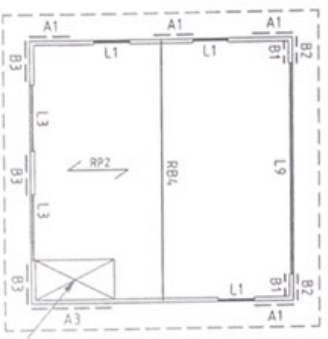
NOTE:

- POSTS EXTERNAL TO STRUCTURE TO BE LATERALLY BRACED BACK TO HOUSE PROPER VIA FLOOR OR CEILING DAMP-BACK. DIAGONAL STRAP BRACING AT THIS LEVEL MAY BE REQUIRED IF SATISFACTION IS NOT PRESENT TO CREATE REQUIRED STIFFNESS.
- IF TIMBER WITH A JOINT GROUP OF JO5 IS USED FOR THE WALL FRAME, A BRACING CAPACITY REDUCTION OF 72.5% APPLIES. NOMINAL PLASTERBOARD BRACING TO PROVIDE THE ADDITIONAL RESISTANCE REQUIRED.
- REFER DRAWINGS S03 FOR BRACING DETAILS.
- PLY HAS MARKED ON PLAIN PLY BRACING INSTALLED TO INCREASE STIFFNESS OF STRUCTURE. NOMINAL CAPACITY GIVEN DUE TO LIMITED SIZE OF BRACED WALL.
- DOUBLE SIZED BRACING WALLS TO HAVE ADDITIONAL D/4 THE DOWN AT ALL LOCATIONS.

$A = 102.5 \text{ kN}$

$B = 54.5 \text{ kN}$

WIND CLASSIFICATION: C2
PER SECTION 8 OF AS1686.3 - 2010



ROOF PANEL SCHEDULE

MK NO.	MEMBER	COMMENT
RP1	175mm Deltalath	ROOF PANEL - MAX 3000 SPAN
RP2	100mm Deltalath	ROOF PANEL - MAX 3200 SPAN
RP3	175mm Deltalath	ROOF PANEL - MAX 2900 SPAN

NOTE:
1. REFER DWG. S05 FOR FIXING DETAILS.

MEMBER SCHEDULE

MK NO.	MEMBER	COMMENT
RB1	360x85 GLTTC	4/90x35 HIGP12 STUDS UNDER IN FRAME**
RB2	360x85 GLTTC	4/90x35 HIGP12 STUDS UNDER IN FRAME**
RB3	290x65 GLTTC	2/90x35 HIGP12 STUDS UNDER IN FRAME**
RB4	290x65 GLTTC	2/90x35 HIGP12 STUDS UNDER IN FRAME**
RB5	260x65 GLTTC	2/90x35 HIGP12 STUDS UNDER IN FRAME**
SC1	89SH56.0 C30 MIN.	STEEL COLUMN-REFER TYPICAL DETAILS
TC1	150x150 HMD.	2/90x35 HIGP12 STUDS TO HEAVY DUTY POST ANCHOR CAST INTO SLAB/FOOTING COLUMN MIN. FTL

NOTE:

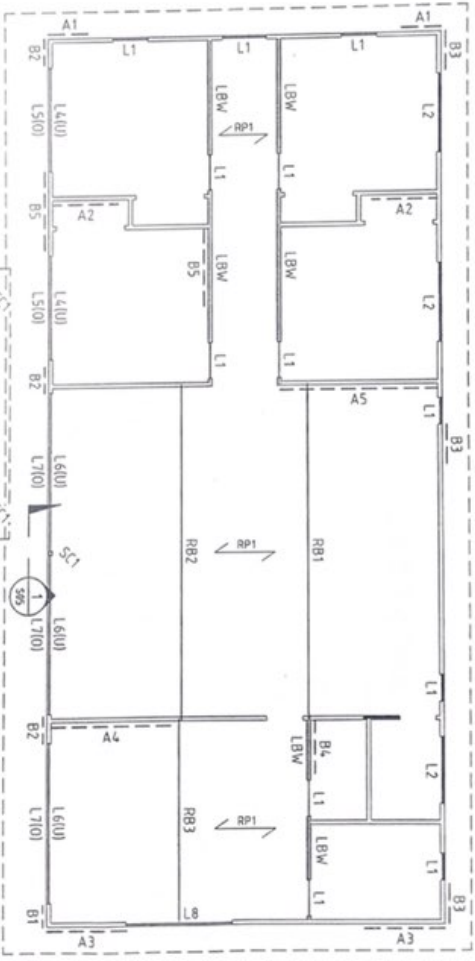
- LBW: LOAD BEARING WALL UNDER - ALL EXTERNAL WALLS LBW UNO.
- 1/2HZ ROD OFFSET TO SLAB MIN 10 DBED
- 2/2HZ RODS OFFSET TO SLAB MIN 10 DBED

(L) LINTEL & JAMB STUD SCHEDULE

SPAN	MEMBER	JAMB STUDS (E/END)
L1	160x35 HIGP12	2/90x35 HIGP12
L2	160x35 HIGP12	3/90x35 HIGP12
L3	190x35 HIGP12	4/90x35 HIGP12
L4(L)	240x25.1 LV15	5/90x35 HIGP12
L5(L)	150x58 LV15	5/90x35 HIGP12
L6(L)	290x85 GLTTC	SC1 / 5/90x45 HIGP12
L7(L)	190x65 GLTTC	SC1 / 5/90x45 HIGP12
L8	200x58 LV15	4/90x35 HIGP12
L9	300x25.1 LV15	5/90x35 HIGP12

NOTE:

- LINTELS SHALL BE HIGP12 UNLESS SHOWN OTHERWISE.
- REFER WALL FRAMING SCHEDULE DRAWING S02 FOR JAMB STUD AND NON-LOAD BEARING LINTEL HEAD TRIMMER TRIMMER GRADE / SIZE WHERE NO OF JAMB STUDS IS EQUAL OR GREATER THAN 3. BRACE MIN 2 UNDER EACH END OF LINTEL FOR SLITCHED END BEARING.



APPROX. AREA TO INCLUDE PROVISION FOR SHOWER, TOILET AND BASIN LOCATIONS TO BE WITH ARCHITECT/ BUILDER

WALL BRACING AND FRAMING PLAN

SCALE 1:100



5/21 COAST DRIVE
SUITE 307/1 LAKE OHR DRIVE
VANDERLY LAKES QLD 4227
PO BOX 2028 TOOWONG QLD 4066
PHONE: (07) 5544 8558 FAX: (07) 5875 2783
EMAIL: gordon@staconsulting.com.au

DESIGN: NORMAN HEWITSON
PROJECT: LOT 160 (No.27) TRADER CRESCENT
CANNONVALE QLD

DRAWN: WALL BRACING AND FRAMING PLAN
SHEET NO: S04
DATE: 4/5/20

DECISION NOTICE APPROVAL

PLANNING ACT 2016

BUILDING DEVELOPMENT PERMIT NO: 20180689

Assessment Manager: WHITSUNDAY REGIONAL COUNCIL
Contact Person: Alan Kelly
Description of Work: Dwelling & Garage
Classification: CLASS 1A & 10A
Site Address of Property: 27 Trader Crescent, CANNONVALE 4802
Real Property Description: L: 160 SP: 276373
Local Government Area: WHITSUNDAY REGIONAL COUNCIL
Date of Decision: MONDAY, 25 JUNE 2018

1. APPLICANT DETAILS

Applicant Name: N Hewitson
Postal Address: 7 Grace Avenue, CANNONVALE QLD 4802

2. PROPERTY OWNER

Owner Name: N Hewitson
Postal Address: 7 Grace Avenue, CANNONVALE QLD 4802

3. APPROVAL DETAILS

Approval is given to commence the above listed *Building Work* in accordance with the *Planning Act 2016* (as amended). The above development application was approved in full with conditions that are set out in Attachment 1 – 'Conditions of Approval'. These conditions are clearly identified to indicate whether the assessment manager or a concurrence agency imposed them. *

APPROVAL TYPE	DEVELOPMENT PERMIT	PRELIMINARY APPROVAL
Carrying out building work (<i>assessable under the Building Act 1975</i>)	20180689	

4. FURTHER DEVELOPMENT PERMITS AND COMPLIANCE PERMITS REQUIRED

The following development permits and/or compliance permits are required to allow the building work to be carried out:

COMPLIANCE PERMIT



Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the Building Act 1975 and/or section 46 of the Building Regulation 2006.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

27 Trader Crescent

CANNONVALE QLD

Postcode 4802

Lot and plan details (attach list if necessary)

Lot 160

In which local government area is the land situated?

Whitsunday Regional Council



2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Single Storey Residence including:

Wall Bracing, Wall Framing, Roof Framing (excl. trusses), Tie Down, and Roof Panels.

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

AS 1170.0, AS 1170.1, AS 1170.2, AS 1684, AS 1720, Delta Panel Design Manual.

Wind rating c2

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

PDDRAFTING drawings, sheets 1-4 received on 17/04/18

STA Job No. CE164631-G DWGs. No. S01-S05 Rev 0

5. Building certifier reference number

Building certifier reference number

N/A

6. Competent person details

A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect.

If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help.

If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.

Name (in full)

Grant Rosbrook

Company name (if applicable)

STA Consulting Engineers

Contact person

Grant Rosbrook

Phone no. (business hours) Mobile no.

5522 1995

Fax no.

55221776

Email address

grant.rosbrook@staconsulting.com.au

Postal address

Suite 302/1 Lake Orr Drive, Varsity Lakes

QLD

Postcode 4227

Licence or registration number (if applicable)

RPEQ 10567

7. Signature of competent person

This certificate must be signed by the individual assessed by the building certifier as competent.

Signature

Handwritten signature and STA Consulting Engineers logo

Date

Digitally signed by Structural Department DN: c=AU, st=QLD, l=Milton, email=structural.dept@staconsulting.com.au, o=STA Consulting Engineers, cn=STRUCTURAL Department Date: 2018.05.08 18:46:09 +10'00'