

# nest Residential Design

building plans

FINAL PRELIMINARY PLANS  
22.11.2023

T: 4423 6461 www.nestrd.com.au

## PROPOSED TWO STOREY SECONDARY DWELLING

AT: Lot 134 AUSTRALIA AVENUE No. 7

CALLALA BAY NSW 2540 D.P. 10209

FOR: MS. D. BACON

Plans by: NEST RESIDENTIAL DESIGN		P.O Box 902 Nowra 2541		T: 4423 6461	
Job No.: NEST2531	Date: 14.11.2023	Drawn By: M.J	Checked: DHU		
Amended: 22.11.2023	Amended:	Amended:	Scale: AS SHOWN		
Amended:	Amended:	Amended:	Sheet No. 1 OF 11		

### GENERAL NOTES:

- Use figured dimensions only. Do not scale drawings.
- Dimensions indicated with asterisks are to be confirmed on site by builder.
- Builder is to check all dimensions on site prior to commencement of construction.
- Building plans are to be read in conjunction with BASIX certificate.
- Concrete slabs / footings to be as per specification if suitable for site classification. If site classification is not suitable for specification, concrete slabs / footings to be designed & detailed by structural engineer. Builder is to check site classification prior to commencement of construction.
- Provide adequate tie downs & bracing to suit wind load classification.
- Provide adequate flashings.
- Provide adequate termite protection.
- Stormwater drainage to street via existing system
- Downpipe locations to be determined on site to suit site conditions.
- All exhaust fans/rangehood flow rates and discharge of exhaust systems to be in accordance with B.C.A 3.8.7.3. Note: Any exhaust fan vented into roof space to have roof space ventilated in accordance with B.C.A 3.8.7.4
- Gutters & Downpipes to comply with BCA part 3.5.2.4 and AS / NZS 3500.3 & AS NZS 3500.5.
- Design & Plans are not to be copied in any way without written permission from Nest Residential Design.

### EXTERNAL COLOUR SCHEDULE

EXTERNAL CLADDING	COLORBOND "DEEP OCEAN"
FASCIA & GUTTER	COLORBOND "DEEP OCEAN"
ROOFING	COLORBOND "DEEP OCEAN"

### BASIX COMMITMENTS:

#### WATER

- Approx. Roof Area: 85.00m<sup>2</sup>
- Garden & Lawn Area: 180.00 m<sup>2</sup>
- Rainwater tank capacity: 4,000Lt Minimum
- Roof Area to be connected to Rainwater tank: 100%
- Fittings to be connected to Rainwater tank: all toilets, washing machine cold water tap, at least one garden tap
- Minimum 5 star water rating to all kitchen & bathroom taps.
- Minimum 5 star water rating to all toilets.
- Minimum 5 star to all shower heads (no greater than 9Lt/min)

#### THERMAL COMFORT

- Refer to ABSA / NatHERS Certificate.

#### ENERGY

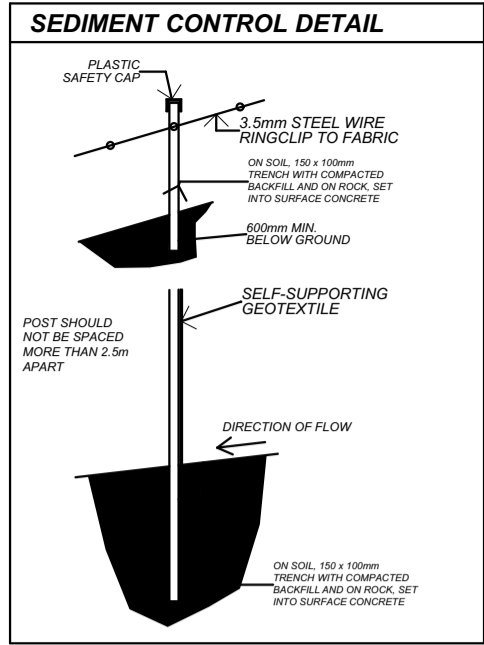
- Solar HWS with Electric boost (tank on ground) to be installed.
- Ceiling fans to be installed in living room.
- 1-Phase air conditioning system to be installed to at least 1 x bedroom & 1 x living area in the dwelling with minimum EER 2.5 - 3.0 for Cooling and minimum EER 2.5 - 3.0 for Heating and have Day / Night Zoning.
- Bathroom is to have a ducted exhaust fan installed, operated by a manual on / off switch.
- Kitchen to have a ducted rangehood installed, operated by a manual on / off switch.
- Laundry to have mechanical ventilation.
- Primary type of artificial lighting to be LED bulbs to the entire dwelling.
- Electric cooktop & electric oven to be installed in the kitchen.
- Refrigerator space to be well ventilated as per BASIX definition.
- Fixed outdoor clothes drying line to be installed.
- Photovoltaic system with capacity to generate at least 6.6 peak kilowatts of electricity to be installed.

FINAL PRELIMINARY PLANS  
22.11.2023

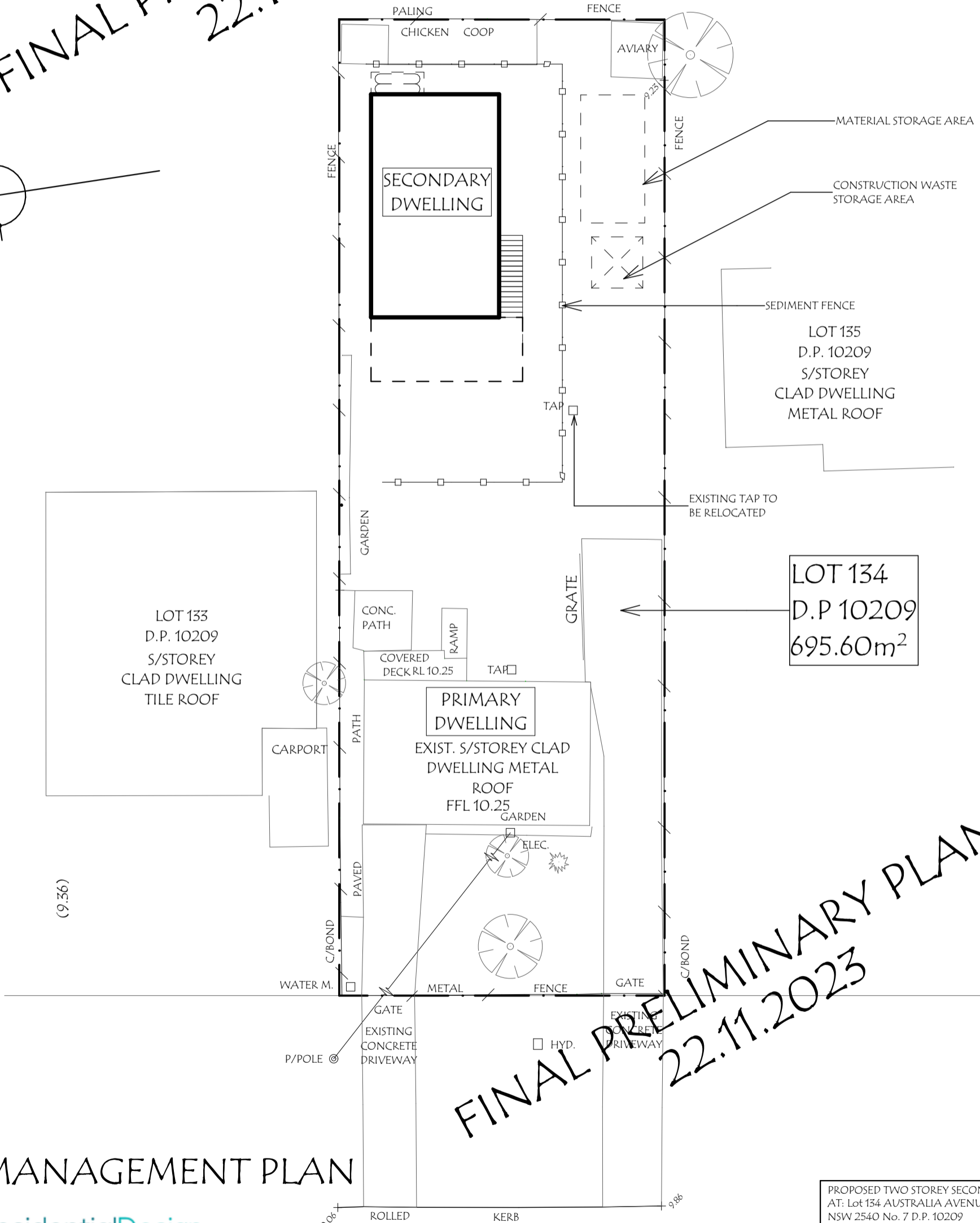
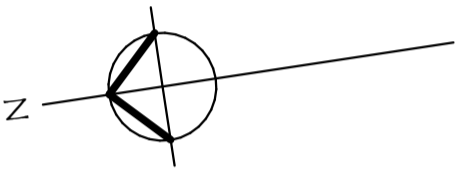


Sediment Control Plan Notes

1. Site works will not start until the erosion and sediment control works outlined in clauses 2-4 below, are installed and functional.
2. The entry to and departure of vehicles from the site will be confined to one stabilised point. Sediment or barrier fencing will be used to restrict all vehicular movements to that point. Stabilisation will be achieved by either:
  - Constructing a sealed (e.g. concrete or asphalt) driveway to the street
  - Constructing a stabilised site access following Standard Drawing SD 6-14 or other suitable technique approved by the Council.
3. Sediment fences (SD 6-8) and barrier fences will be installed as shown on the attached drawing.
4. Topsoil from the work's area will be stripped and stockpiled (SD 4-1) for later use in landscaping the site.
5. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of possible areas of concentrated water flow, including driveways.
6. Lands to the rear of the allotment and on the footpath, will not be disturbed during works except where essential, e.g. Drainage works across the footpath. Where works are necessary, they will be undertaken in such a way to minimise the occurrence of soil erosion, even for short periods. They will be rehabilitated (grassed) as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.
7. Approved bins for building waste, concrete and mortar slurries, points, acid washing and litter will be provided and arrangements made for regular collection and disposal.
8. Guttering will be connected to the stormwater system or the rainwater tank as soon as practicable.
9. Topsoil will be respread and all disturbed areas will be stabilised within 20 working days of the completion of works.
10. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.



**FINAL PRELIMINARY PLANS**  
22.11.2023



**FINAL PRELIMINARY PLANS**  
22.11.2023

SITE MANAGEMENT PLAN

nestResidentialDesign  
building plans

bdaa  
ACCREDITED  
BUILDING DESIGNER

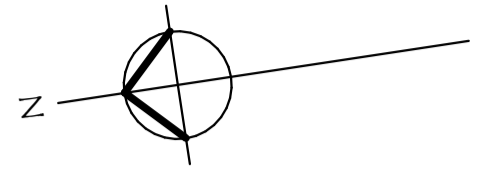
A U S T R A L I A  
A V E N U E

T: 4423 6461 W: www.nestrd.com.au

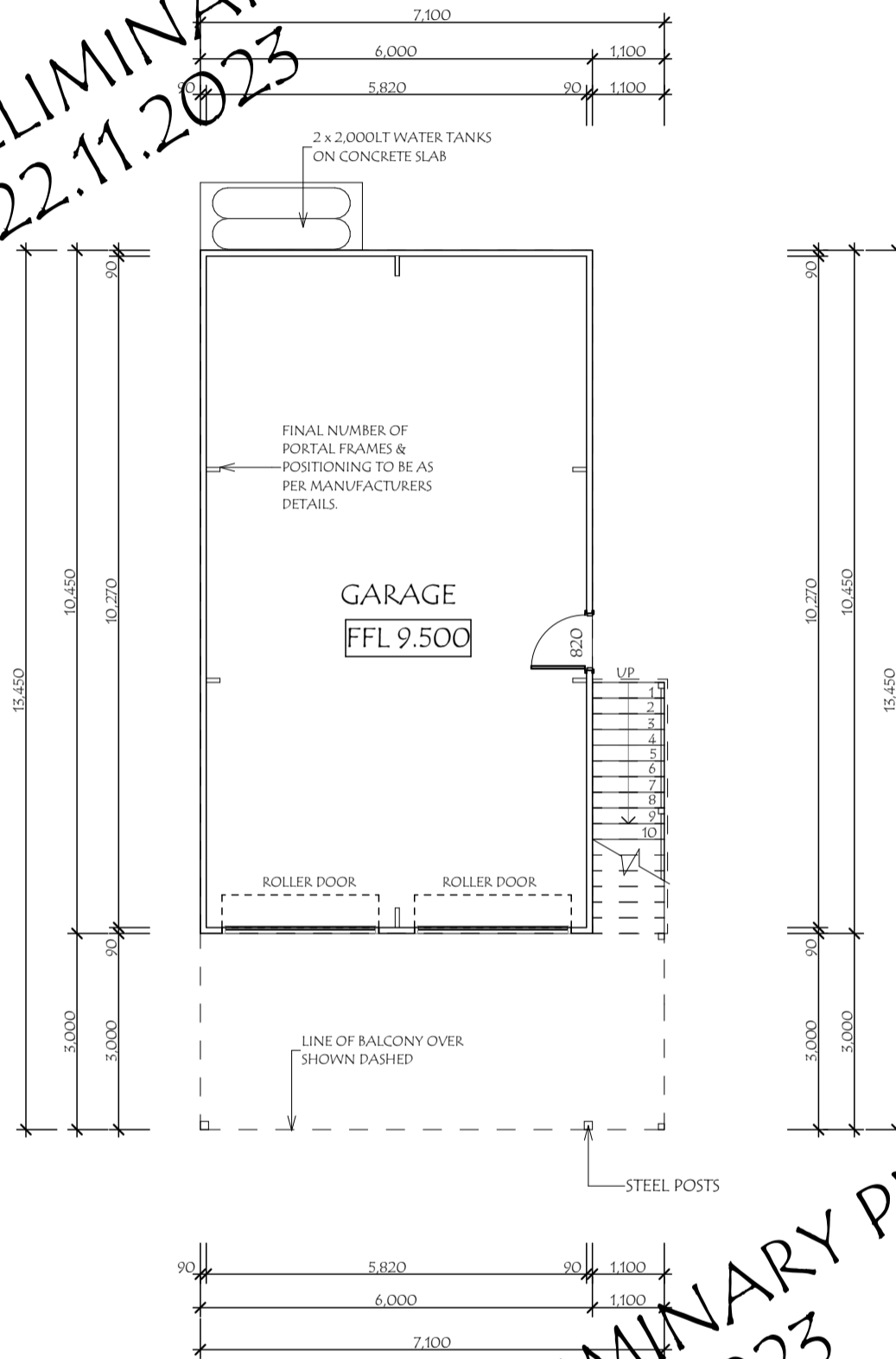
THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:200 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 3 OF 11

SCHEDULE OF AREAS	SQ.M
EXISTING PRIMARY DWELLING	
LIVING	71.40
DECK	6.30
TOTAL AREA	77.70
SECONDARY DWELLING	
LIVING (TO INSIDE EXTERNAL WALLS)	59.91
BALCONY	21.30
GARAGE	62.70
TOTAL AREA	143.91
TOTAL BUILDING AREA	221.61



FINAL PRELIMINARY PLANS  
22.11.2023



FINAL PRELIMINARY PLANS  
22.11.2023

## PROPOSED GROUND FLOOR PLAN

GARAGE

nestResidentialDesign  
building plans



T: 4423 6461 W: www.nestrd.com.au

bdca  
ACCREDITED  
BUILDING DESIGNER

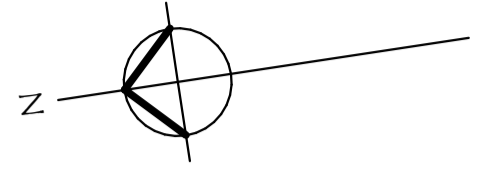
ALL EXHAUST FANS / RANGEHOOD TO BE INSTALLED IN ACCORDANCE WITH NCC VOLUME TWO PART 10.6 WITH FLOW RATES IN ACCORDANCE WITH NCC 2022 VOLUME TWO - HOUSING PROVISIONS PART 10.8



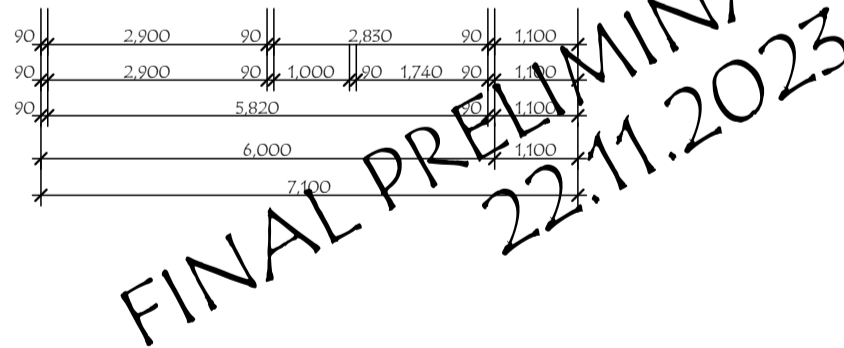
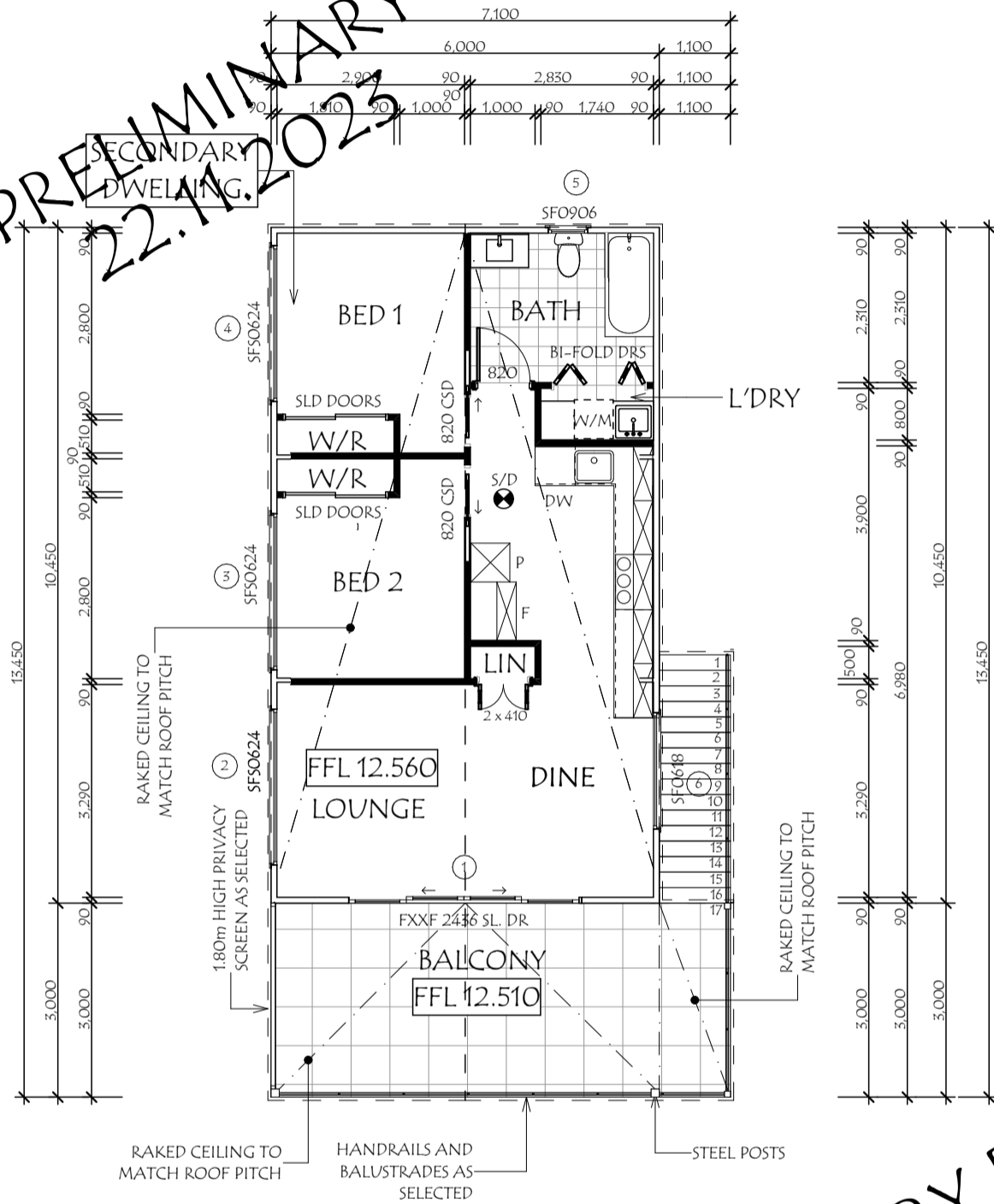
S/D SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5

PROPOSED TWO STOREY SECONDARY DWELLING  
AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY  
NSW 2540 No. 7 D.P. 10209  
FOR: MS. D. BACON

Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:100 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 4 OF 11



FINAL PRELIMINARY PLANS  
22.11.2023



FINAL PRELIMINARY PLANS  
22.11.2023

## PROPOSED FIRST FLOOR PLAN SECONDARY DWELLING

nestResidentialDesign  
building plans



bdaa  
ACCREDITED  
BUILDING DESIGNER

T: 4423 6461 W: www.nestrd.com.au

THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.

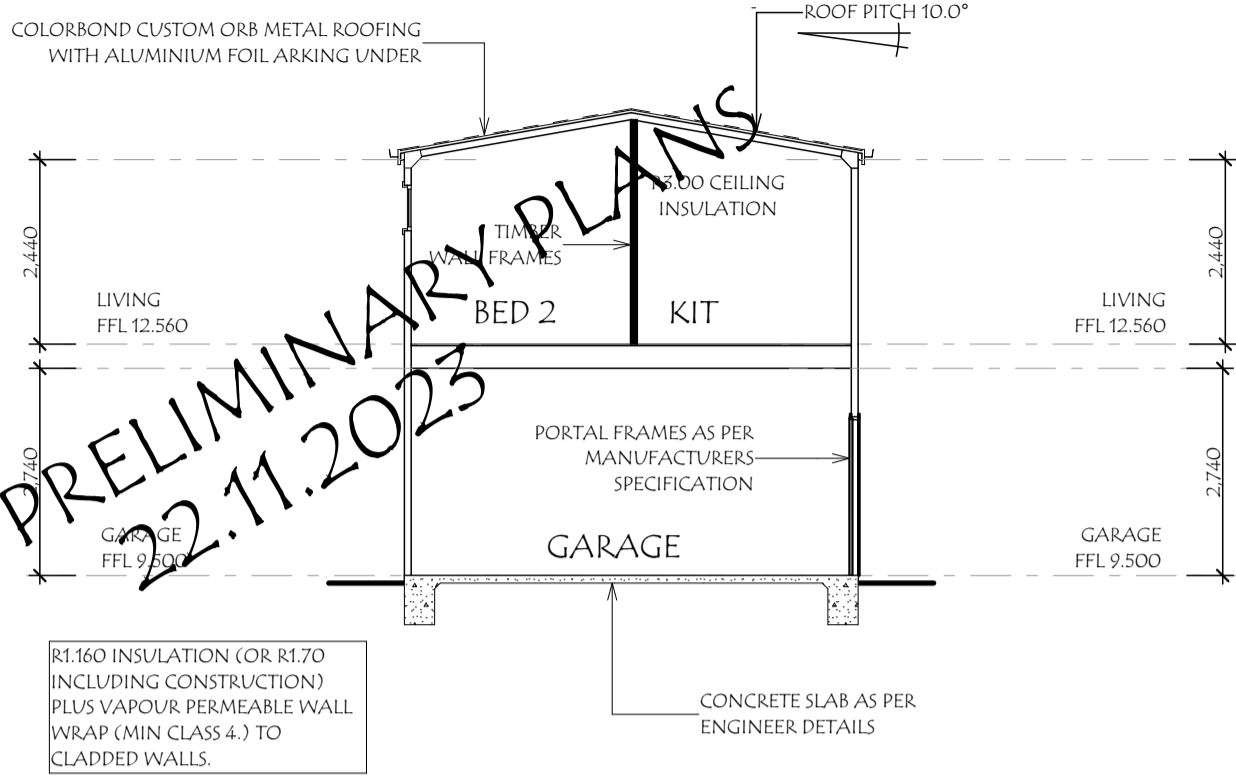
PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:100 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 5 OF 11

**GROUND LINE KEY:**  
 ——— NEW/UN-MODIFIED (EXISTING) GROUND  
 - - - - - NATURAL GROUND

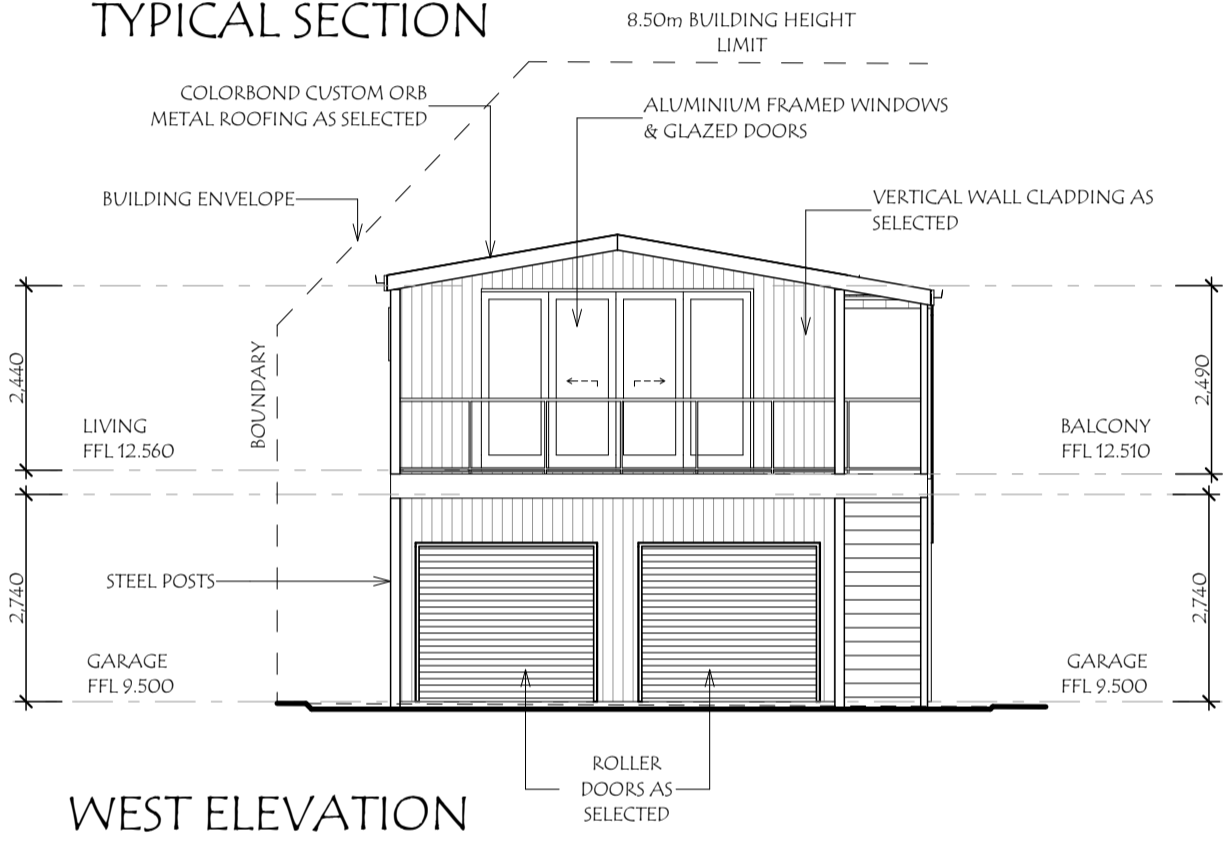
ROOF SPACES TO BE VENTED IN ACCORDANCE WITH NCC VOLUME TWO, PART 10.8

NOTE: GUTTERS & DOWNPIPES TO COMPLY WITH NCC PART 7.4 AND AS / NZS 3500

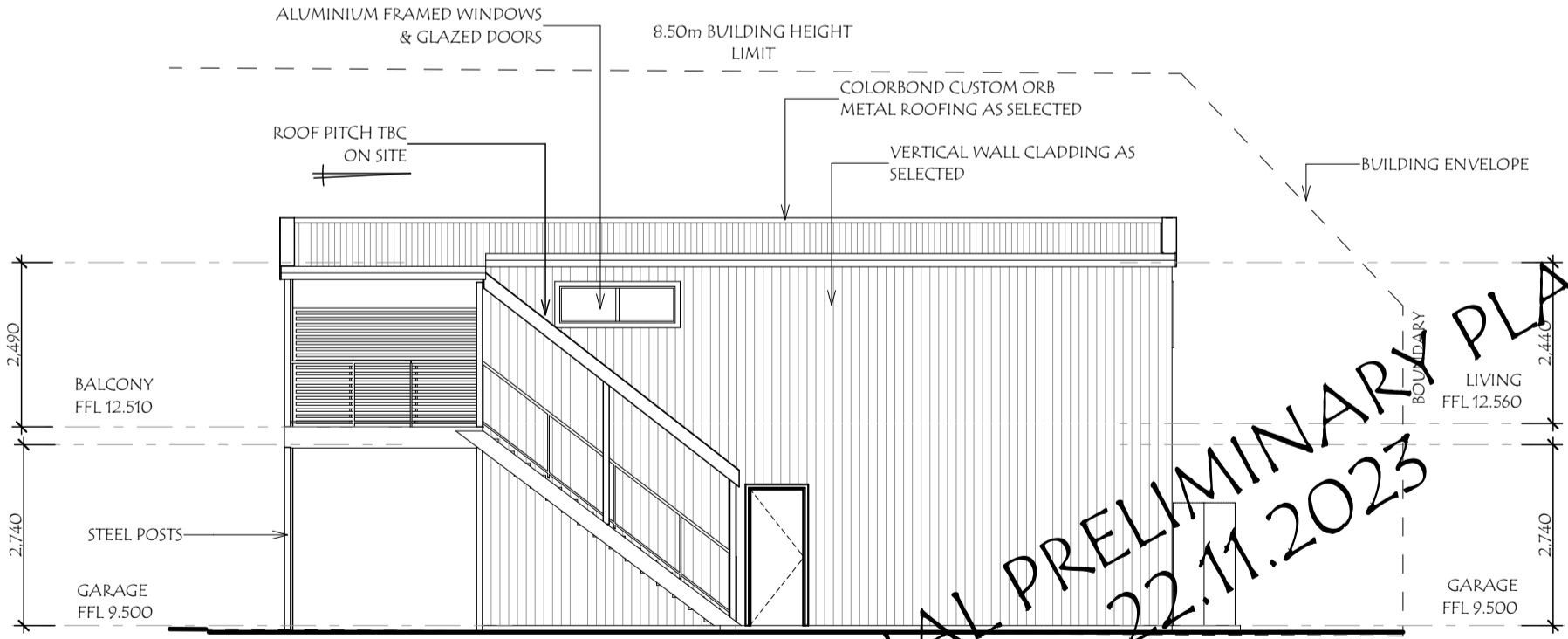
FINAL PRELIMINARY PLANS  
22.11.2023



**TYPICAL SECTION**



**WEST ELEVATION**



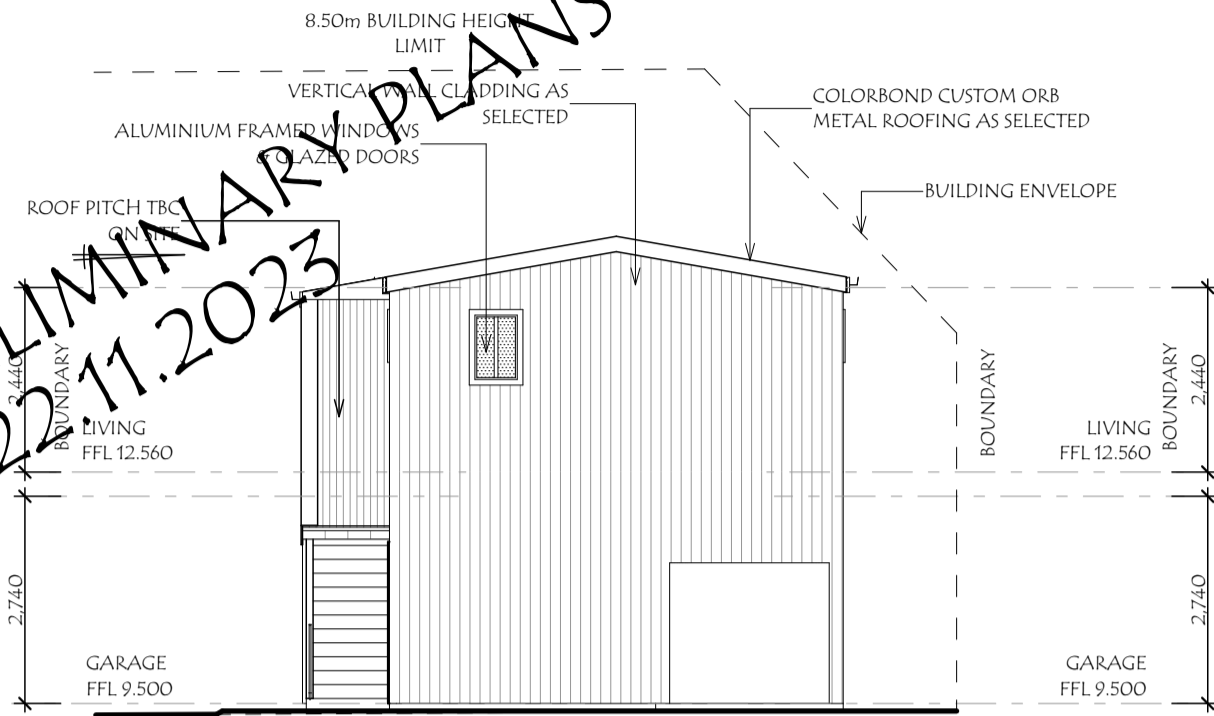
**SOUTH ELEVATION**

FINAL PRELIMINARY PLANS  
22.11.2023

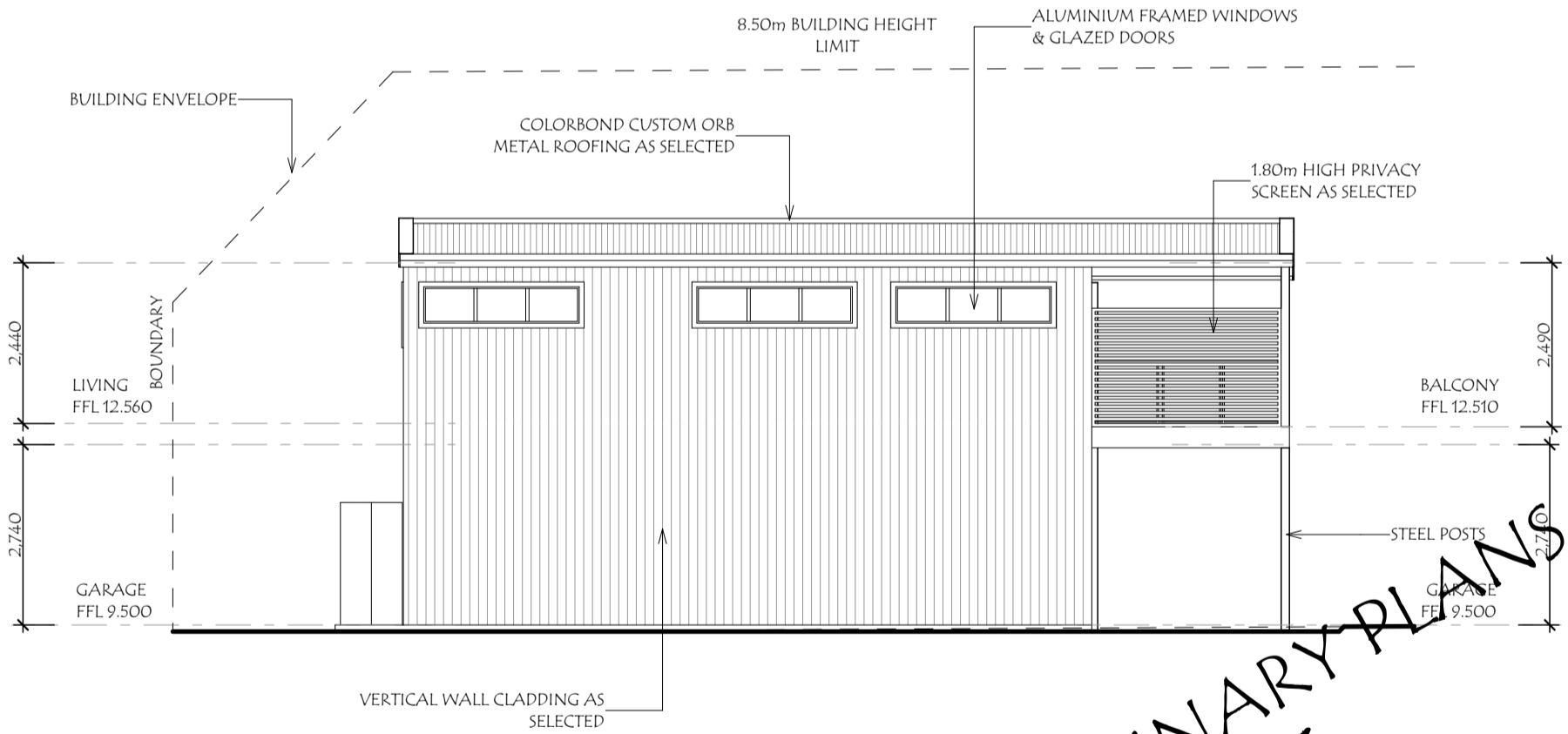
PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:100 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 6 OF 11

GROUND LINE KEY:	
—	NEW/UN-MODIFIED (EXISTING) GROUND
- - -	NATURAL GROUND

FINAL PRELIMINARY PLANS  
22.11.2023



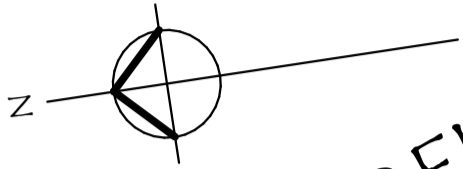
WEST ELEVATION



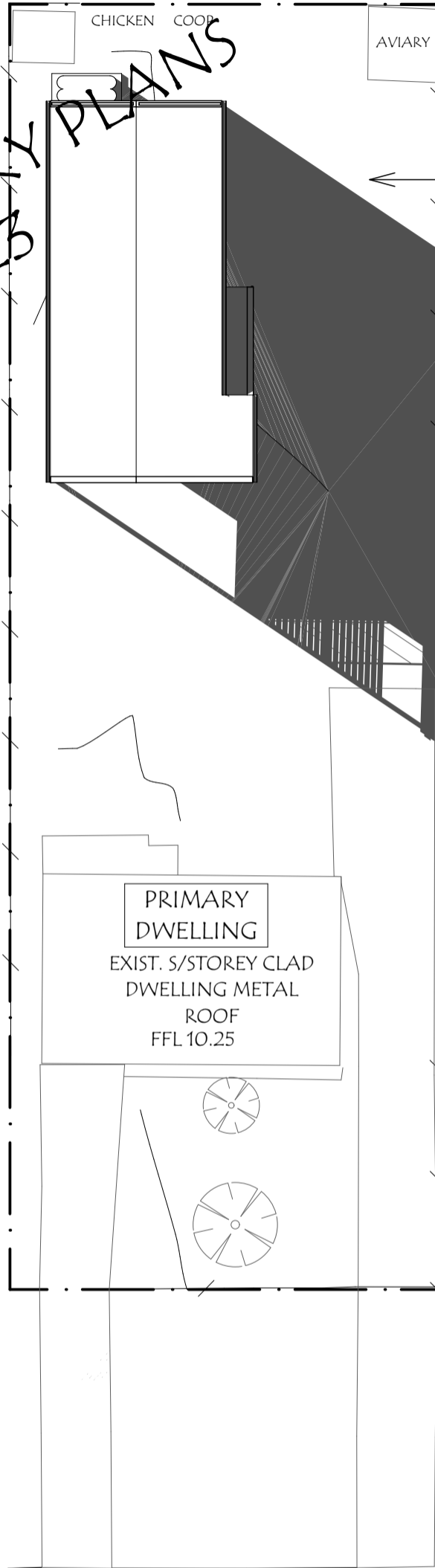
NORTH ELEVATION

FINAL PRELIMINARY PLANS  
22.11.2023

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:100 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 7 OF 11



FINAL PRELIMINARY PLANS  
22.11.2023



LOT 134  
D.P 10209  
695.60m<sup>2</sup>

LOT 135  
D.P. 10209  
S/STOREY  
CLAD DWELLING  
METAL ROOF

LOT 133  
D.P. 10209  
S/STOREY  
CLAD DWELLING  
TILE ROOF

PRIMARY  
DWELLING  
EXIST. S/STOREY CLAD  
DWELLING METAL  
ROOF  
FFL 10.25

A U S T R A L I A

FINAL PRELIMINARY PLANS  
22.11.2023

### SHADOW DIAGRAM - 9AM

21ST JUNE (WINTER SOLSTICE)

7 AUSTRALIA AVENUE, CALLALA BAY NSW 2540

nestResidentialDesign  
building plans

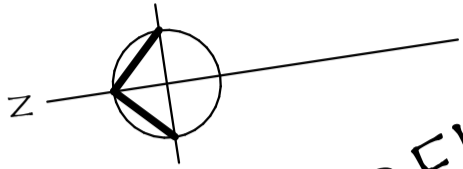


bdaa  
ACCREDITED  
BUILDING DESIGNER

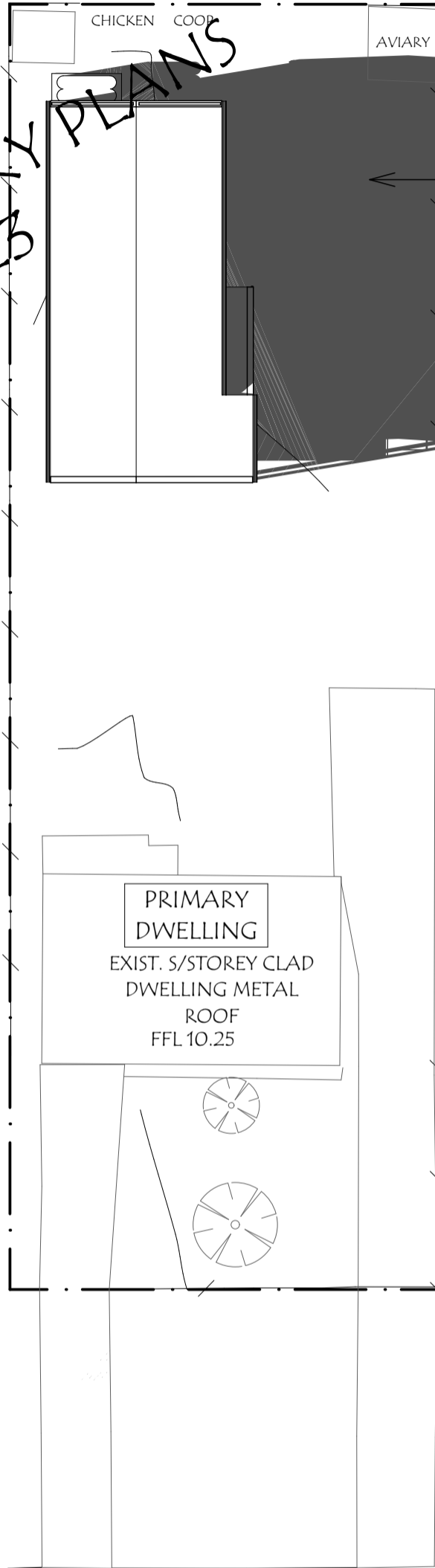
T: 4423 6461 W: www.nestrd.com.au

THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:200 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 8 OF 11



FINAL PRELIMINARY PLANS  
22.11.2023



LOT 134  
D.P 10209  
695.60m<sup>2</sup>

LOT 135  
D.P. 10209  
S/STOREY  
CLAD DWELLING  
METAL ROOF

LOT 133  
D.P. 10209  
S/STOREY  
CLAD DWELLING  
TILE ROOF

PRIMARY  
DWELLING  
EXIST. S/STOREY CLAD  
DWELLING METAL  
ROOF  
FFL 10.25

A U S T R A L I A

FINAL PRELIMINARY PLANS  
22.11.2023

SHADOW DIAGRAM - 12PM

21ST JUNE (WINTER SOLSTICE)

7 AUSTRALIA AVENUE, CALLALA BAY NSW 2540

nestResidentialDesign  
building plans



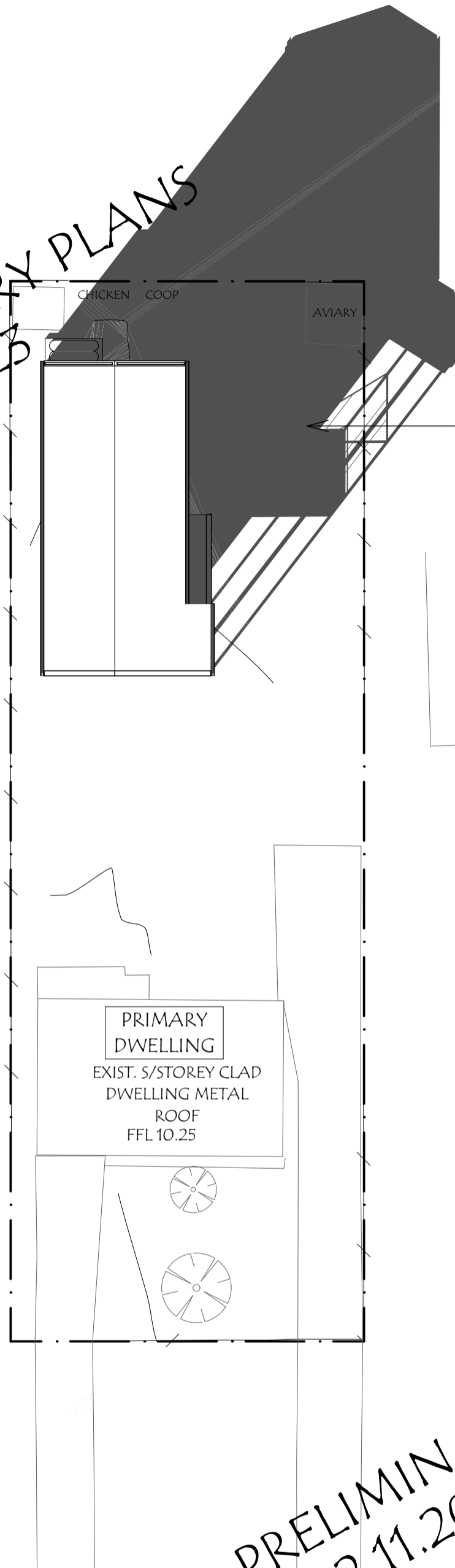
bdaa  
ACCREDITED  
BUILDING DESIGNER

T: 4423 6461 W: www.nestrd.com.au

THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:200 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 9 OF 11

FINAL PRELIMINARY PLANS  
22.11.2023



LOT 134  
D.P 10209  
695.60m<sup>2</sup>

LOT 135  
D.P. 10209  
5/STOREY  
CLAD DWELLING  
METAL ROOF

LOT 133  
D.P. 10209  
5/STOREY  
CLAD DWELLING  
TILE ROOF

PRIMARY  
DWELLING  
EXIST. 5/STOREY CLAD  
DWELLING METAL  
ROOF  
FFL 10.25

FINAL PRELIMINARY PLANS  
22.11.2023

A U S T R A L I A   A V E N U E

nestResidentialDesign  
building plans



T: 4423 6461 W: www.nestrd.com.au

bdca  
ACCREDITED  
BUILDING DESIGNER

SHADOW DIAGRAM - 3PM

21ST JUNE (WINTER SOLSTICE)

7 AUSTRALIA AVENUE, CALLALA BAY NSW 2540

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: 1:200 (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 10 OF 11

THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.



## 3D VIEWS

**nestResidentialDesign**  
building plans



T: 4423 6461 W: [www.nestrd.com.au](http://www.nestrd.com.au)

**bdaa**  
ACCREDITED  
BUILDING DESIGNER

THIS DESIGN REMAINS THE PROPERTY OF NEST RESIDENTIAL DESIGN. UNAUTHORISED COPYING OF ANY KIND PROHIBITED WITHOUT WRITTEN CONSENT FROM NEST RESIDENTIAL DESIGN.

PROPOSED TWO STOREY SECONDARY DWELLING AT: Lot 134 AUSTRALIA AVENUE CALLALA BAY NSW 2540 No. 7 D.P. 10209 FOR: MS. D. BACON	
Job No.: NEST2531	Amended: 22.11.2023
Date: 14.11.2023	Amended:
Scale: (A3 SHEET)	Amended:
Drawn: M.J Checked: DHU	Sheet No. 11 OF 11