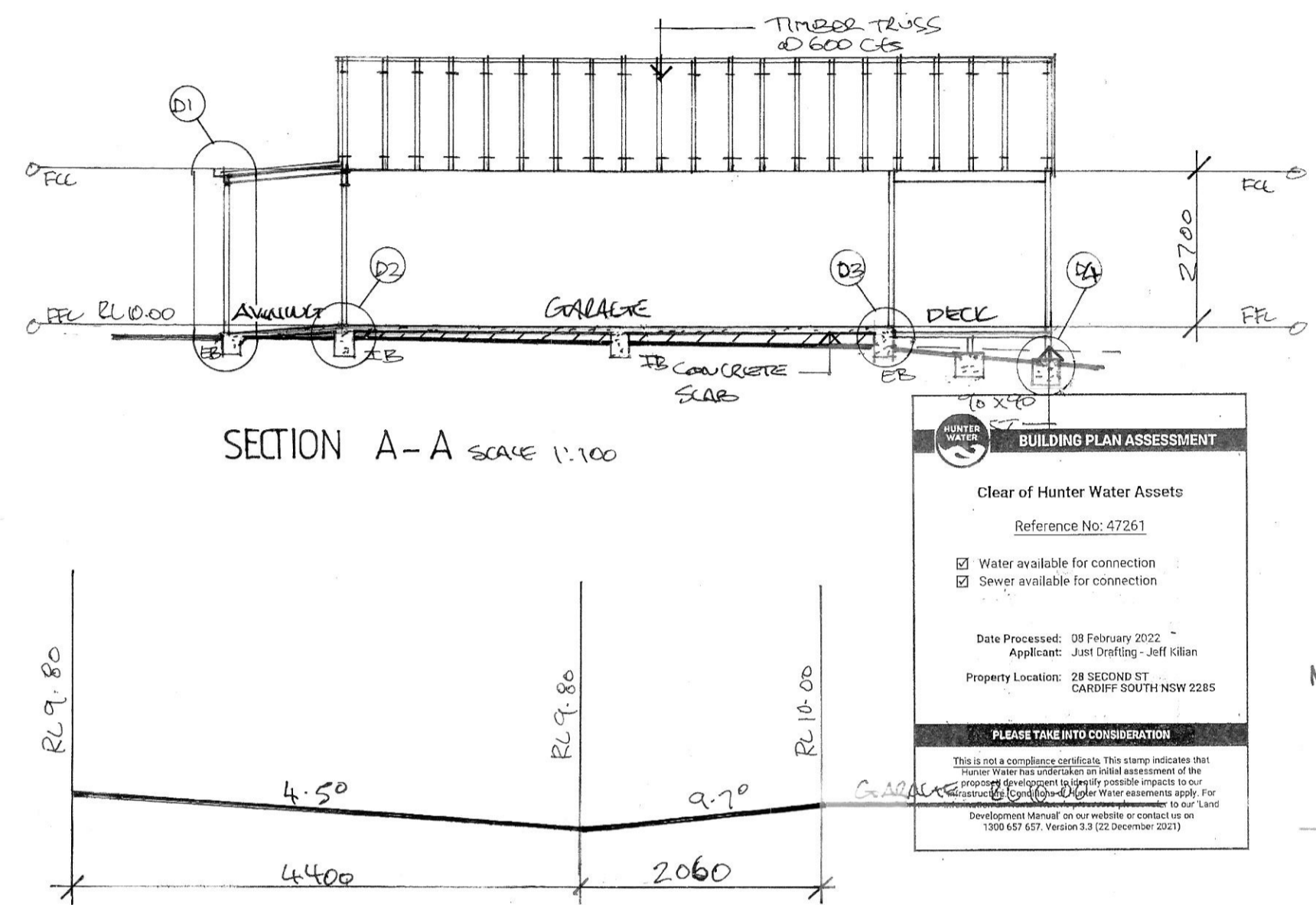
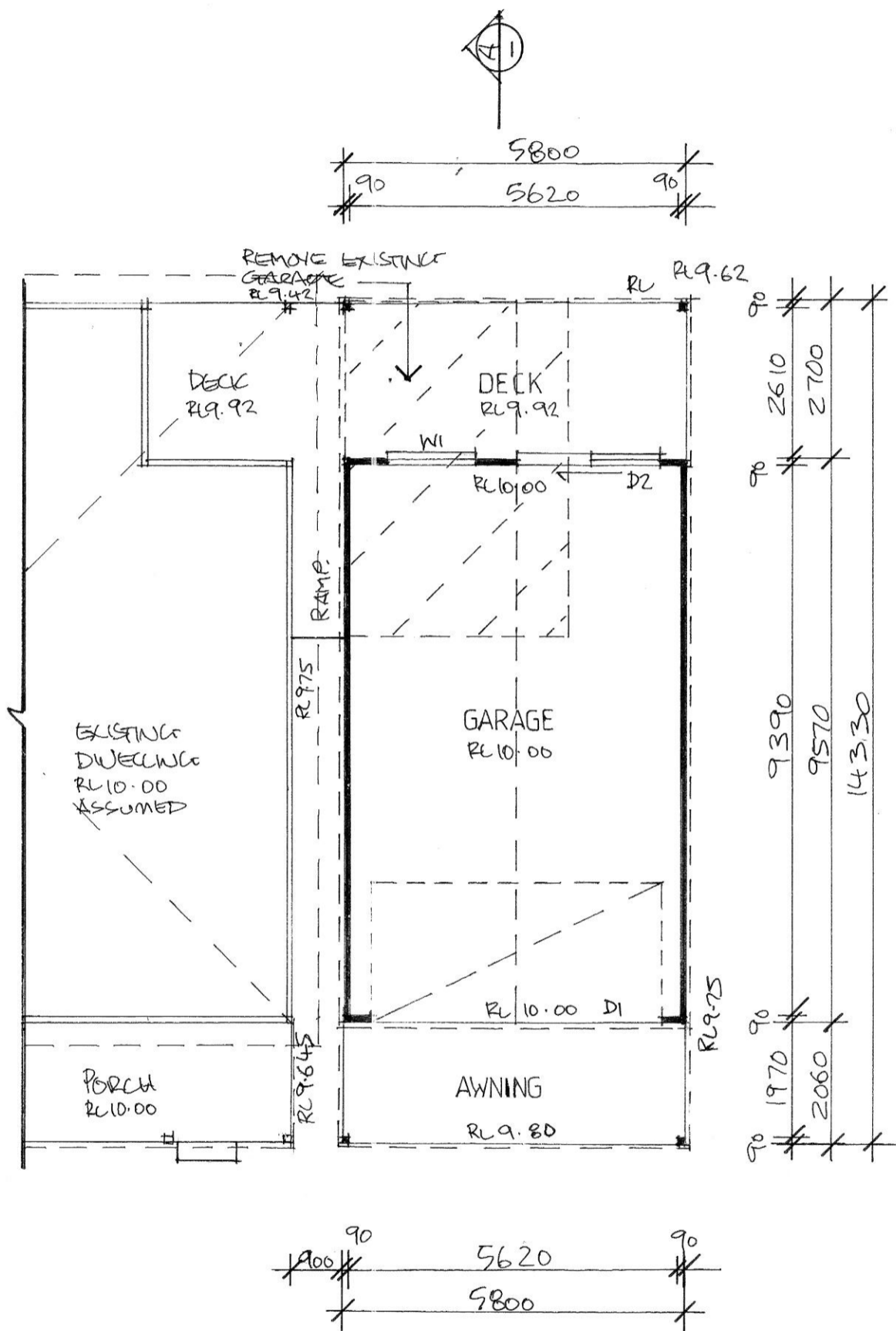


SITE DETAILS

Zone - R2 Low Residential
 Lot - 4
 Section - K
 DP - 1885
 Site - 571.11m²

Existing Dwelling -	127.55 m ²
Existing Deck -	9.81 m ²
Existing Porch -	11.33 m ²
Existing Garage -	21.28 m ²
Existing Pool and Concrete -	77.00 m ²
Total -	246.97 m²
Proposed Garage -	55.80 m ²
Proposed Awning -	11.95 m ²
Proposed Deck -	15.66 m ²
Total -	83.41 m²

FSR - Not changed 127.55 m² = 22.00 %
 Landscaping - Not changed 240.73 m² = 42.00 %



BUILDING PLAN ASSESSMENT

Clear of Hunter Water Assets
 Reference No: 47261

Water available for connection
 Sewer available for connection

Date Processed: 08 February 2022
 Applicant: Just Drafting - Jeff Kilian
 Property Location: 28 SECOND ST, CARDIFF SOUTH NSW 2285

PLEASE TAKE INTO CONSIDERATION

This is not a compliance certificate. This stamp indicates that Hunter Water has undertaken an initial assessment of the proposed development to identify possible impacts to our water resources. Hunter Water easements apply. For further information please refer to our Land Development Manual on our website or contact us on 1300 657 627. Version 3.3 (22 December 2021)

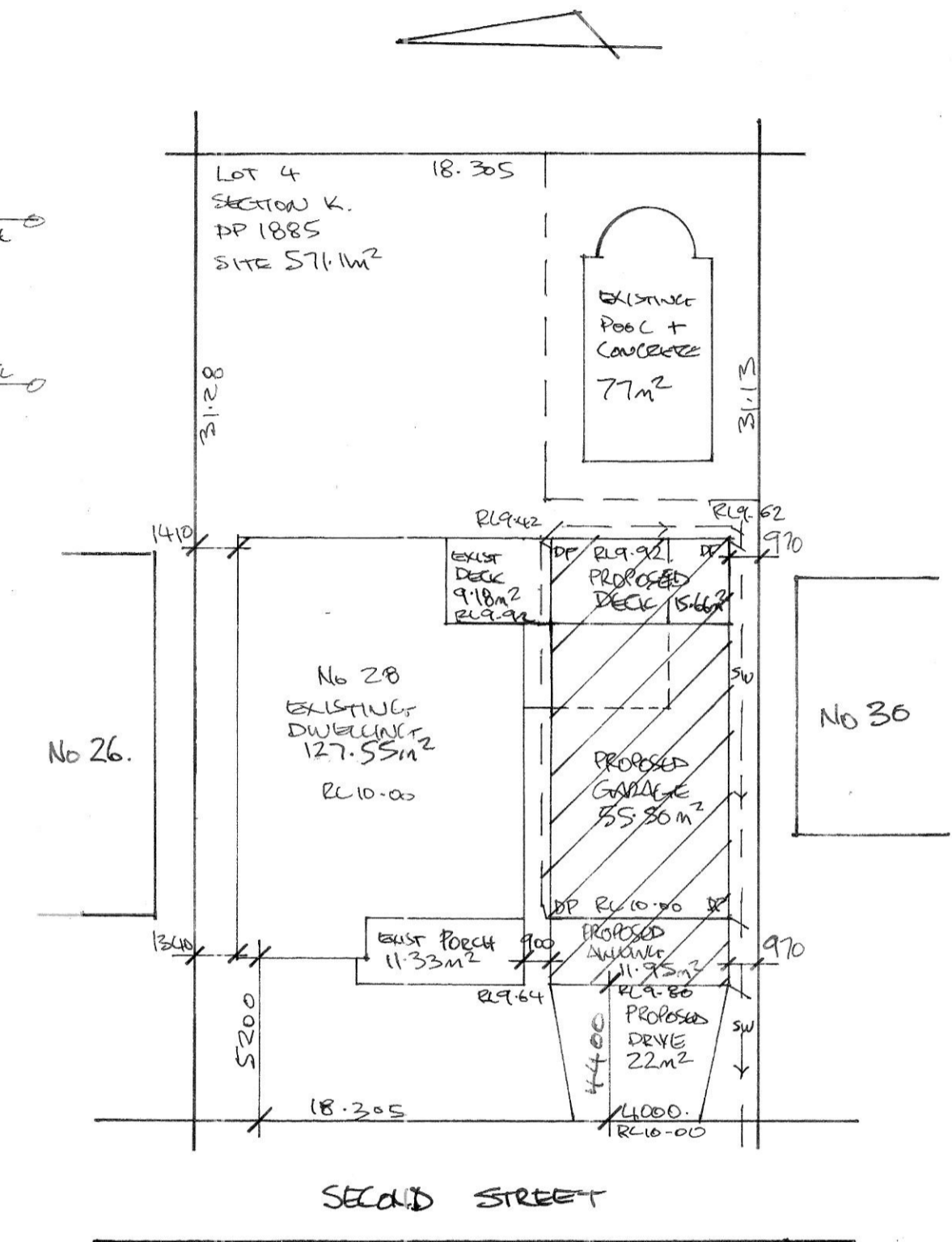
PROPOSED DRIVE SECTION SCALE 1:50

DOOR SCHEDULE

No.	DOOR TYPE	W x H Approx	HARDWARE	COMMENTS
1	Aluminium Panel Lift	5000 x 2200	Latch and lock	Install remote opener
2	Aluminium sliding	2400 x 2100	Latch and lock	Clear glass

WINDOW SCHEDULE Wind Class N2 AS 4055.

No.	WINDOW TYPE	APPROX. SIZE h x w	GLASS	COMMENTS
1	Aluminium Barn Awning	1200 x 1800	Clear	Full swing opening held by strut supports.



SITE PLAN SCALE 1:200

PROPOSED FLOOR PLAN SCALE 1:100

SUBSIDENCE ADVISORY NSW DEVELOPMENT APPROVED

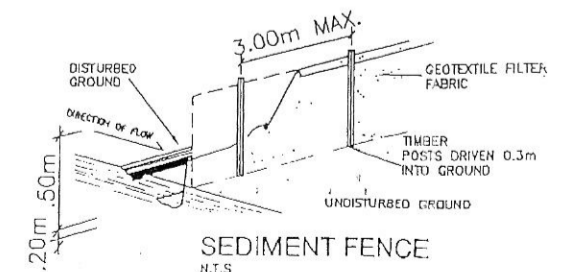
David Sedgman

This plan is approved under section 22 of the Coal Mine Subsidence Compensation Act 2017, and is valid for five (5) years from today.

8-Feb-2022

This approval is subject to levels & heights shown on plan being accurate & footings designed to comply with AS2870 or relevant Australian Standards.

SUBSIDENCE ADVISORY NSW DEVELOPMENT REVIEWED



- SEDIMENT CONTROL NOTES**
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING PROTECTION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW.
 - ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
 - SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm DEEP, 300mm DEEP TRENCH.
 - ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
 - ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
 - SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREAS WHERE WATER MAY CONCENTRATE.
 - FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROFIB OR APPROVED EQUIVALENT) BETWEEN POSTS AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

- * Figured dimensions to be used in preference to scaling drawings.
- * Ground lines shown are approx., and must be verified on site.
- * All dimensions and levels shall be verified on site before ordering any materials and the beginning of any works.
- * This design and drawing is the property of Just Drafting and must not be copied or loaned without the consent of Just Drafting.
- * If any error or discrepancies are found in the drawings please contact JUST DRAFTING Design and Planning Services. Phone 49598075 or 0412442690

Just Drafting
 Design and Planning Services
 49598075

bdda
 BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
 Jeff Kilian CMBDANSW Accreditation No 6072

Client - Mr S Sanson and Ms R Wilson
 Proposed - Garage
 Address - 28 Second Street, Cardiff South
 Job No 4306 Drawing No 1/2 Date 11/05/22