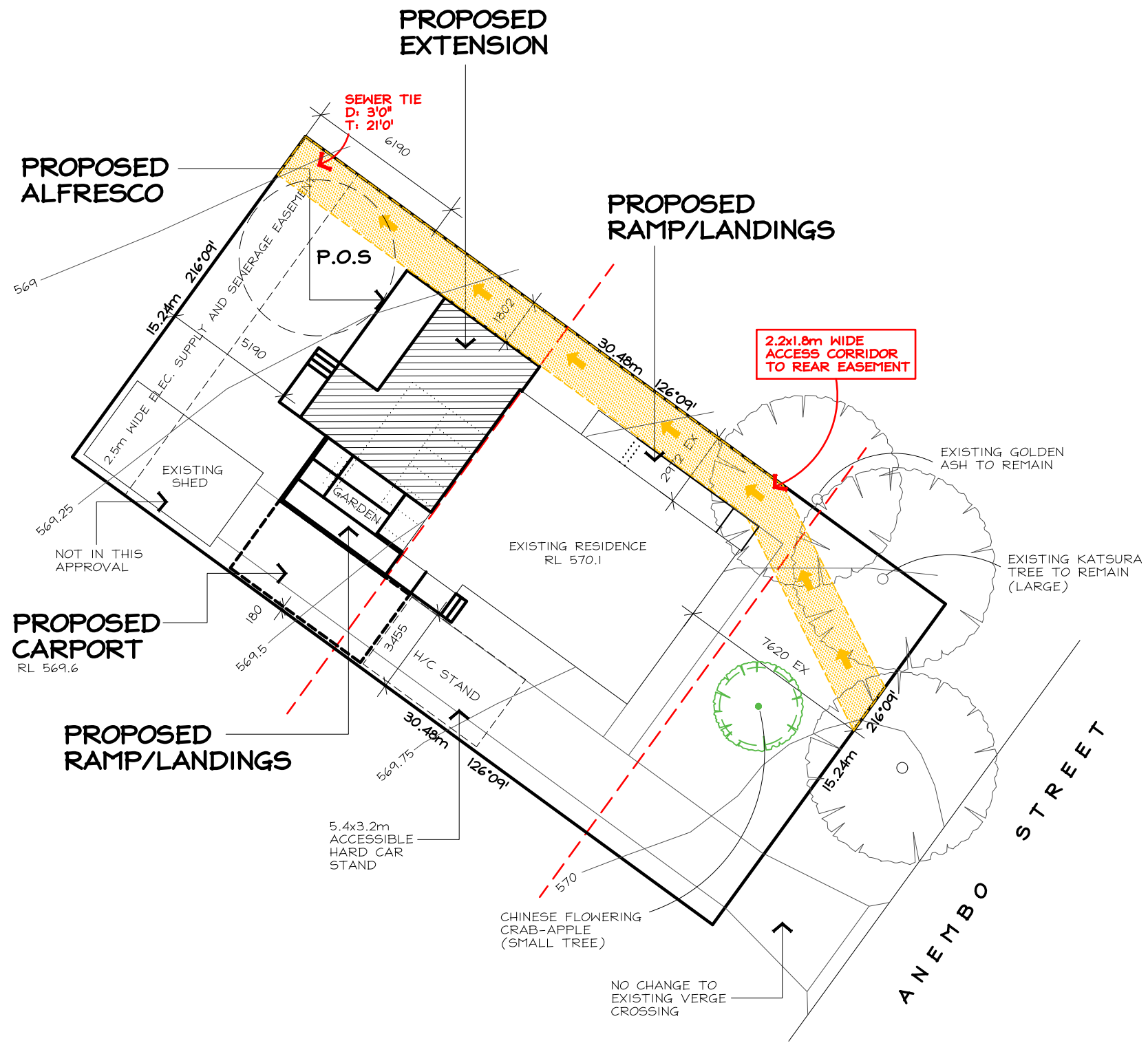


AREAS	
BLOCK AREA:	464m ²
EX. RESIDENCE:	78m ²
EX. SHED:	21m ²
NEW EXTENSION:	35.6m ²
NEW CARPORT:	20.2m ²
TOTAL GFA:	154.8m ²
NEW ALFRESCO:	7.9m ²
P.O.S (185.6m ²):	309.2m ²
PLANTING AREA:	140m ²
SITE COVERAGE:	174.2m ² 37.54%

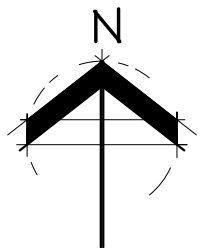


PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 18
SECT: 118 NARRABUNDAH
CLIENT: P & L KOCH of
44 Anembo St Narrabundah



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 SCALE: 1:200 DATE: 26/7/24
 DWG No.: **2447** SHEET: 1 OF 7



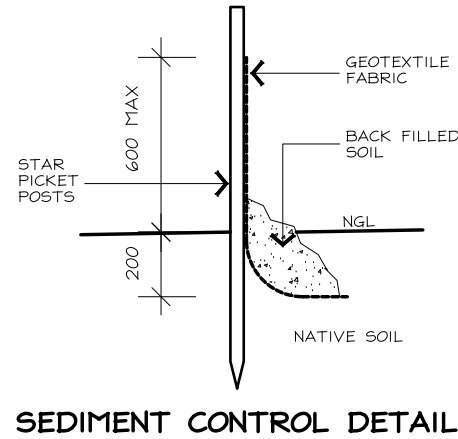
PROPOSED SITE PLAN
 BLOCK: 18
 SECTION: 118
 NARRABUNDAH



CONTOURS DERIVED FROM ACTMAPI

TREE PROTECTION MEASURES:

MULCH:
BEFORE COMMENCING WORK ON THE SITE. INSTALL MULCH TO DEPTH OF 70mm OF WOOD CHIP AND FINES EQUIVALENT TO 'FOREST LITTER'
NEW DRIVEWAY:
THE NEW DRIVEWAY, VERGE CROSSING WITH WITHIN THE TPZ OF THE STREET TREE.
THERE IS TO BE NO LEVELLING OR EXCAVATION OF MORE THAN 100mm DEPTH WITHIN THE TPZ OF TREE 6 FOR NEW DRIVEWAY.
THE DRIVEWAY SHOULD BE 150mm REINFORCED CONCRETE MINIMUM AND IS TO FLOAT OR BRIDGE OVER EXISTING (TO ENGINEER'S DESIGN)
IF TREE ROOTS GREATER THAN 30mm ARE REQUIRED TO BE CUT. A AQF LEVEL 5 ARBORIST IS TO BE CONSULTED. ROOTS MUST BE CLEANLY CUT WITH SHARP, FIT FOR PURPOSE TOOLS. FOR ROOTS LESS THAN 30mm ROOT PROTECTION MEASURES STILL APPLY
AVOID PLACEMENT OF MACHINERY OR THE STOCK PILING OF SPOIL OR CONSTRUCTION MATERIALS WITHIN THE TPZ OF THE STREET TREE
DRIVEWAY REMOVAL IS TO BE DONE BY HAND OR WITHOUT MACHINE ENTRY INTO THE TPZ OF THE STREET TREE. HYDRO-EXCAVATION IS ALLOWED. NO TRENCHING FOR SERVICE CONNECTIONS, EG STORMWATER, SEWER, TELECOMMUNICATIONS CABLING ETC TO BE UNDERTAKEN WITHIN THE TPZ OF THE TREE



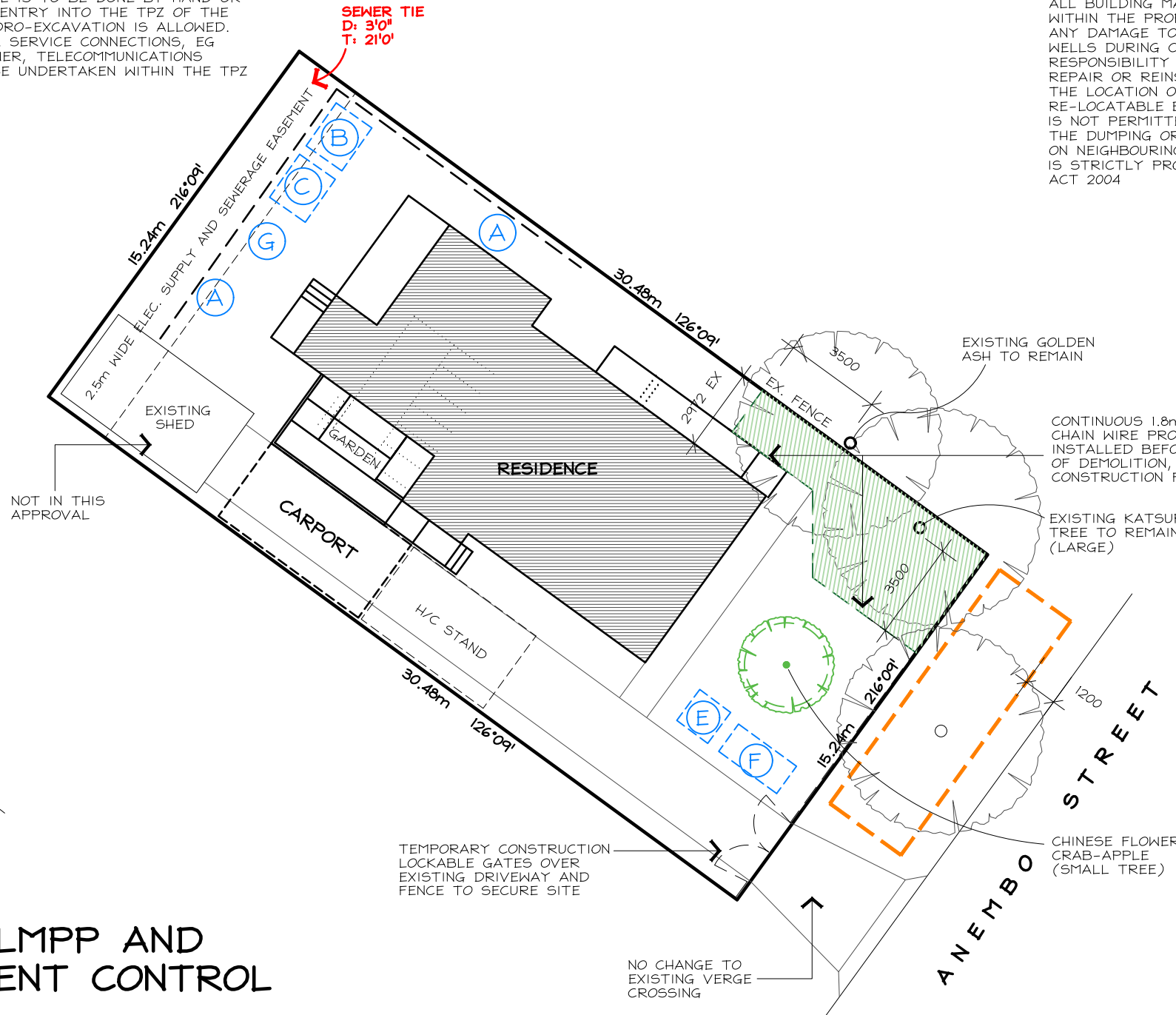
EROSION & SEDIMENT CONTROL PLAN

SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS AND CHECKED DAILY SEDIMENT CONTROLS MUST BE RETAINED UNTIL RE-VEGETATION IS FULLY ESTABLISHED AFTER BUILDING COMPLETION TO COMPLY WITH BEST PRACTICE GUIDELINES TO PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES MARCH 2006. THE DEVELOPER WILL COMPLY WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011. STORMWATER SUMPS TO BE LOCATED ON SITE

DURING SITE DELIVERIES, NEIGHBOURING PROPERTIES AND PUBLIC AREAS MUST BE KEPT CLEAR. ERECT A MINIMUM 1.8m HIGH TEMPORARY SITE FENCE - TO BE PROVIDED TO SECURE YOUR SITE FROM THE TIME OF SETTLEMENT UNTIL THE 'LOCK UP' STAGE. THIS ALSO INCLUDES THE INSTALLATION OF APPROPRIATE SEDIMENT AND EROSION CONTROLS. ALL BUILDING MATERIALS STORED ON SITE MUST BE WITHIN THE PROPERTY BOUNDARY AT ALL TIMES. ANY DAMAGE TO STREET TREES, TREE GUARDS OR WELLS DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO REPAIR OR REINSTATE TO ORIGINAL SPECIFICATIONS. THE LOCATION OF ANY TEMPORARY OF RE-LOCATABLE BUILDING/STRUCTURE IN THE VERGE IS NOT PERMITTED UNDER ACT LAW. THE DUMPING OR STORAGE OF EXCESS EARTHWORKS ON NEIGHBOURING SITES AS WELL AS PUBLIC AREAS IS STRICTLY PROHIBITED AS PER THE A.C.T LITTER ACT 2004

VERGE MANAGEMENT NOTES:

INSTALL 1.8m HIGH CONTINUOUS MESH FENCE SUPPORTED BY 2.4m HIGH STAR METAL POSTS AROUND VERGES AND EXISTING VEGETATION TO BE RETAINED WITHIN THE BLOCK AS SHOWN.
FENCING TO BE ERECTED ON COMMENCEMENT OF SITE WORK AND REMOVED UPON COMPLETION OF CONSTRUCTION AND COMMENCEMENT OF VERGE RESTORATION.
ENSURE ADEQUATE WATER IS APPLIED TO THE ROOT ZONE OF RETAINED VEGETATION THROUGHOUT CONSTRUCTION PERIOD. ALL WORK IS TO BE IN ACCORDANCE WITH THE 'CANBERRA LANDSCAPE AND THE BASIC SPECIFICATION FOR ROAD HYDRAULICS AND LANDSCAPE' - JULY 1991.
MAKE GOOD ANY DAMAGE TO EXISTING GRASS VERGES, REINSTATE AS PER THE BASIC SPECIFICATION.
BUILDER MUST ENSURE THAT ANY DISTURBANCES TO THE VERGE GROUND COVER, TREES, PATHS, KERBS, ROADWAYS OR SERVICES OCCURRING FROM EITHER CONSTRUCTION WORKS OR STORAGE OF MACHINERY/MATERIALS DURING THE CONSTRUCTION WORKS ARE RECTIFIED TO THE SATISFACTION OF RELEVANT AUTHORITIES.
UPON COMPLETION OF CONSTRUCTION, VERGES SHOULD STILL HAVE ESTABLISHED DRYLAND GRASS COVER, TOPSOIL IS NOT TO BE REMOVED AND LEVELS NOT TO BE CHANGED.
SEDIMENT CONTROLS MUST BE IN PLACE PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS AND CHECKED DAILY SEDIMENT CONTROLS MUST BE RETAINED UNTIL RE-VEGETATION IS FULLY ESTABLISHED AFTER BUILDING COMPLETION SEDIMENT EROSION MUST COMPLY WITH BEST PRACTICE GUIDELINES - PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES MARCH 2006.
IF THE STANDARD OF GRASS COVER ON THE VERGE IS TO BE IMPROVED, THE FOLLOWING REQUIREMENTS APPLY:
LIGHTLY CULTIVATE THE TOIL TO 25-50mm DEPTH (50mm MAX TO MINIMISE DAMAGE TO TREE ROOTS)
CULTIVATE ONLY IN ONE DIRECTION, AVOID MAJOR ROOTS AND KEEP A MINIMUM OF 1.0m FROM TREE TRUNK.
NO CAR PARKING OR EQUIPMENT PARKING PERMITTED ON VERGE CONTOURS PER DEVELOPERS DRAFT CONTOURS ONLY LEVELS TO BE VERIFIED BY A REGISTERED SURVEYOR
ADD 'B' TYPE SOIL AT 25-50mm DEPTH LEVEL THE TOP SOIL AND ADD NPK FERTILISER (EQUIVALENT TO MULTIGRO) AT 40G/M².
LAY TURF OR SOW SEED OF SUITABLE DROUGHT TOLERANT SPECIES
AN IN GROUND IRRIGATION SYSTEM WILL NOT BE PERMITTED ON THE VERGE. A SYSTEM OF QUICK COUPLERS AT THE LEASE BOUNDARY EDGE OF THE VERGE MAY BE INSTALLED, SUBJECT TO CANBERRA URBAN PARKS AND PLACES APPROVAL OF THE IRRIGATION PLAN.
ANY DAMAGE THAT OCCURS TO TREES TO BE REPAIRED AT THE BUILDERS EXPENSE. RESTORATIVE WORK IS TO BE APPROVED BY CANBERRA URBAN PARKS AND PLACES AND CARRIED OUT BY QUALIFIED OPERATOR.



NO STORMWATER TIE

- (A) **SEDIMENT CONTROL BARRIER**
INSTALLED ALONG EAST BOUNDARY AND PART OF NORTHERN BOUNDARY AS SHOWN CONTROLS SHOULD ALSO BE PLACED TO PROTECT ANY STORMWATER DRAINS
- (B) **DESIGNATED CUTTING AREA/WASH AREA**
ENSURE ALL WASTEWATER FROM BRICK CUTTING, CONCRETE WORKS, PAINTING, WASHING, ETC DOES NOT ENTER THE SW SYSTEM. ON SITE MIXING OR WASHING SHOULD BE CARRIED OUT IN A DESIGNATED CONTAINED AREA
- (C) **STOCKPILES**
ENSURE ALL BUILDING MATERIAL AND WASTE STOCKPILES ARE CONTAINED AND STORED BEHIND THE SEDIMENT FENCE. IF THERE IS INSUFFICIENT STORAGE CAPACITY FOR BUILDING MATERIALS WITHIN THE SITE, YOU MUST OBTAIN APPROVAL PRIOR TO USING THE NATURE STRIP AREA
- (D) **STABILISED ACCESS POINT/CROSSOVER**
ALL ENTRY/EXIT POINTS MUST BE CONSOLIDATED WITH CRUSHED AGGREGATE (OR SIMILAR), EXTENDING FROM THE ROAD KERB TO THE BUILDING LINE. ROADS MUST BE KEPT CLEAN AT ALL TIMES
- (E) **LOCATION OF PORTABLE TOILET**
NOT TO BE LOCATED ON VERGES AND POSITIONED ON BLOCK WHERE WASTE REMOVAL TRUCKS CAN ACCESS
- (F) **RUBBISH ENCLOSURE**
SKIP BIN/RUBBISH ENCLOSURE LOCATION
- (G) **WASHDOWN AREA**

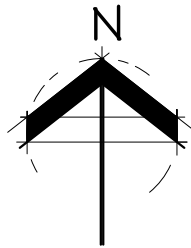
PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 18
SECT: 118 NARRABUNDAH
CLIENT: P & L KOCH of
44 Anembo St Narrabundah



ABN: 41659868194

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TMP, LMPP AND SEDIMENT CONTROL PLAN

BLOCK: 18
SECTION: 118
NARRABUNDAH

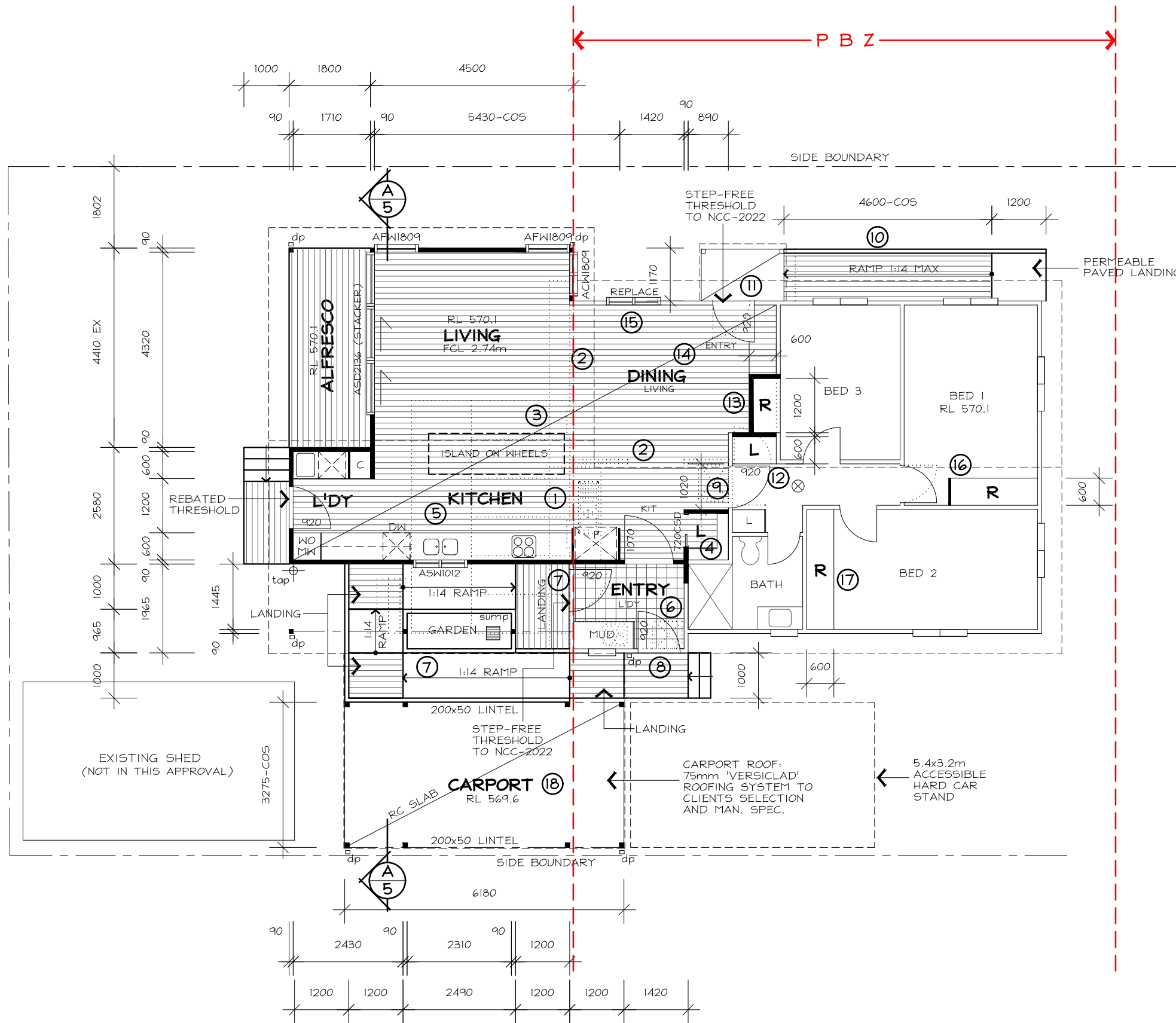


EXISTING RESIDENCE:

- EXISTING SINGLE GLAZED TIMBER WINDOWS/DOORS
- EXISTING TIMBER FLOOR - NO INSULATION
- EXISTING STUDFRAMED WALLS - NO INSULATION
- EXISTING CEILING: R3 INSULATION

ALTERATIONS

- 1 DEMOLISH EX. KITCHEN FITOUT AND REMOVE ASBESTOS (BY LICENSED CONTRACTOR). RELOCATE KITCHEN AND DRAINAGE INTO EXTENSION AS SHOWN AND MAKE GOOD.
- 2 REMOVE EX. WALLS AND RESUPPORT (IF REQ'D) TO ENG. SPEC. AND NCC. MAKE GOOD TO FCL
- 3 REMOVE EXTERNAL GABLE END STEEL FRAMED WALL AND EXTEND AS SHOWN. MATCH EXISTING FLOOR LEVEL AND CEILING HEIGHT AND CONSTRUCT AS PER SECTION. RELOCATE EX. P.O.E TO EVO-ENERGY REGULATIONS.
- 4 DEMOLISH EX. PANTRY CUPBOARD AND BUILD NEW LINEN PRESS JOINERY TO CLIENTS DIRECTION. MAKE GOOD
- 5 DEMOLISH EX. DECK AND PERGOLA
- 6 DEMOLISH EXISTING L'DRY AND CREATE NEW ENTRY AS SHOWN. NEW DOORWAYS TO BE 920mm WIDE AS NOTED WITH ACCESSIBLE THRESHOLD TO NCC. TILED FLOOR TO CLIENTS SELECTION.
- 7 CONSTRUCT STEP FREE ACCESS ENTRY WITH 1:14 MAX TIMBER FRAMED RAMPS AND LANDINGS (LEVEL) AS NOTED AND TO NCC. DECK SURFACE GAPS NO GREATER THAN 8mm.
- 8 NEW 920 DOOR, DECK AND STAIRS AS SHOWN
- 9 DEMOLISH EX. WALL AND FORM NEW 920 DOOR AS SHOWN. REDUCE EX. LINEN AS REQ'D. MAKE GOOD
- 10 PROVIDE 1:14 TIMBER RAMP TO EX. LANDING - TO NCC
- 11 REMOVE EX. DOOR, WIDEN OPENING AND PROVIDE NEW 920 DOOR AS SELECTED. PROVIDE REBATED THRESHOLD TO NCC AND PACK UP PORCH FFL TO MATCH RESIDENCE FFL TO NCC
- 12 CONSTRUCT NEW LINEN PRESS ACCESSIBLE VIA ORIGINAL HALLWAY DOOR. FITOUT TO CLIENTS DIRECTION
- 13 DEMOLISH EX. WALL AND CONSTRUCT NEW ROBE AS SHOWN AND TO CLIENTS DIRECTION. MAKE GOOD
- 14 RESURFACE FLOORING TO ENTIRE LIVING/KITCHEN AREA AS SHOWN AND TO CLIENTS DIRECTION
- 15 REMOVE EX. WINDOW AND REPLACE WITH NEW AL. PC DG UNIT TO EX. REVEALS (COS AND WORK TO EXISTING)
- 16 RESWING DOOR AND INSTALL NEW ROBE TO CLIENTS DIRECTION (TO FCL)
- 17 INSTALL NEW ROBE FITOUT TO FCL TO CLIENTS DIRECTION
- 18 BUILD NEW CARPORT AS SHOWN AND AS PER SECTION A-A



PROPOSED EXTENSION AND ALTERATIONS TO:
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44 Anembo St Narrabundah



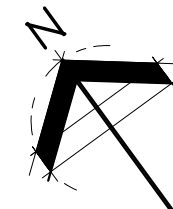
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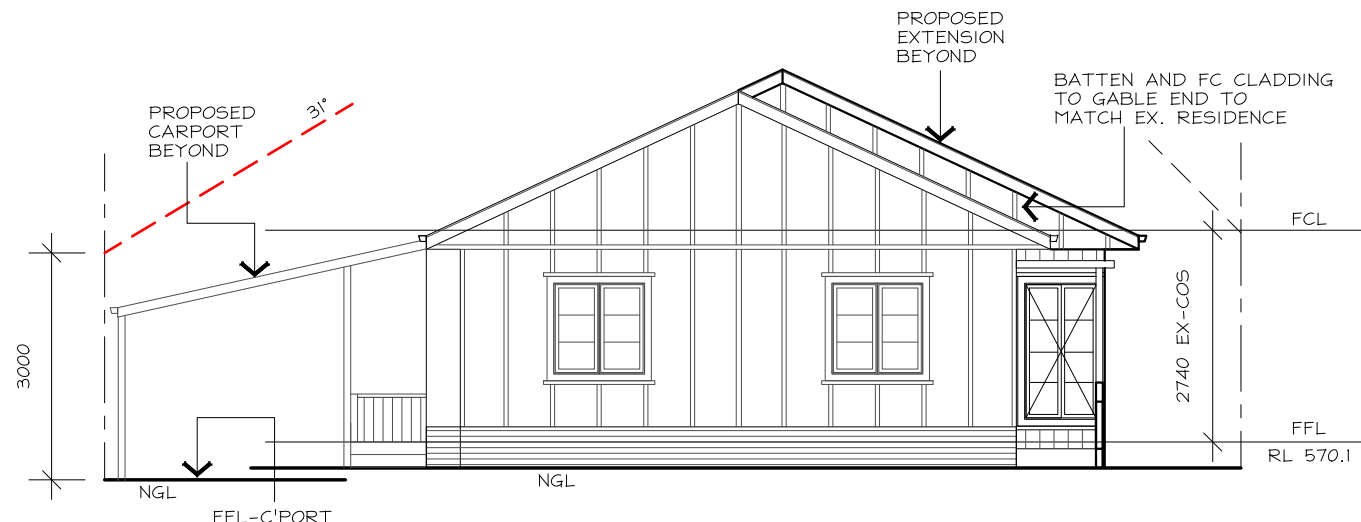


FLOOR PLAN

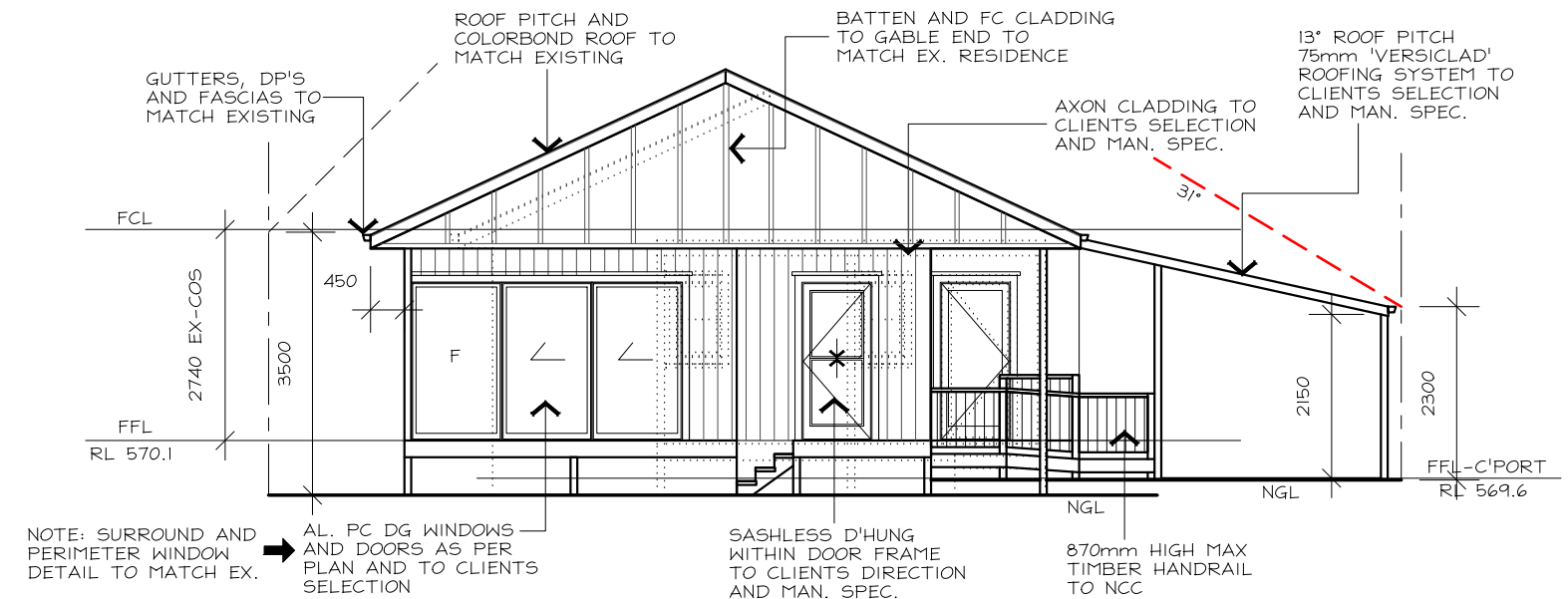
⊗ = SMOKE ALARM

ENSURE STAIR NOSING STRIP SLIP RESISTANCE CLASSIFICATION P3 - INDOORS AND P4 - OUTDOORS

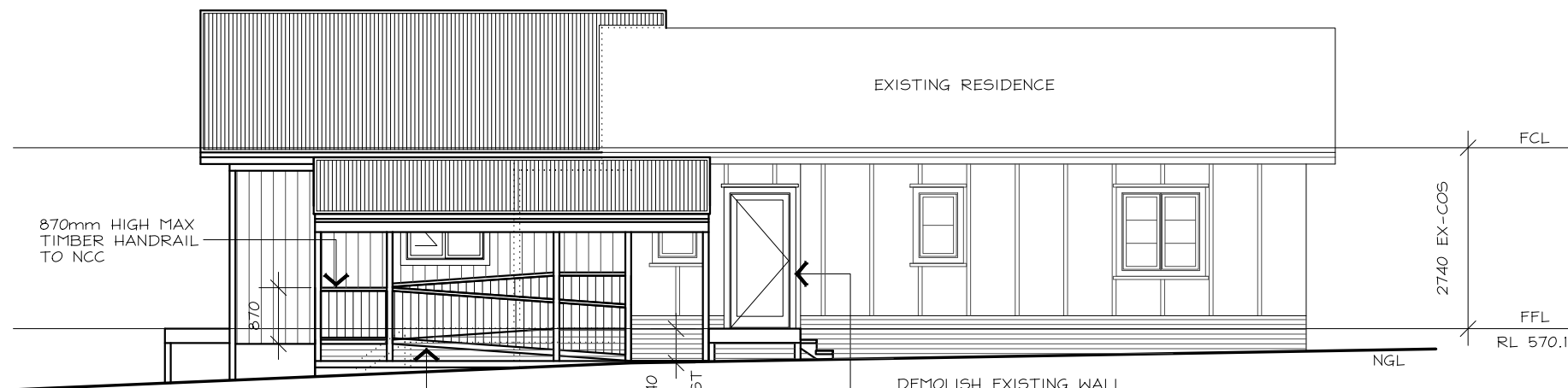
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 DWG No.: **2447** SHEET: 3 OF 7



EAST (STREET) ELEVATION



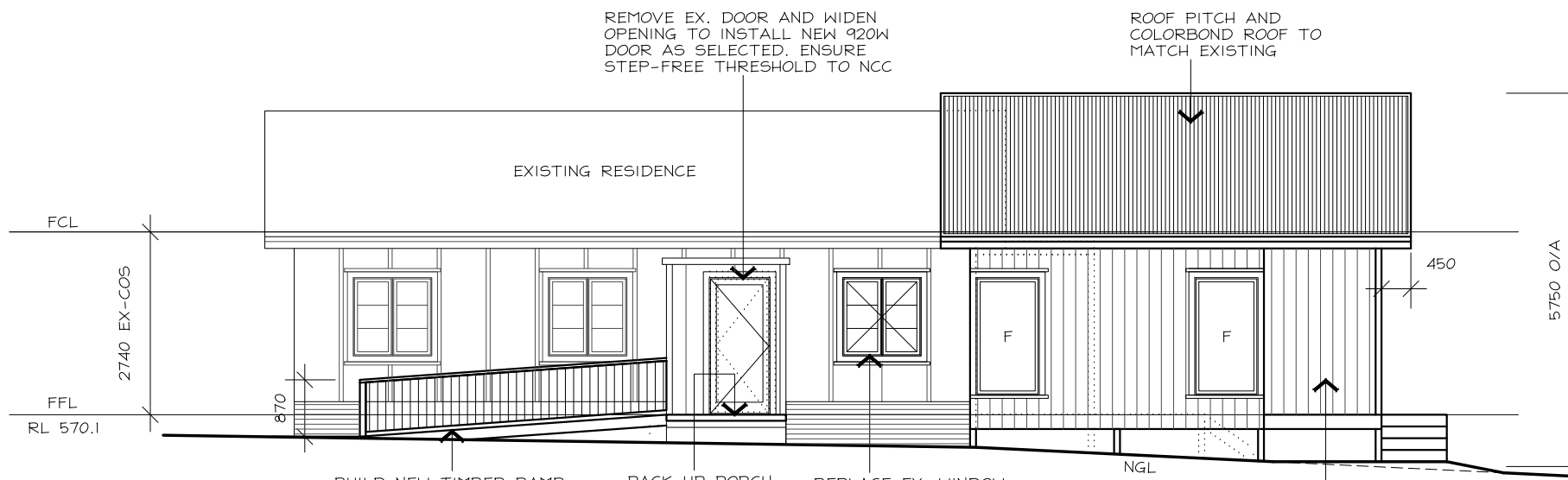
WEST ELEVATION



SOUTH ELEVATION

GROUND LINES SHOWN ARE ACCURATELY DEPICTED AS MEASURED ON SITE

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 18
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NORTH ELEVATION



CARMODY by DESIGN

ABN: 41659868194

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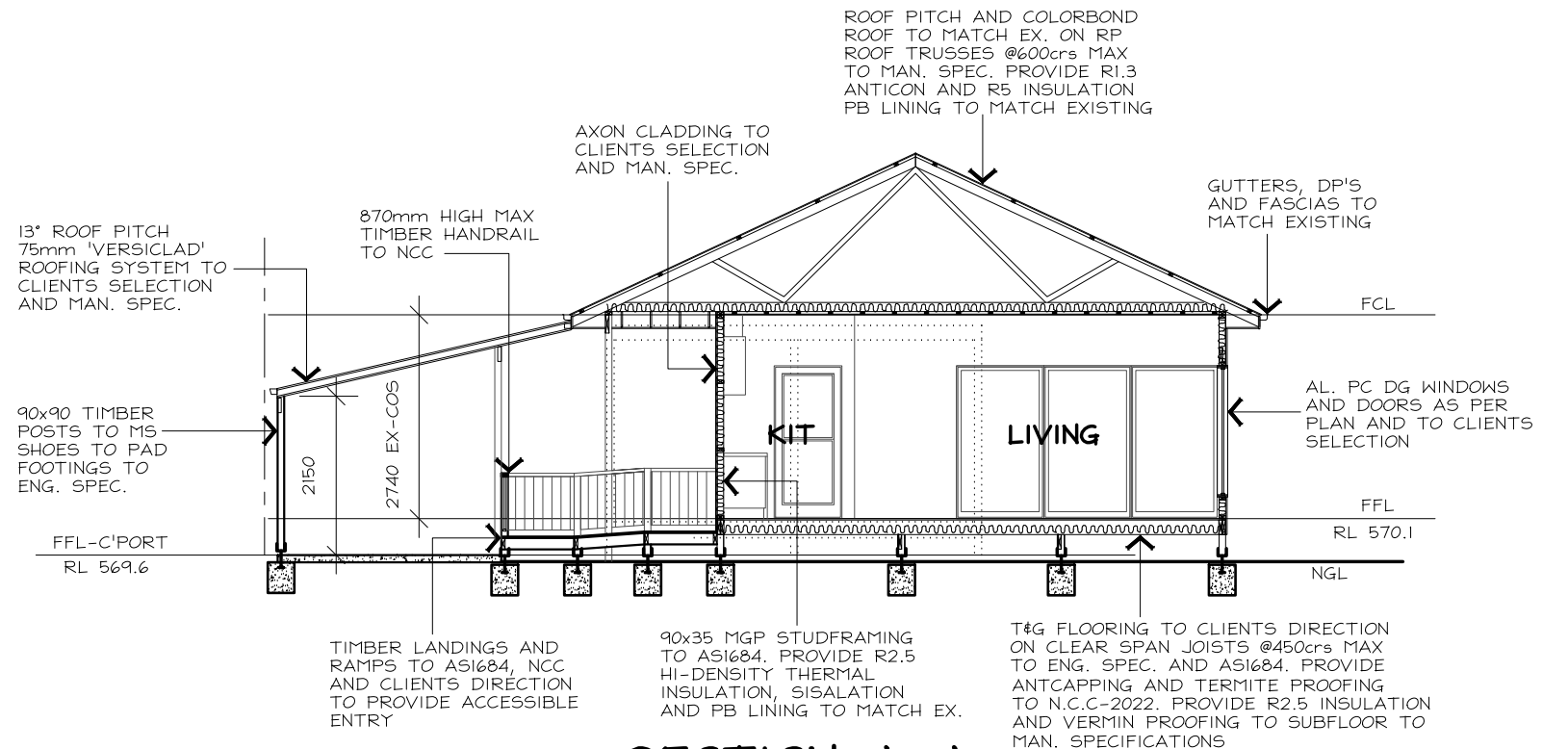
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SECTION A-A

• ENSURE CONSISTENT FCL AND FFL WITH EXISTING

SECTION NOTES:

- ALL STRUCTURAL AND NON-STRUCTURAL TIMBER TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE ASI684
- ALL STRUCTURAL STEEL COLUMNS, POST, BEAMS ALL TO BE CERTIFIED AND DESIGNED BY STRUCTURAL ENGINEER.
- PAD FOOTINGS TO COMPLY WITH ENGINEER'S SPEC. AND AS2870-2011
- PROVIDE ANT-CAPPING AND TERMITE PROTECTION TO MAN. SPECIFICATIONS AND N.C.C-2022
- PROVIDE 90x35 MGP OR 90x45 MGP STUDS AS REQUIRED TO ASI684 AND/OR TO MAN. SPECIFICATIONS.
- BRACING AS PER N.C.C-2022 AND ENGINEER'S SPEC.
- PLASTERBOARD AND FC LININGS TO INTERNAL WALLS AND CEILINGS AS REQUIRED
- PRE-FABRICATED ROOF TRUSSES AS PER MAN. SPEC.
- LINTELS AS PER TRUSS MANUFACTURERS CHARTS AND ENGINEER'S SPECIFICATIONS
- ALL INSULATION AS PER ATTACHED EER
- ALL EXTERNAL SWING DOORS AND INTERNAL ACCESS DOORS TO BE FULLY SEALED
- WINDOW SPECIFICATIONS AS PER ATTACHED EER
- ROOF AND EXTERNAL WALL MATERIALS AS NOTED ON ELEVATIONS/SECTION.
- ALL EAVES AND GUTTERS TO BE COLORBOND QUAD GUTTERING, INSTALLED TO MANUFACTURER'S SPECIFICATIONS.
- ALL ROOFING AND BATTEN SPACINGS TO BE INSTALLED TO MAN. SPECIFICATIONS AND N.C.C-2022
- PROVIDE PAINTED FC SHEET LININGS TO ALL EAVES
- EAVES OVERHANG AS DIMENSIONED ON ELEVATIONS AND SECTION DIAGRAM
- MECHANICAL VENTILATION DUCTED TO EXTERIOR TO COMPLY WITH N.C.C-2022
- SHOWER SCREENS AND WET AREA GLAZING TOUGHENED GLASS AS PER N.C.C-2022
- FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH N.C.C-2022

PROPOSED EXTENSION AND ALTERATIONS TO:

BLOCK: 18

SECT: 118 NARRABUNDAH

CLIENT: P & L KOCH of
44 Anembo St Narrabundah



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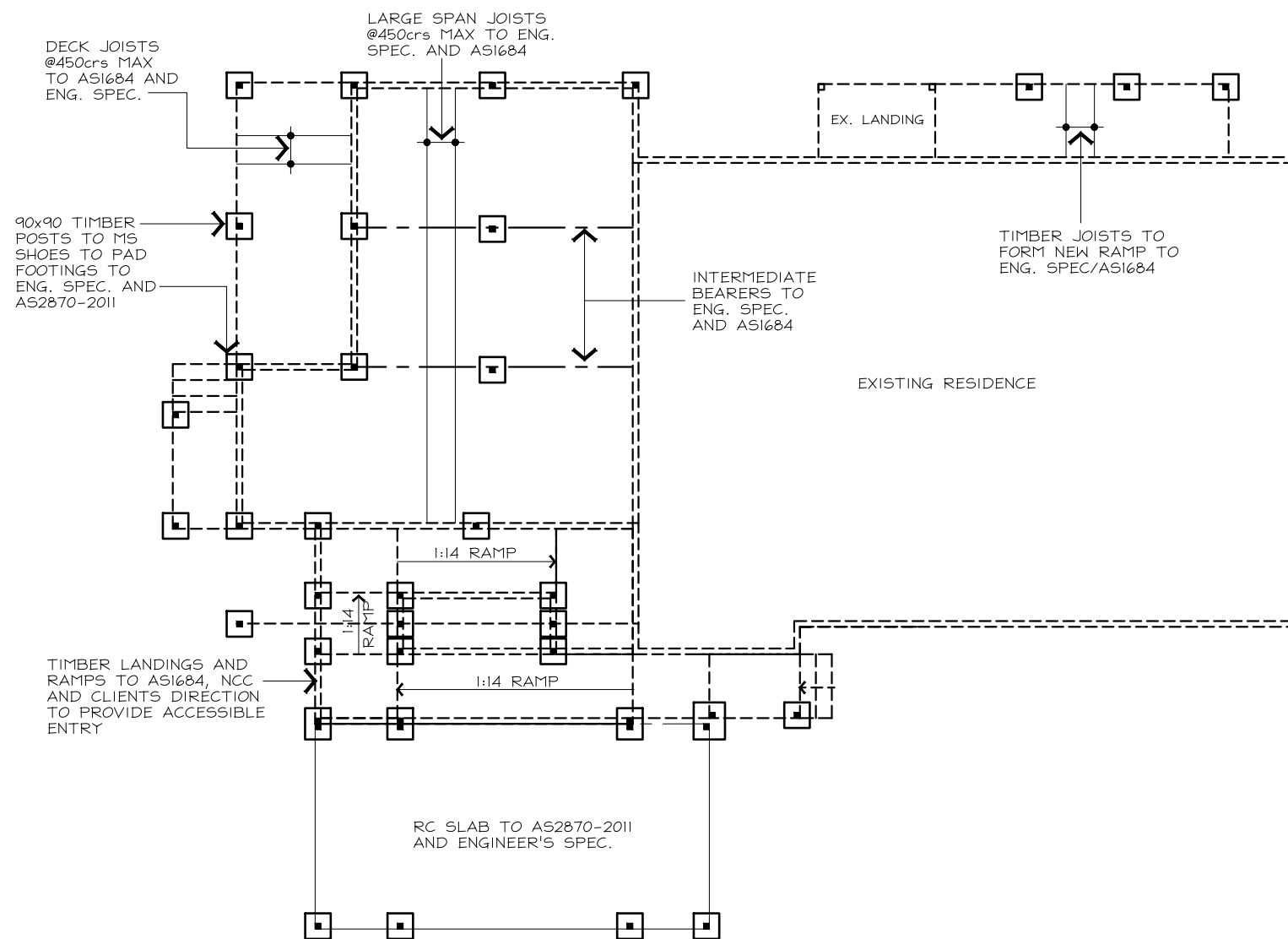
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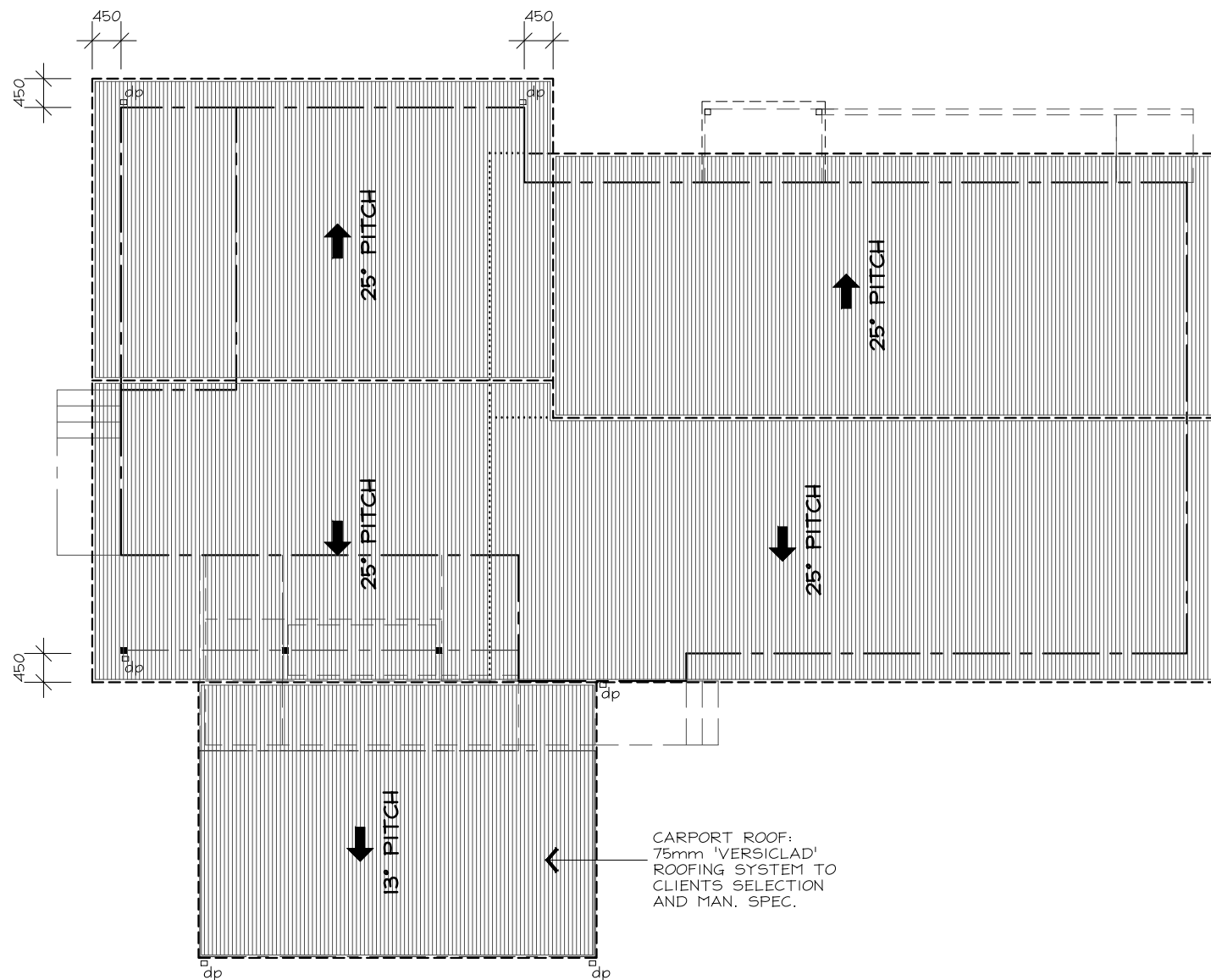
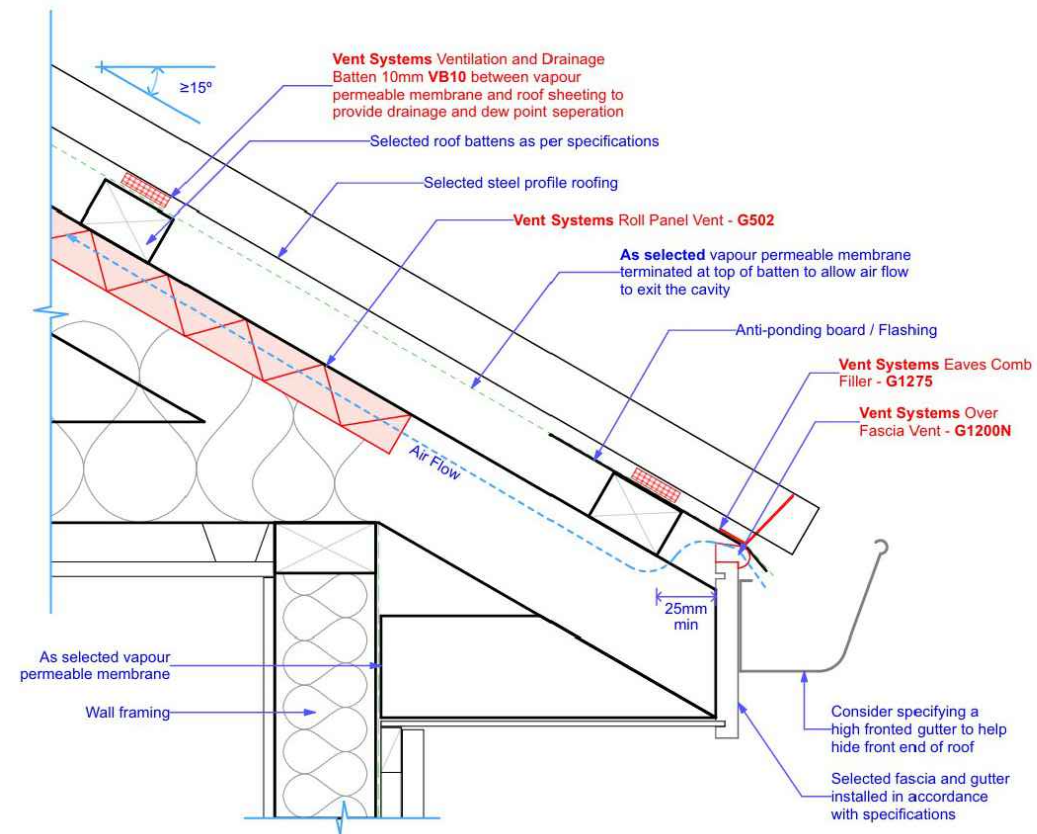
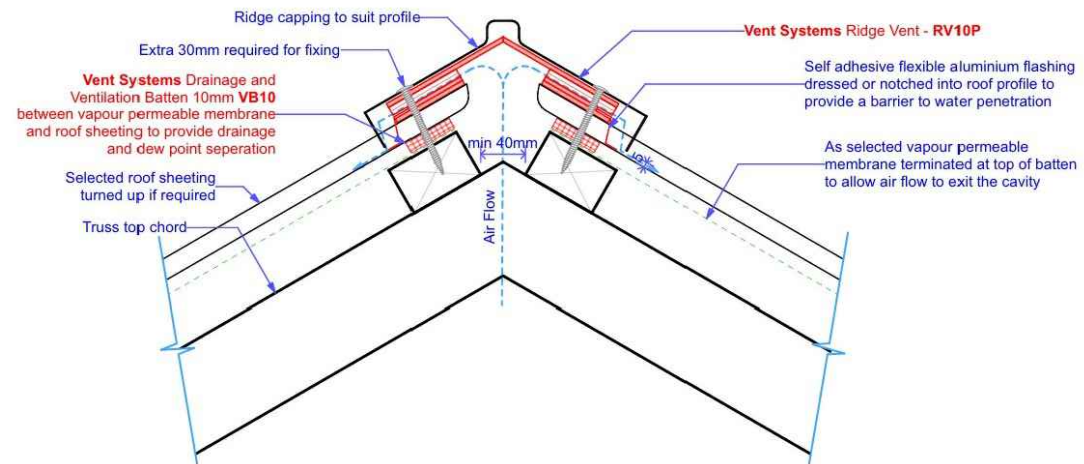
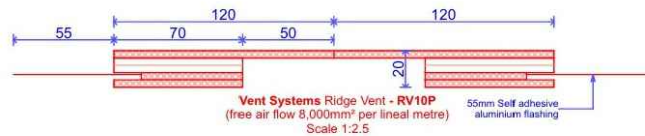
DWN: A.KWONG G.CARMODY

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DWG No.: 2447 SHEET: 5 OF 7



FLOOR FRAMING/FOOTING PLAN



ROOF PLAN

NOTE: ROOF PITCH TO MATCH EXISTING RESIDENCE (25° - CHECK ON SITE)

PROPOSED EXTENSION AND ALTERATIONS TO:
BLOCK: 18
SECT: 118 NARRABUNDAH
CLIENT: P & L KOCH



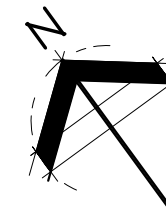
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DWG No.: **2447** SHEET: 6 OF 7

WATERPROOFING NOTES:

• WATERPROOFING DETAILS/CONSTRUCTION NOTES TO COMPLY WITH EITHER AS3740:2021 OR THE 2022 ABCB HOUSING PROVISIONS, PART 10.2

SHOWER AREAS:
 ENCLOSED AND UNENCLOSED (INCLUDING SHOWER OVER BATH) MUST CONSIDER THE FOLLOWING:
 FLOOR OF THE SHOWER AREA MUST BE WATERPROOF - INCLUDING ANY HOB OR STEP DOWN.
 WALLS TO BE WATERPROOF TO NOT LESS THAN 1800mm ABOVE FINISHED FLOOR LEVEL AND WATERPROOF NOT LESS THAN 150mm ABOVE FLOOR SUBSTRATE; OR NOT LESS THAN 25mm ABOVE MAXIMUM RETAINED WATER LEVEL; AND
 WALL JUNCTIONS AND JOINTS TO BE WATERPROOF NOT LESS THAN 40mm EITHER SIDE OF THE JUNCTION.
 WALL/FLOOR JUNCTIONS TO BE WATERPROOF.
 PENETRATIONS TO BE WATERPROOF - PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING

OUTSIDE SHOWER AREAS:
 FLOOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING MUST BE WATER RESISTANT.
 TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS MUST BE WATERPROOF.
 WALL/FLOOR JUNCTIONS MUST BE WATERPROOF.
 BATHROOM ENTRY TO BE WATERPROOF MIN 25mm ABOVE FINISHED FLOOR SURFACE.
 THE DOORWAY WATERSTOP REQUIRES THE BASE TO BE SEALED TO FLOOR AND UPSTAND FLUSH WITH FINISHED FLOOR SURFACE

AREAS ADJACENT TO BATHS AND SPAS (VESSEL):
 FLOOR CONCRETE, COMPRESSED FIBRE-CEMENT AND FIBRE-CEMENT SHEET - MUST BE WATERPROOF.
 TIMBER FLOOR INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER TIMBER-BASED FLOORING MATERIALS - MUST BE WATERPROOF.
 WALLS WATERPROOF TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL. ALL EXPOSED SURFACES BELOW VESSEL LIP - MUST BE WATER RESISTANT.
 WALL JUNCTIONS AND JOINTS TO BE WATERPROOF WHEN LOCATED WITHIN 150mm ABOVE A VESSEL FOR THE EXTENT OF THE VESSEL.
 WALL/FLOOR JUNCTIONS TO BE WATERPROOF FOR THE EXTENT OF THE VESSEL.
 PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
 PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING

INSERTED BATHS AND SPAS:
 FLOOR WATERPROOF SHELF AREA, INCORPORATING WATERSTOP UNDER THE BATH LIP.
 WALL TO BE WATERPROOF TO NOT LESS THAN 150mm ABOVE THE LIP OF THE BATH OR SPA; AND
 NO REQUIREMENT UNDER BATH.
 WALL JUNCTIONS AND JOINTS WITHIN 150mm ABOVE BATH OR SPA; AND NO REQUIREMENT UNDER BATH.
 PENETRATIONS TAP AND SPOUT PENETRATIONS TO BE WATERPROOF WHERE THEY OCCUR IN HORIZONTAL SURFACES.
 PROTECTION CAPS MUST BE REMOVED PRIOR TO WATERPROOFING - ALL TO N.C.C

LAUNDRIES AND WC's:
 FLOOR REQUIRED TO BE WATERPROOF.
 WALL/FLOOR JUNCTIONS REQUIRED TO BE WATERPROOF.

WALLS ADJOINING SINK, BASIN OR LAUNDRY TUB (VESSEL):
 WALLS TO BE WATER RESISTANT TO A HEIGHT OF NOT LESS THAN 150mm ABOVE THE VESSEL, FOR THE EXTENT OF THE VESSEL, WHERE THE VESSEL IS WITHIN 75mm OF A WALL.
 WALL JUNCTIONS WATERPROOF WHERE A VESSEL IS FIXED TO A WALL.
 PENETRATIONS WATERPROOF WHERE THEY OCCUR IN SURFACES REQUIRED TO BE WATERPROOF OR WATER RESISTANT.

MATERIALS - WATERPROOF:
 THE FOLLOWING MATERIALS USED IN WATERPROOFING SYSTEMS ARE DEEMED TO BE WATERPROOF:
 STAINLESS STEEL
 FLEXIBLE WATERPROOF SHEET FLOORING MATERIAL WITH WATERPROOF JOINTS
 MEMBRANES COMPLYING WITH AS/NZS4858
 WATERPROOF SEALANT

MATERIALS - WATER RESISTANT SUBSTRATES:
 THE FOLLOWING MATERIALS ARE DEEMED TO BE WATER RESISTANT:
 FOR WALLS:
 CONCRETE COMPLYING WITH AS3600, TREATED TO RESIST MOISTURE MOVEMENT.
 CEMENT RENDER, TREATED TO RESIST MOISTURE MOVEMENT.
 COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2
 WATER RESISTANT PLASTERBOARD SHEETING.
 MASONRY IN ACCORDANCE WITH AS3700, TREATED TO RESISTANT MOISTURE MOVEMENT.

FOR FLOORS:
 CONCRETE COMPLYING WITH AS3600.
 CONCRETE SLABS COMPLYING WITH AS2870.
 COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS/NZS 2908.2 AND SUPPORTED ON A STRUCTURAL FLOOR.

MATERIALS - WATER RESISTANT SURFACE MATERIALS
 THE FOLLOWING SURFACE MATERIALS ARE DEEMED TO BE WATER RESISTANT:
 FOR WALLS:
 THERMOSETTING LAMINATE.
 PRE-DECORATED COMPRESSED FIBRE-CEMENT SHEETING MANUFACTURED IN ACCORDANCE WITH AS2908.2
 TILES WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEMS.
 WATER RESISTANT FLEXIBLE SHEET WALL MATERIAL WITH SEALED JOINTS WHEN USED IN CONJUNCTIONS WITH A COMPLIANT SUBSTRATE SYSTEM.
 SANITARY GRADE ACRYLIC LININGS.

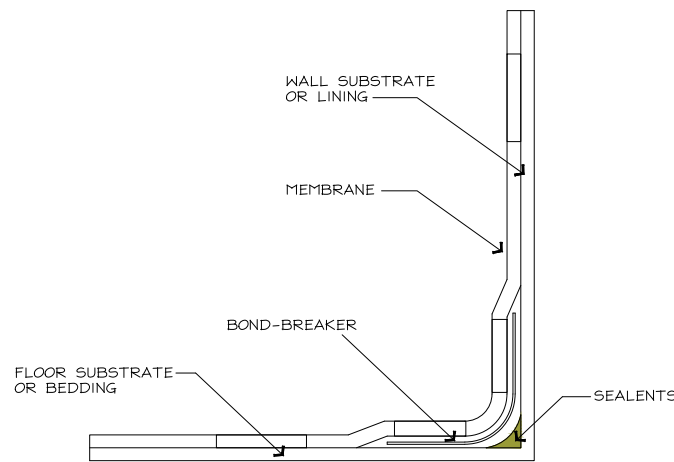
RECOMMENDATIONS:
 IT IS RECOMMENDED BUILDING CERTIFIERS ENSURE ADEQUATE DOCUMENTATION IS SUBMITTED WITH THE BUILDING APPROVAL AS REQUIRED UNDER BUILDING ACT 2004 SECTION 29A AND SECTION 151 - MINIMUM DOCUMENTATION REQUIREMENTS FOR BUILDING LODGEMENT CLASS 1 & 10 - RESIDENTIAL CONSTRUCTION.
 BUILDERS SHOULD SUPERVISE AND INSPECT WATERPROOFING TO ENSURE COMPLIANCE PRIOR TO PROCEEDING TO TILING AND FITOUT.
 ENFORCEMENT ACTION:
 WHERE IDENTIFIED, INSUFFICIENT OR INCORRECT WATERPROOFING OF WET AREAS AND LACK OF DOCUMENTATION MAY RESULT IN THE ISSUANCE OF A STOP WORK NOTICE IN ACCORDANCE WITH SECTION 53 OF THE BUILDING ACT 2004, AND FORMAL LICENCING ACTION INCLUDING ISSUING OF DEMERIT POINTS IN ACCORDANCE WITH SECTION 55 OF THE CONSTRUCTION OCCUPATIONS (LICENSING) ACT 2004.

INSTALLATION:
 INSTALLATION OF THE WATERPROOFING TO THE INTERNAL WET AREAS AND EXTERNAL AREAS TO BE CARRIED OUT IN ACCORDANCE WITH AUSTRALIAN STANDARD 3740-2021 AND THE N.C.C-2022 - PART H4 (HEALTH AND AMENITY)
 THE PRODUCT USED COMPLIED WITH AS/NZS 4654.1:2012.
 THE INSTALLATION IS IN ACCORDANCE WITH AS/NZS 4654.2:2012

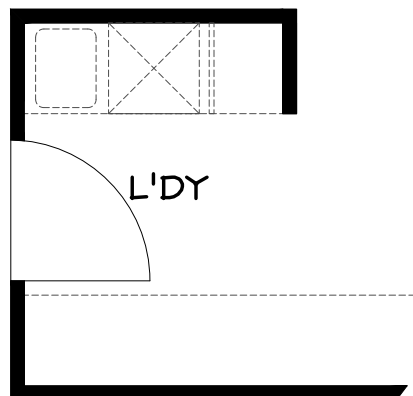
WATERPROOFING PRODUCT OR COMPOUND USED:.....

FILLET AND BOND BREAKER USED:.....

NUMBER OF COATS APPLIED:.....



TYPICAL BOND BREAKER - CLASS II



GENERAL NOTES: (WHERE APPLICABLE)

ALL LEVELS, SITE CUTS, GROUND LEVELS, FFL'S TO BE CONFIRMED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS (INCLUDING DRIVEWAY LEVELS)

ANY DISCREPANCIES TO BE DIRECTED TO BUILDER AND/OR DESIGNER IMMEDIATELY

INCLUSIONS LIST TO TAKE PRECEDENCE OVER DRAWINGS

CARRY OUT ALL WORK IN COMPLIANCE WITH THE RELEVANT SAA CODES OF PRACTICE IN THE BEST TRADESMAN-LIKE MANNER TO THE APPROVAL OF THE BUILDING CERTIFIER AND AUTHORITIES HAVING JURISDICTION OVER THE WORKS INCLUDING BUT NOT RESTRICTED TO:
 A) ACT GOVERNMENT
 B) NATIONAL CONSTRUCTION CODE OF AUSTRALIA-2022
 C) ACT ELECTRICITY AND WATER
 D) AS1684 TIMBER FRAMING CODE AND AS FURTHER SPEC.
 E) LIVABLE HOUSING DESIGN STANDARD

ALL DIMENSIONS MUST BE VERIFIED ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. USE FIGURED DIMENSIONS ONLY AND DO NOT SCALE OFF THE DRAWING

SURVEYOR TO CONFIRM EASEMENT LOCATIONS PRIOR TO COMMENCEMENT OF ANY WORKS

MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE N.C.C-2022, ALL OTHER RELEVANT CODES AND AUSTRALIAN STANDARDS

PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS - PART 9.5. SMOKE ALARMS MUST BE INTERCONNECTED AND HARDWIRED IN ACCORDANCE WITH AS3786:2014

ALL WINDOWS/GLAZED DOORS TO BE DOUBLE GLAZED ALUMINIUM IMPROVED FRAMES (UNLESS NOTED OTHERWISE) AS PER ATTACHED EER. ALL GLAZING TO AS1288-2006

LIGHTING TO COMPLY PART 10.5 ABCB HOUSING PROVISIONS

ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST TIMBER FRAMING CODE AS1684 AND N.C.C-2022

EXTERNAL WALLS TO BE STUDFRAMED AND CLAD AS NOTED LIGHTWEIGHT CLADDING INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND SARKED AND INSULATED AS PER THE N.C.C-2022 AND ATTACHED EER.

ALL INSULATION R VALUES AND WINDOW SHGC AND U-VALUES AS PER THE ATTACHED EER.

ALL OPENABLE WINDOWS AND SLIDING DOORS TO HAVE FLYSCREENS TO BE POWDERCOATED ALUMINIUM FRAMES TO MATCH WINDOWS. NOTE: METALLIC FLYSCREENS ARE REQUIRED IN BUSHFIRE PRONE AREAS

REFER TO STRUCTURAL ENGINEER'S ATTACHED DOCUMENTATION FOR ALL STRUCTURAL DETAILS

PROVIDE TERMITE MANAGEMENT SYSTEM IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS PART 3.4 ENSURE TERMITE MANAGEMENT COMPLIANCE AT ALL NEW STAIRS TO COMPLY WITH N.C.C-2022

FRONT ENTRANCE IN ACCORDANCE WITH AS 3660.1

TERMITE RISK DAMAGE - NEW WORK WILL BE COMPLIANT WITH PART 3.4 OF THE ABCB HOUSING PROVISIONS

TIMBER & COMPOSITE WALL CLADDING - WEATHERTEX CLADDING TO PART 7.5 ABCB HOUSING PROVISIONS

CONDENSATION MANAGEMENT:
 NEW WORK WILL BE COMPLIANT WITH PART 10.8 ABCB HOUSING PROVISIONS AND MAN. SPECIFICATIONS

STORMWATER DRAINAGE SYSTEM IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 3.3.5

LOCATIONS OF ARTICULATION JOINTS IN ACCORDANCE WITH THE ABCB HOUSING PROVISIONS 5.6.8 VERTICAL ARTICULATION JOINTS

SERVICES/ELECTRICAL/WASTE:

NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE. ALL WORKS DONE TO ACTEW GUIDELINES/ADVICE

ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE, RESIDENTIAL WASTE TO BE COLLECTED BY ROADSIDE PICKUP AND BINS TO BE LOCATED ON SITE

METER BOX TO BE INSTALLED TO EVOENERGY SERVICE AND INSTALLATION RULES (IF APPLICABLE)

LIGHTING TO COMPLY WITH PART 10.5 ABCB HOUSING PROVISIONS. REFER ELECTRICAL LAYOUT. ARTIFICIAL LIGHTING PART 10.5.2 ABCB HOUSING PROVISIONS.

WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH N.C.C-2022 AND TO MAN. SPEC. (IF APPLICABLE)

STORMWATER AND SEWER AND WATER TIES TO BE LOCATED ON HYDRAULIC/DRAINAGE PLANS

TELSTRA AND GAS TIES TO BE PROVIDED BY GAS FITTER AND ELECTRICIAN

DOWNPIPES TO ROOF PLUMBERS SPECIFICATIONS

ENSURE THAT THE DEVELOPMENT COMPLIES WITH THE ACT ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2022

PROPOSED EXTENSION AND ALTERATIONS TO:

BLOCK: 18

SECT: 118 NARRABUNDAH

CLIENT: P & L KOCH of 44 Anembo St Narrabundah



CARMODY by DESIGN

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DWN: A.KWONG G.CARMODY

SCALE: 1:50 DATE: 26/7/24

DWG No.: **2447** SHEET: 7 OF 7