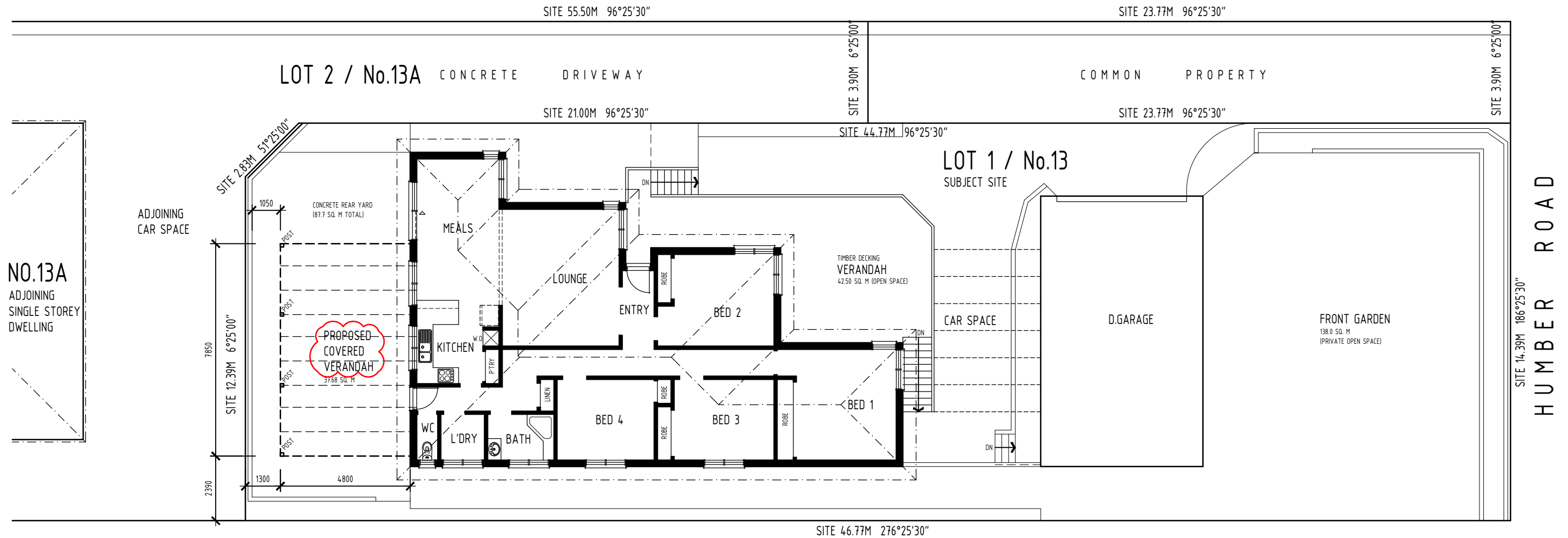


REPORT & CONSENT

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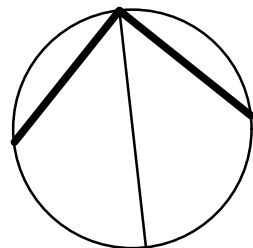


PROPOSED SITE PLAN

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Date:	Revision:
26-06-2021	'A' SKETCH DESIGN
22-07-2021	'B' AMENDED SKETCH
30-07-2021	'C' REPORT & CONSENT APPLICATION
28-09-2021	'D' RFI ISSUE



Mark Anthony Design
 DPAD: 29 788
 Mob: 0408 546 442

Proposed: **Covered Verandah**
 At: 13 Humber Road
 Croydon North 3136
 For: Mr. & Mrs Sanders

Date: April 2020
 Scale: 1: 100
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REPORT & CONSENT

SITE 55.50M 96°25'30"

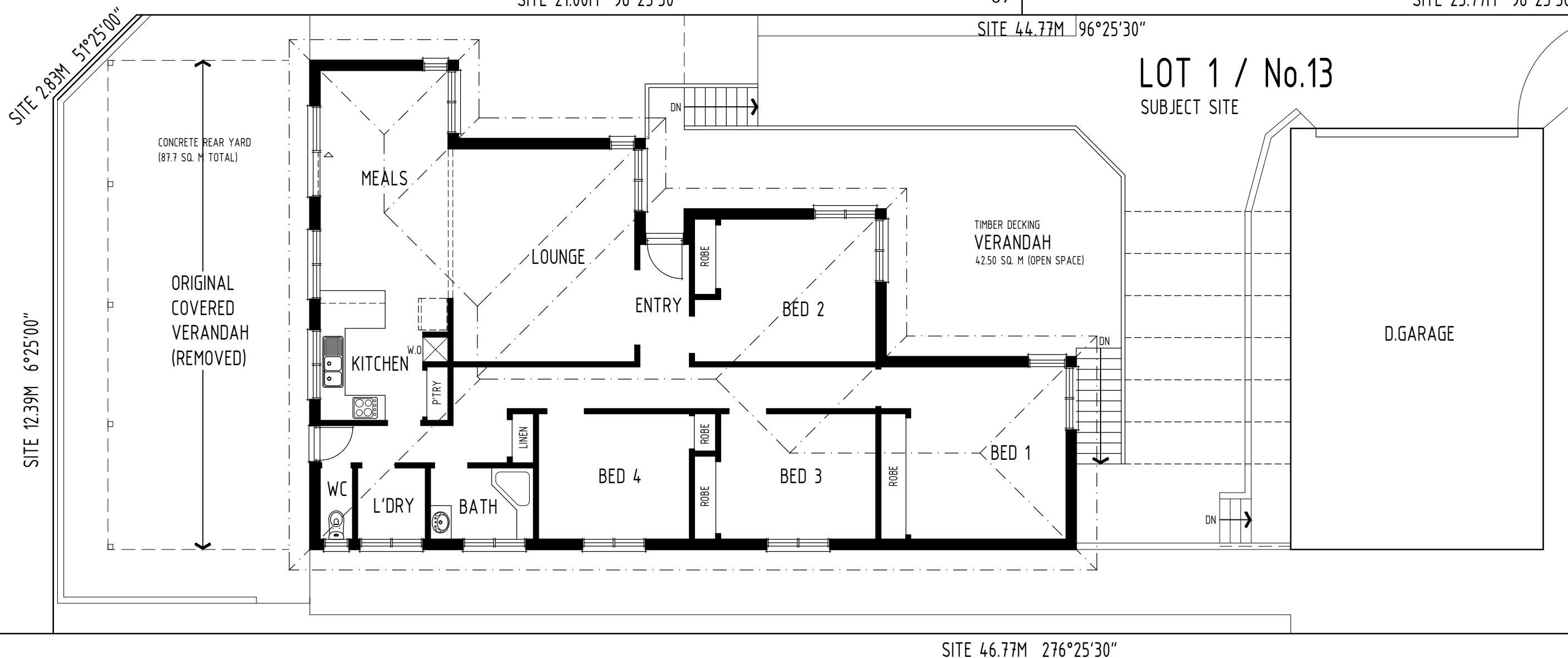
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LOT 2 / No.13A CONCRETE DRIVEWAY

SITE 21.00M 96°25'30"

SITE 44.77M 96°25'30"

SITE 23.77M 96°25'30"



LOT 1 / No.13
 SUBJECT SITE

EXISTING GROUND FLOOR PLAN

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	26-06-2021	'A' SKETCH DESIGN				April 2020
	22-07-2021	'B' AMENDED SKETCH				Scale:
	30-07-2021	'C' REPORT & CONSENT APPLICATION				1: 100
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REPORT & CONSENT

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SITE 55.50M 96°25'30"

LOT 2 / No.13A CONCRETE DRIVEWAY

SITE 21.00M 96°25'30"

SITE 3.90M 6°25'00"

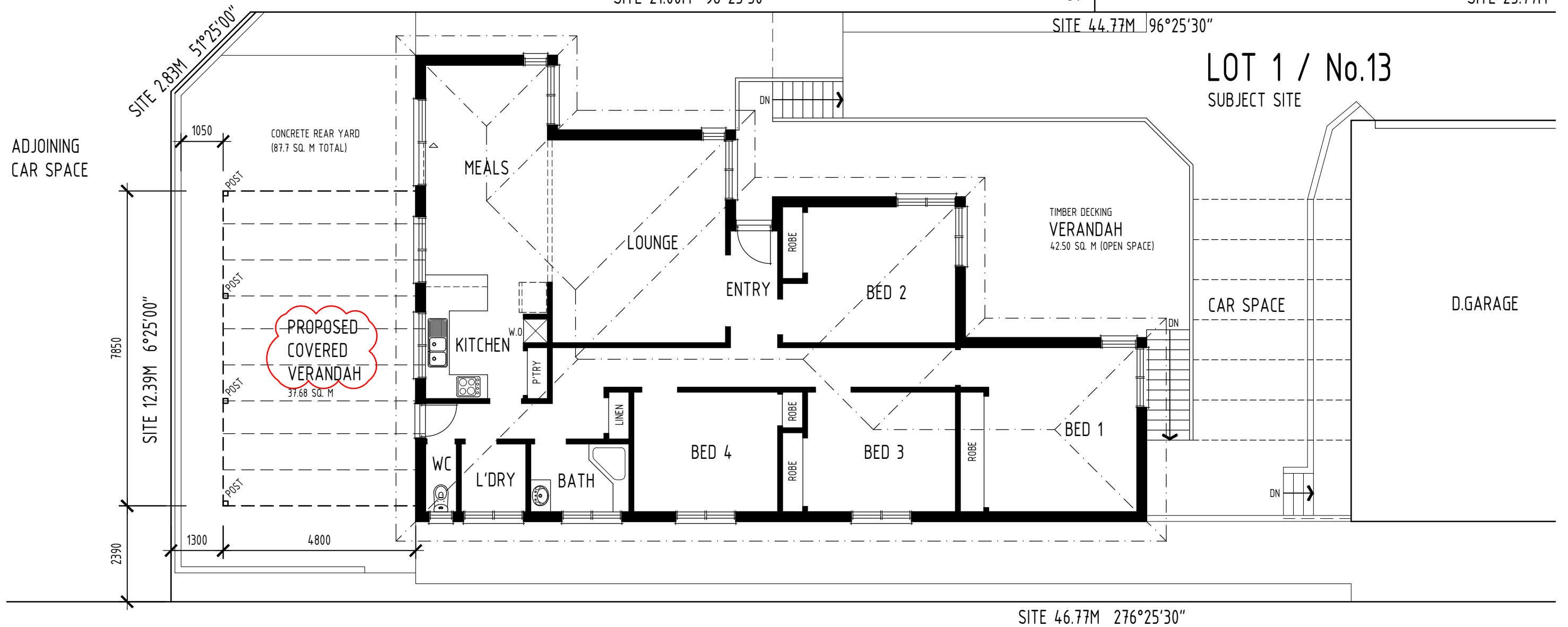
COMMON

SITE 23.77M

SITE 44.77M 96°25'30"

LOT 1 / No.13

SUBJECT SITE



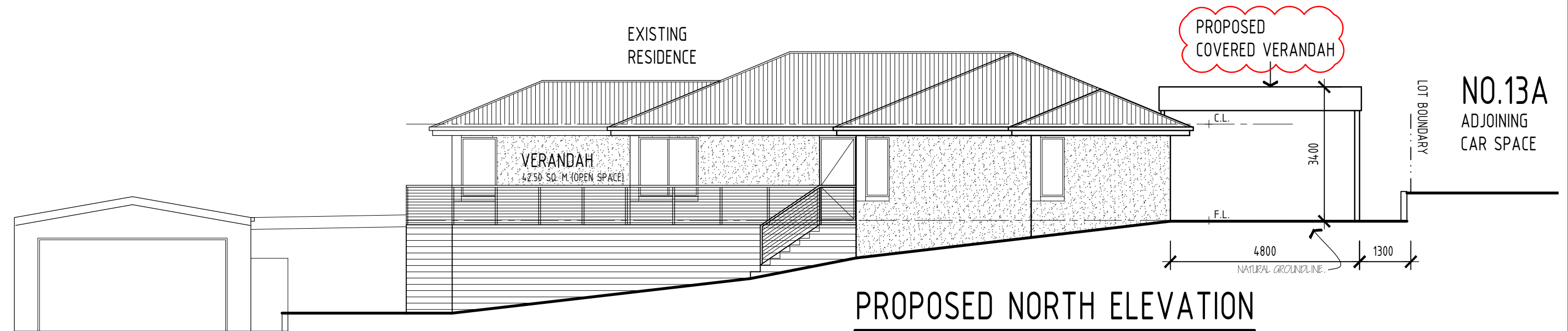
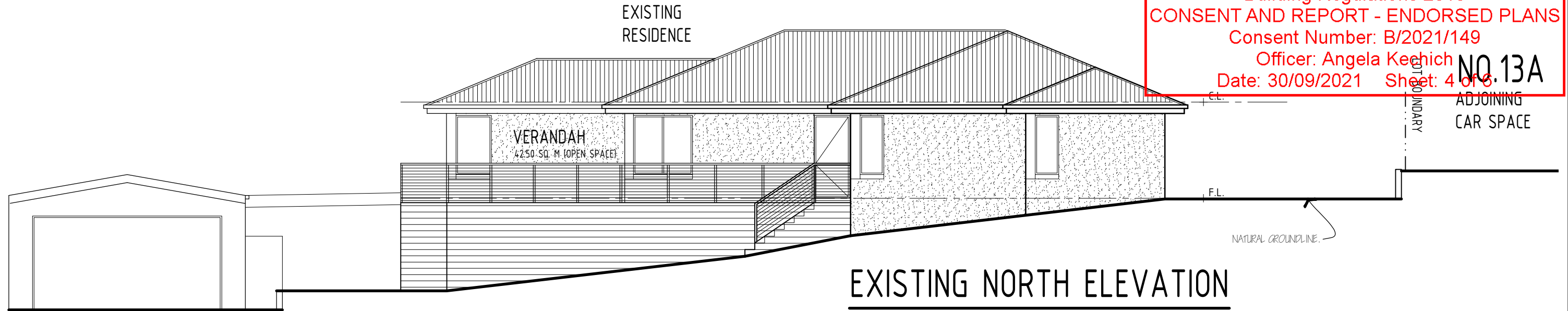
PROPOSED GROUND FLOOR PLAN

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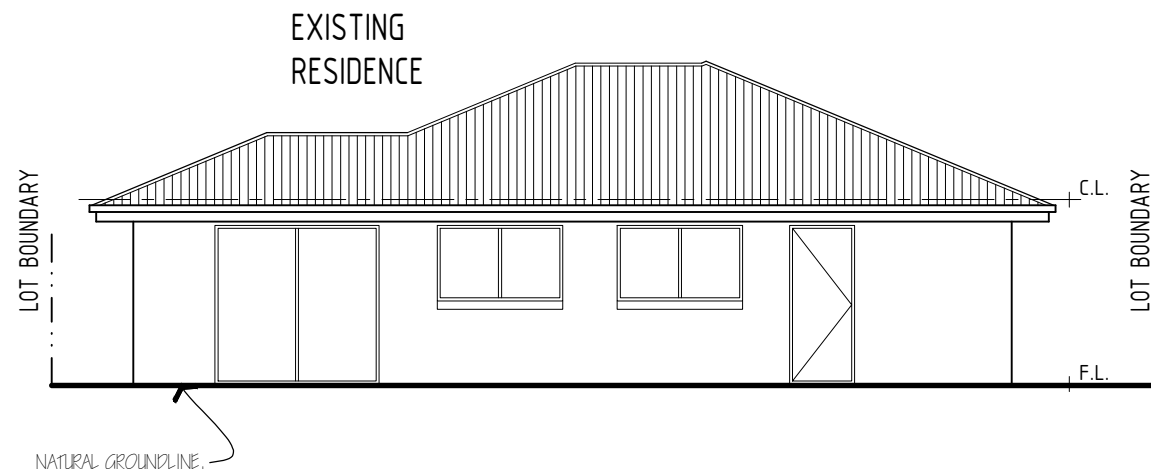
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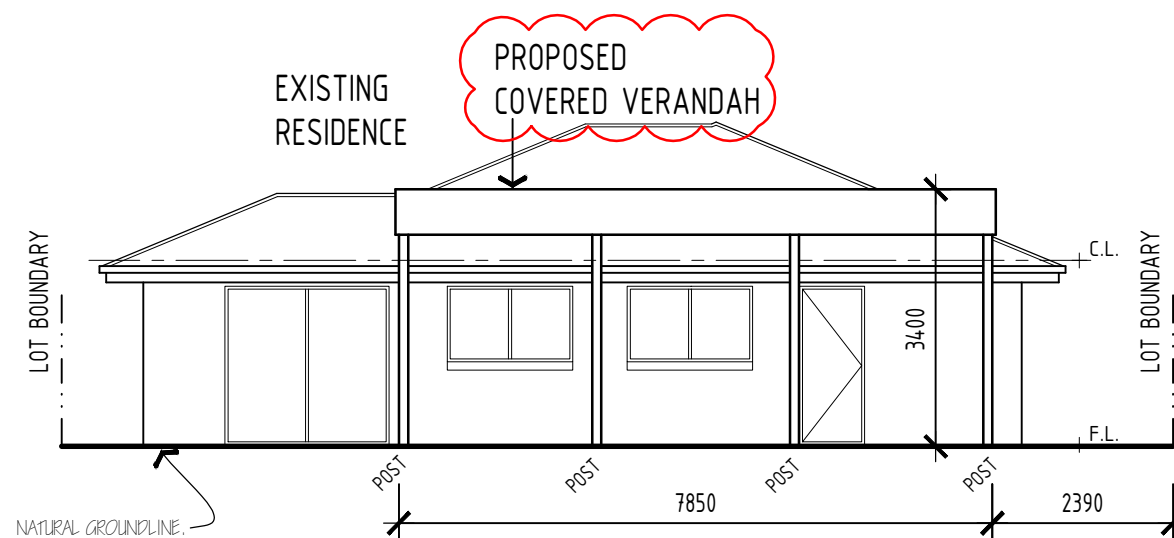
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EXISTING REAR / WEST ELEVATION



PROPOSED REAR / WEST ELEVATION

AREAS	m ²	imperial squares
EXISTING RESIDENCE:		
Ground Floor	150.8	16.23
Front Verandah	42.5	4.57
Garage	60.0	6.46
Front P.O.S.	138.0	
Rear P.O.S.	87.7	
PROPOSED ADDITION:		
Pergola	37.68	4.05
Site Area	671.0 metres ²	

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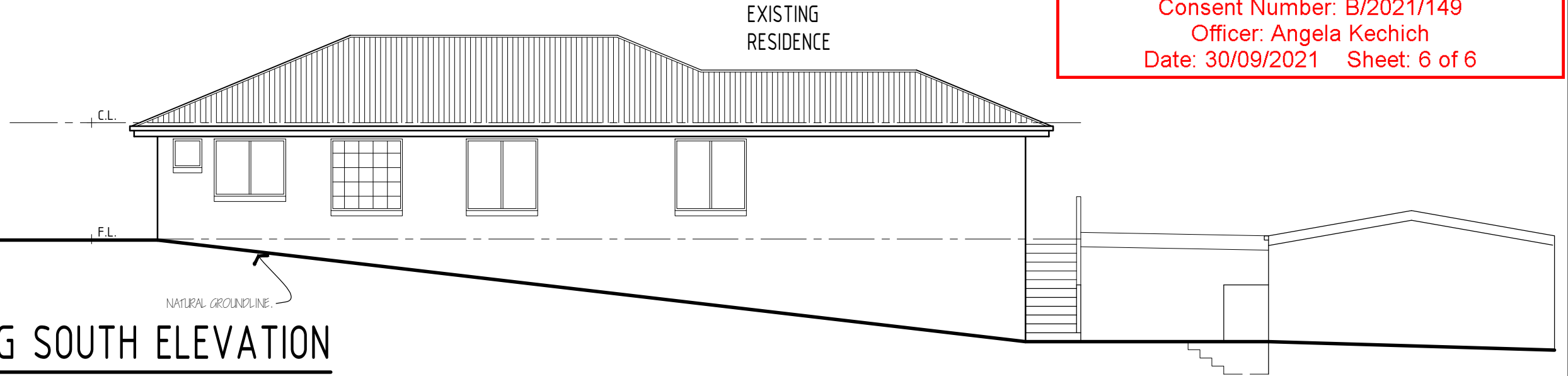
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NO.13A
ADJOINING
CAR SPACE

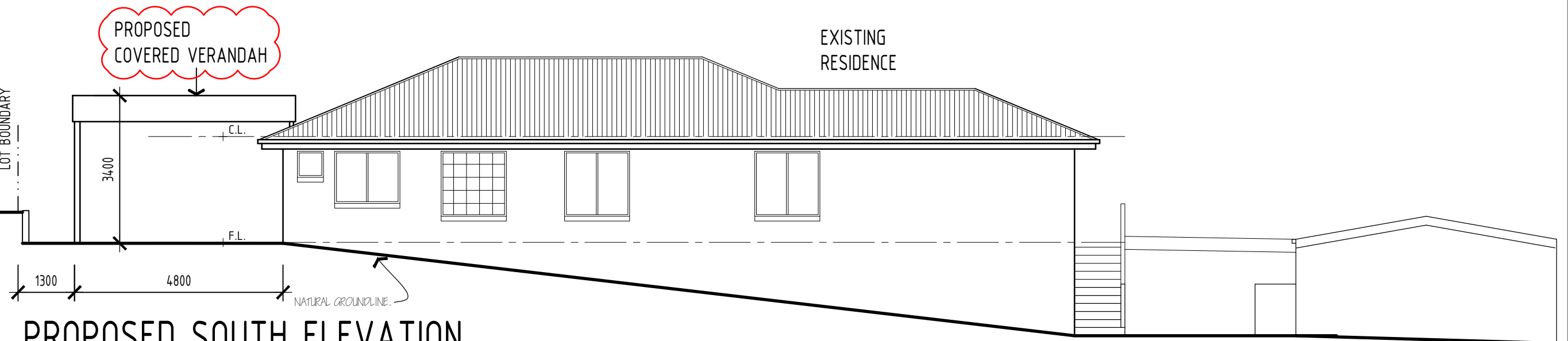
LOT BOUNDARY



EXISTING SOUTH ELEVATION

NO.13A
ADJOINING
CAR SPACE

LOT BOUNDARY



PROPOSED SOUTH ELEVATION

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