

1. ALL TIMBER FRAMING AND CONSTRUCTION TO BE IN ACCORDANCE WITH LATEST
2. TIMBER FRAMING CODE AS1684 AND NCC 2022
3. EXTERNAL WALL TO BE BRICK VENEER UNLESS STATED ON PLANS. WHEN LIGHTWEIGHT
4. CLADDING IS USED IT IS TO BE INSTALLED TO MANU SPEC AND SARKED AND INSULATED AS PER NCC 2022 AND EER
5. ALL INSULATION R VALUE AND WINDOWS (SHGC & U VALUE) AS PER EER AND
6. WINDOW MANU SPEC
7. ALL OPERABLE WINDOWS TO HAVE FLY SCREENS ON POWER COATED ALUMINIUM
8. FRAMES TO MATCH WINDOWS.
9. METALLIC FLY SCREEN ARE REQUIRED IN BUSH FIRE PRONE AREAS AS PER BAL LEVEL REFER TO STRUCTURAL ENGINEERS ATTACHED DOCUMENTATION FOR ALL STRUCTURAL
10. DETAILS, TIE DOWNS, ETC.
11. ALL LINTELS HEIGHTS AS INDICATED ON PLAN
12. ALL EXTERNAL WINDOWS TO HAVE BRICK ON EDGED WINDOW SILL WITH DAMP PROOF
13. MEMBRANE UNDER TO NCC 2022
14. DEVELOPMENT TO COMPLY WITH BEST PRACTICE GUIDELINES-PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES MARCH 2006
15. MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE BCA. ALL OTHER RELEVANT
16. CODES AND AUSTRALIAN STANDARDS
17. SMOKE ALARMS IN ACCORDANCE WITH PART 9.5 OF THE BCA AND AS 3786. WIRING TO AS3000
18. PROVIDE TERMITE PROTECTION TO CODE AND AS3660-2014
19. FFL TO BE CONFIRMED ONSITE BY REGISTERED SURVEYOR AND BUILDING CONTRACTOR PRIOR TO CONSTRUCTION
20. PROVIDE DOWN PIPES AS PART 7.4.5 OF THE NCC 2022
21. DRAINAGE TO COMPLY WITH PART 3.3.2 OF THE NCC 2022
22. CONDENSATION MANAGEMENT TO COMPLY WITH NCC 2022 PART 10.8
23. ALL STAIRS TO BE BUILT IN ACCORDANCE WITH THE NCC 2022 PART 11.2
24. LICENCED PLUMBER TO SUBMIT WORKS AS EXECUTED PLAN
25. FULL REVIEW TO BE UNDERTAKEN BY OWNER/BUILDER & FULL APPROVAL TO BE ISSUED PRIOR TO WORKING DRAWINGS BEING USED IN ANY WAY. NEW AGE DESIGN TAKES NO RESPONSIBILITY FOR AN LOSS INCURRED DUE TO PLAN ERRORS
26. 1.8 M HIGH STANDARD HARDWOOD PALING FENCE TO BOUNDARY
27. ALL FENCING TO COMPLY WITH FENCING CODE AND ANY APPLICABLE DEVELOPER CONDITIONS
28. NO INTERNAL DRAINAGE FOR PROPOSED STRUCTURE TO BE LOCATED IN SEWER EASEMENT/PIPE PROTECTION ENVELOPE - ALL WORKS DONE TO ACTEW GUIDELINES
29. GLAZING AND WINDOWS TO COMPLY WITH AS1288-2006 & AS2047-2014
30. ALL WC DOORS TO HAVE LIFT OFF HINGES AS PER NCC 2022
31. ALL WALL SARKINGS WILL BE VAPOUR PERMIABLE
32. BUILDING SEALED TO NCC 2022 SPEC
33. CONTROL JOINS TO AS3700-2018 OR AS4773.1.2-2015
34. ALL L'DRY AND WC TO HAVE MECH VENT OR NATURAL VENTILATION
35. NOTE: ALL SITE CUTS, FINISHED FLOOR AND GROUND LEVELS TO BE VERIFIED BY REGISTERED SURVEYOR
36. ALL BUILDING WASTE TO BE COLLECTED IN HOPPER LOCATED ON SITE. RESIDENTIAL WASTE TO BE COLLECTED BY ROAD SIDE PICKUP AND BINS TO BE LOCATED ON SITE.
37. NON-COMBUSTIBLE MATERIALS USED FOR EAVES, GUTTERS, FASCIAS WITHIN CLEARANCE ZONE
38. FRL - 60[60]60 TO STRUCTURE WITHIN 900MM OF ADJOINING BLOCKS

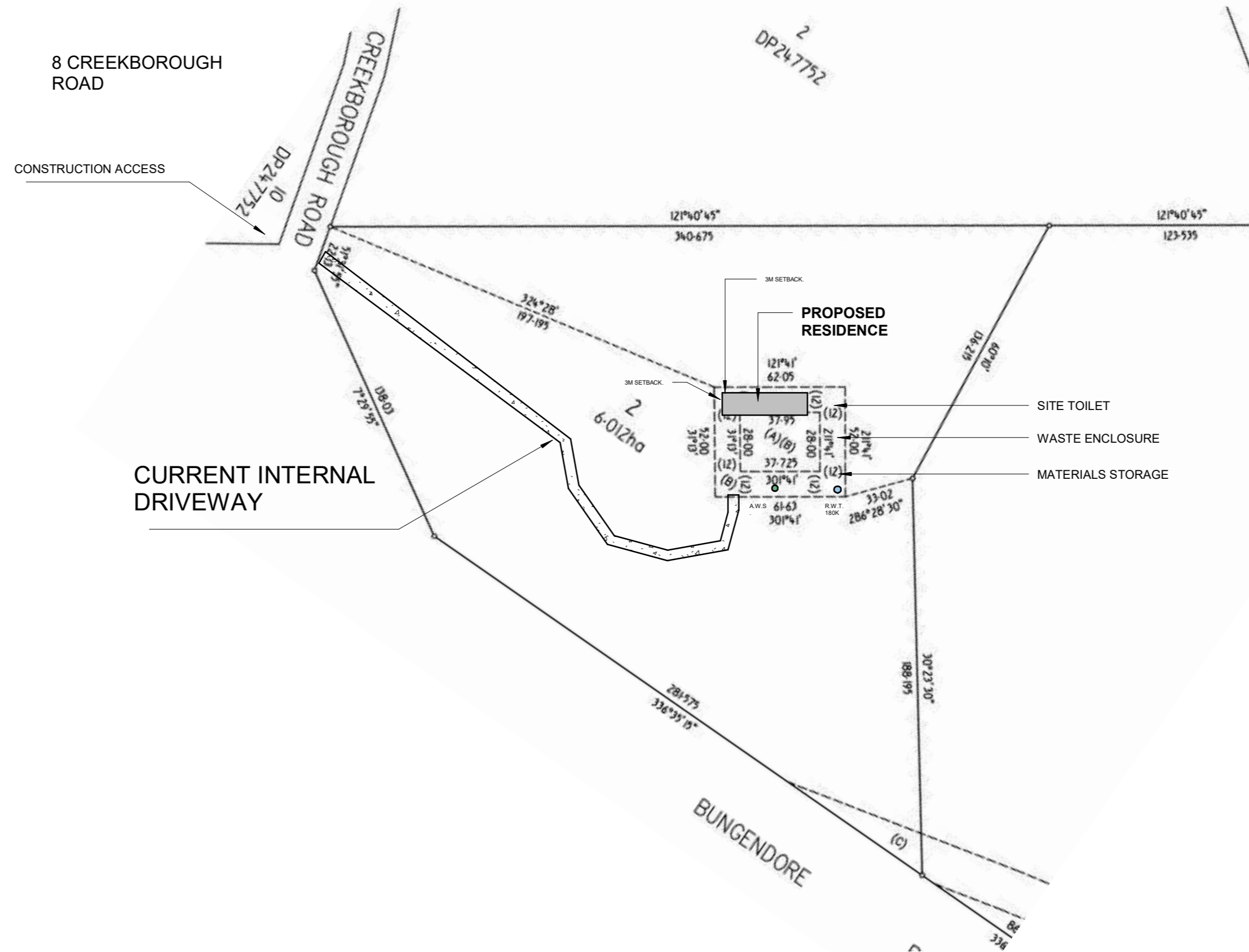
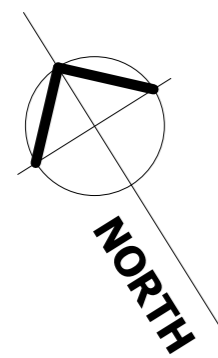
EROSION AND SEDIMENT CONTROL

THE DEVELOPMENT WILL COMPLY WITH THE ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, AUGUST 2007

- MAINTAIN AS MANY GRASSED AREAS AS POSSIBLE PARTICULARLY ON THE VERGES TO TRAP SOIL BEFORE IT REACHES THE ROADWAY AND STORMWATER SYSTEM. FENCE OFF UNDISTURBED AREAS.
- USE ONLY ONE EXIT/ENTRY TO THE SITE. BUILD A STABILISED ACCESS POINT BY USING ROAD BASE, 50MM AGGREGATE, RECYCLED CONCRETE OR SIMILAR.
- ASSIGN A DESIGNATED PARKING AREA. PARKING IS NOT PERMITTED ON VERGES.
- LIMIT ACCESS TO THE SITE DURING AND IMMEDIATELY AFTER WET WEATHER.
- KEEP STOCKPILES WITHIN THE SITE AREA AND AWAY FROM THE STORMWATER SYSTEM.
- INSTALL ONSITE WASTE COLLECTION.
- REGULARLY REMOVE ANY SEDIMENT FROM ROADS ADJACENT TO SITE. DO NOT WASH IT STORMWATER SYSTEM.
- INSTALL A SEDIMENT CONTROL BARRIER OF GEOTEXTILE FABRIC ON THE LOW SIDE/
- DESIGNATE A BRICK CUTTING AND WASH AREA AWAY FROM STORMWATER DRA
- LARGE ENOUGH TO CONTAIN ALL EXCESS WATER, RESIDUES AND WASTE.
- REGULARLY CHECK AND MAINTAIN POLLUTION CONTROLS THROUGHOUT CC

- VERGE AREA TO BE KEPT CLEAR OF VEHICLES BUILDING MATERIALS/EQUIPMENT
- SEDIMENT & EROSION CONTROL TO COMPLY WITH-BEST PRACTICE GUIDELINES-PREVENT POLLUTION FROM RESIDENTIAL BUILDING SITES - 2009
- THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE ENVIRONMENT PROTECTION AUTHORITY, ENVIRONMENT PROTECTION GUIDELINES FOR CONSTRUCTION AND LAND DEVELOPMENT IN THE ACT, MARCH 2011.

- SILT BARRIER DURING CONSTRUCTION TO LOW POINT OF SITE
- DOOR AND WINDOW LOCATIONS SUBJECT TO BRICK DIMENSIONS POSITIONS MAY NOT MATCH ELEVATIONS
- ARTIFICIAL LIGHTING IS TO COMPLY WITH NCC 2022 13.7.6
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH THE NCC 2022



Area Schedule

RESIDENCE	251.85 m ²
GARAGE	169.85 m ²
TOTAL	421.70 m ²

BLOCK AREA: 60,012 SQM
180,000 LTR RAINWATER TANK



MOBILE: 0409 946 200 PH: 6242 6234
E-MAIL: info@newagedrafting.com.au
WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
 THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
 any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details.
 ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT

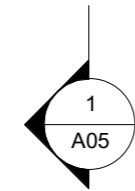
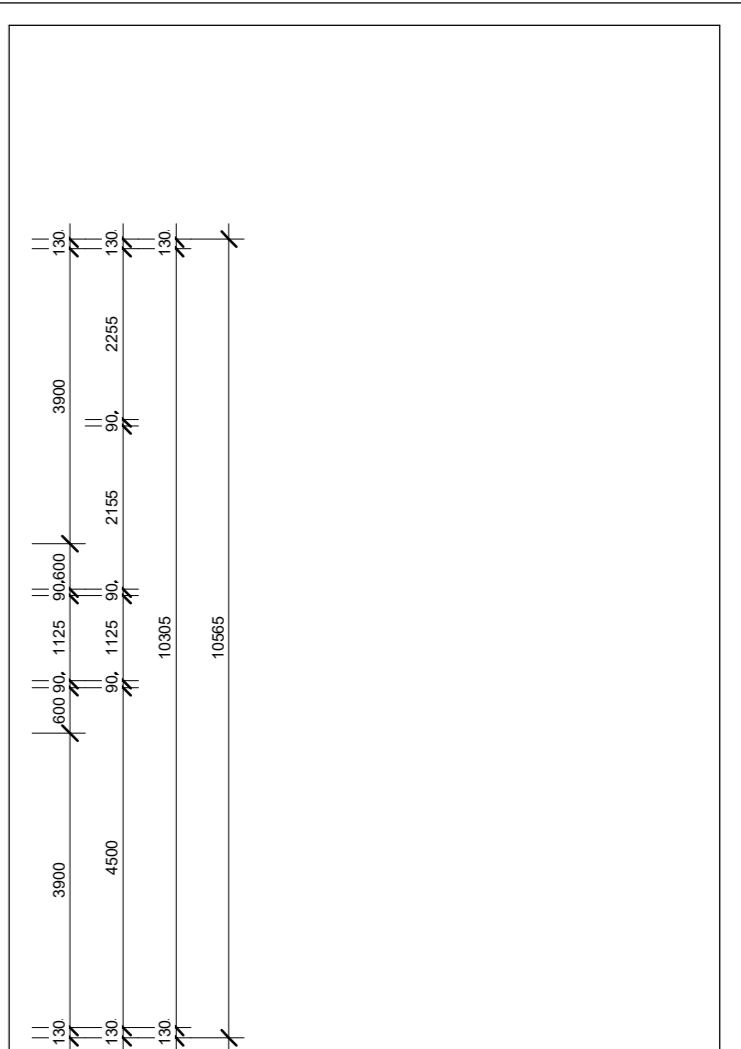
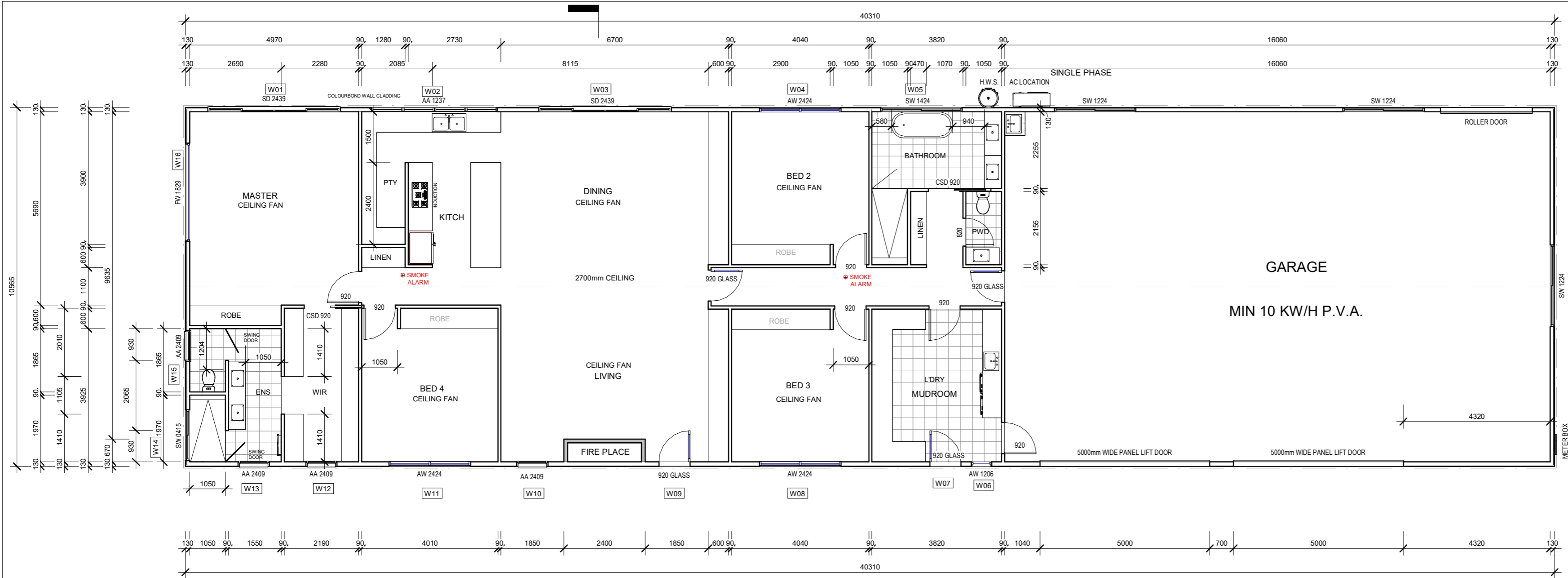
LOT 2 BYWONG

Site Plan

Project	24062
Date	4.2.25

A01

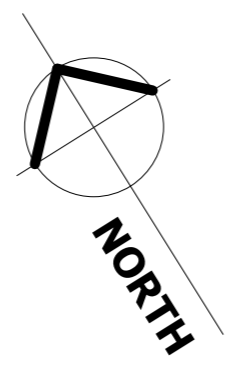
Scale	1 : 200
-------	---------



Area Schedule	
RESIDENCE	251.85 m ²
GARAGE	169.85 m ²
TOTAL	421.70 m ²

Roof Notes:
 All eaves, gutters to be colorbond quad guttering; installed to manufacturers specifications.
 All roofing to be installed to manufactures specifications- see attached (builder to provide).
 Provide fascia, flashing and parapet capping as required.
 Down pipes and spreaders to be colorbond to match guttering.
 Provide painted FCC or Mini Orb cladding linings to all eaves.

ALL BUILDING MATERIALS WITH 900MM OF BOUNDARY TO BE NON COMBUSTIBLE

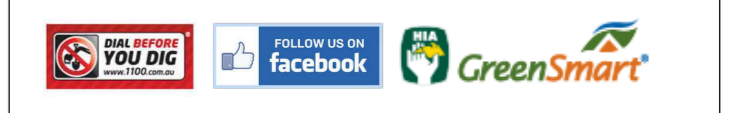


STANDARD WATER PROOFING NOTES-
 WATER PROOFING OF WET AREAS AS PER BUT NOT LIMITED TO AS 3740-
 WATERPROOFING NOT LESS THEN 150MM ABOVE FFL
 PENETRATIONS IN SHOWERS
 WALL AND FLOOR JUNCTIONS IN SHOWERS NOT LESS THEN 1800MM ABOVE FFL IN THE SHOWER AREA
 WATERPROOFING NOT LESS THEN 25MM ABOVE MAXIMUM RETAINED WATER LEVEL.
 SHOWER FLOOR TO BE FULLY WATERPROOFED AS PER AS 3740



MOBILE: 0409 946 200 **PH:** 6242 6234
E-MAIL: info@newagedrafting.com.au
WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
 THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
 any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details. ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT	
LOT 2 BYWONG	
Floor Plan	
Project	24062
Date	4.2.25
A02	
Scale	1 : 100



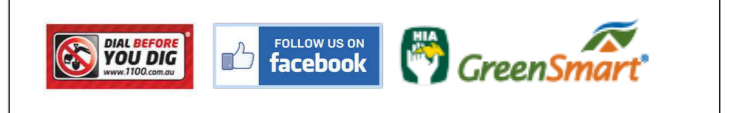
3D Perspective View

Drawing List		Window Schedule				Door Schedule				Area Schedule	
Sheet No.	Sheet Name	Count	Type	Height	Width	Count	Type	Height	Width		
A00	Cover Sheet	1	AW 1206	1200	600	1	820	2400	820	RESIDENCE	251.85 m ²
A01	Site Plan	3	AW 2424	2400	2400	2	CSD 920	2400	920	GARAGE	169.85 m ²
A02	Floor Plan	4	AA 2409	2400	920	6	920	2400	920	TOTAL	421.70 m ²
A03	Elevations	1	FW 1829	1800	2900	4	920 GLASS	2400	920		
A04	Elevations	1	AA 1237	1200	3700	1	ROLLER DOOR	2300	2700		
A05	SECTION	1	SW 0415	400	1500	2	5000mm WIDE PANEL LIFT DOOR	2300	5000		
A06	Notes	3	SW 1224	1200	2400	2	SD 2439	2400	3900		
A07	Perspective	1	SW 1424	1400	2400						
		Total: 15				Total: 18					



MOBILE: 0409 946 200 PH: 6242 6234
 E-MAIL: info@newagedrafting.com.au
 WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
 THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



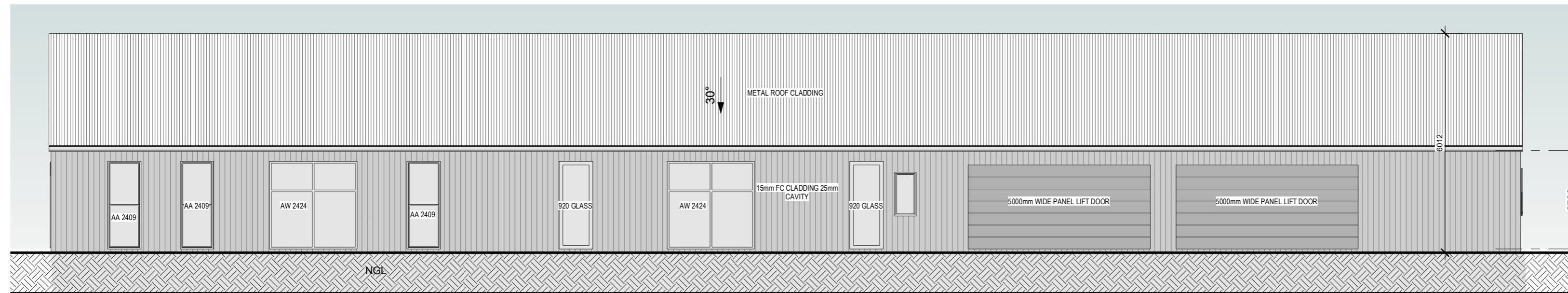
-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
 any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details.
 ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT
LOT 2 BYWONG
Cover Sheet

Project 24062
 Date 4.2.25

A00

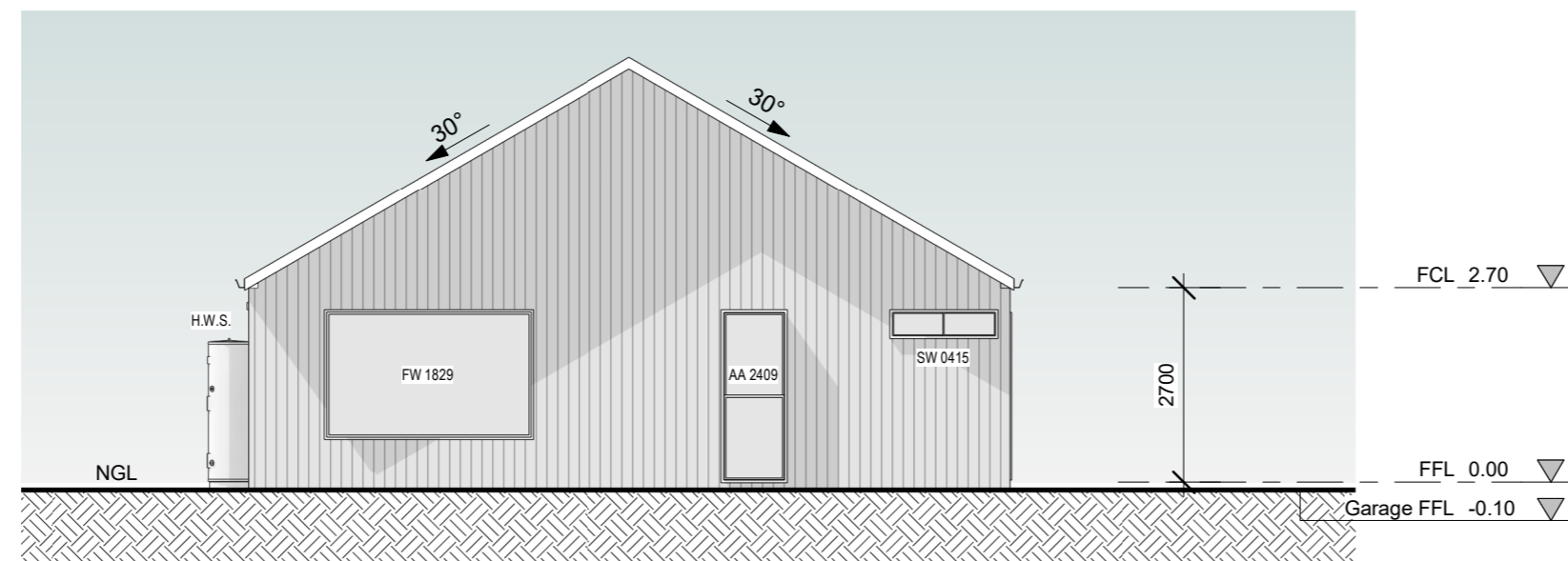
Scale



FCL 2.70 ▼
 FFL 0.00 ▼
 Garage FFL -0.10 ▼

South

1 : 100



FCL 2.70 ▼
 FFL 0.00 ▼
 Garage FFL -0.10 ▼

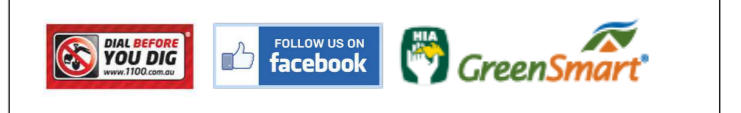
West

1 : 100



MOBILE: 0409 946 200 PH: 6242 6234
 E-MAIL: info@newagedrafting.com.au
 WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
 THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
 any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details. ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT

LOT 2 BYWONG

Elevations

Project	24062
Date	4.2.25

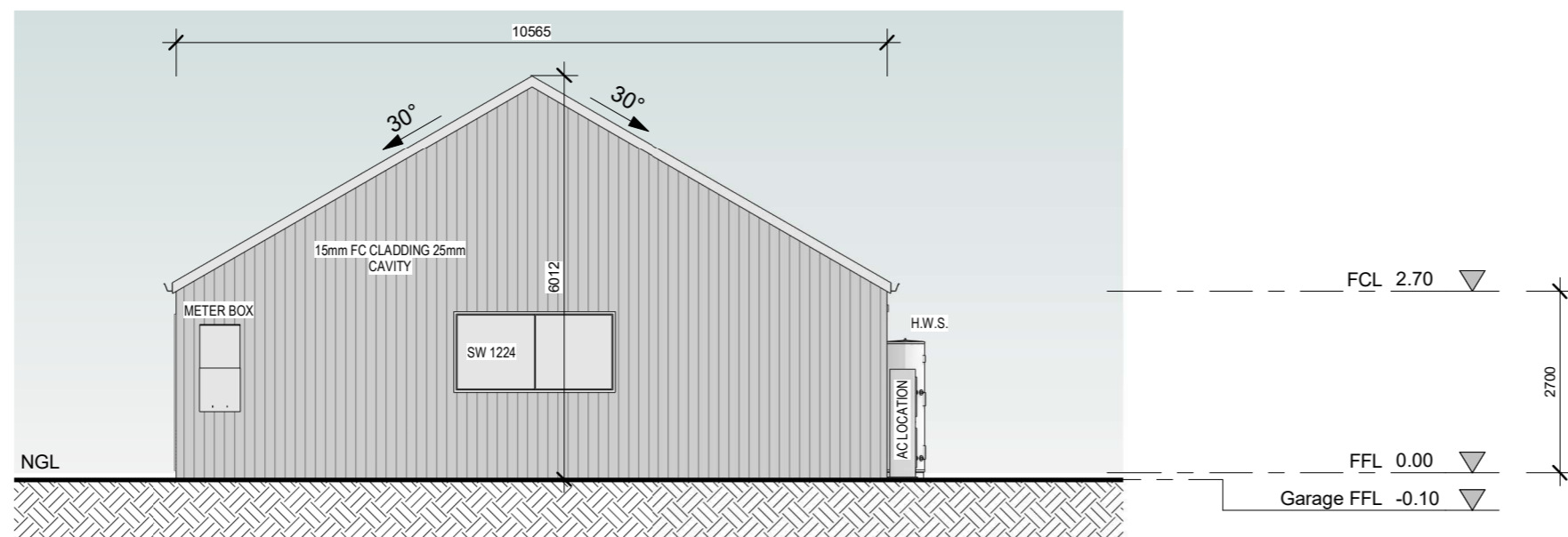
A03

Scale	1 : 100
-------	---------



North

1 : 100



East

1 : 100

FCL 2.70
FFL 0.00
Garage FFL -0.10



MOBILE: 0409 946 200 PH: 6242 6234
E-MAIL: info@newagedrafting.com.au
WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details. ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT

LOT 2 BYWONG

Elevations

Project	24062
Date	4.2.25

A04

Scale	1 : 100
-------	---------



3D View



MOBILE: 0409 946 200 PH: 6242 6234

E-MAIL: info@newagedrafting.com.au

WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details. ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT

LOT 2 BYWONG

Perspective

Project 24062

Date 4.2.25

A07

Scale

PART 5.6 MASONRY COMPONENTS AND ACCESSORIES

5.6.4 Mortar Joints

- (1) Unless otherwise specified, masonry bed and perpendicular joints must have a nominal thickness of 10 mm.
- (2) Raked joints are not to be used in saline environments or areas subject to heavy industrial airborne pollution.
- (3) Where raked joints are used the depth of raking must not be—
 - (a) closer than 5 mm to any perforation in cored unit masonry or 20 mm in hollow unit masonry; or
 - (b) more than 5 mm for masonry units at least 90 mm wide; or
 - (c) more than 10 mm for masonry units at least 110 mm wide

DOORS AND WINDOWS

All windows to be aluminium framed, unless otherwise specified.

LIGHTS

To comply with NCC 2022 Part 13.7.6

WATER HEATER

In hot water supply system to comply with NCC 2022 Part 13.7.7

TIMBER FRAMING

All timber works to be done in accordance with the timber framing code and manufacturers spec. Frames to be built and constructed to AS 1684.

INSULATION REQUIREMENTS

Refer to EER report.

BUSHFIRE

There is no bushfire mitigation on this block

WALL TIES

Standard to AS 2699.1

Type A

Spacing: to AS 4773.2 Clause 9.7 and 10.6

Corrosion protection to AS 2699.1

FLASHING AND DAMP PROOF COURSE

Standard to AS 2904

BRICKS

Materials and construction to AS 4773.1 Clause 4.3

Standard to AS 4455.1 and 4455.3

Mortar materials sand: fine aggregate with a low clay content and free from efflorescing salts, selected for grading and colour for brickwork.

Proportions: to AS 4773.1 Table 3.1

BUILT IN COMPONENTS

Durability class of built in components to AS 4773.1 table 4.1

STEEL LINTELS

Angles and flats sizes to AS 4773.1 table 12.1, cold framed lintels designed to AS 4600, corrosion protection to AS 2699.3

Galvanizing: do not cut after galvanizing.

5.6.8 Vertical Articulation Joints

5.6.8 Vertical articulation joints

(1) Vertical articulation joints must be provided in masonry walls in accordance with (2), except in walls constructed on where the soil classification is A or S (see 4.2.24).

(2) Articulation joints between masonry elements must have a width of not less than 10 mm and be provided (see Figures 5.6.8a and 5.6.8b)—

(a) in straight, continuous walls with openings less than 900 mm x 900 mm or walls without openings — at not more than 6 m centres and within 4.5 m, but not closer than 470 mm of all corners; and

(b) in straight, continuous walls with openings more than 900 mm x 900 mm — at not more than 5 m centres and located so that they are not more than 1.2 m away from openings; and

(c) where the height of the wall changes by more than 20% — at the position of change in height; and

(d) where a wall changes in thickness; and

(e) at control or construction joints in footings or slabs; and

(f) at junctions of walls constructed of different masonry materials.

(3) Articulation joints must not be located adjacent to arched openings.

(4) Articulation joints must be filled with flexible sealant that is supported during installation by—

(a) a compressible foam or polystyrene filler (see Figures 5.6.8d and 5.6.8e); or

(b) a purpose made backer rod (see Figures 5.6.8c, 5.6.8d, 5.6.8e and 5.6.8f).

NCC 2022 PART 10.4.2 construction of sanitary compartments

The door to fully close in sanitary compartments must—

a) open outwards, or

b) slide, or

c) be readily removable from outside of compartment, unless there is a clear space of at least 1.2m, measured in accordance with figure 10.4.2, between the closed pan within the sanitary compartment and the doorway.

(1) The or of artificial lighting, excluding heaters that emit light, must not exceed the allowance of—

(a) 5 W/m² in a Class 1 building; and

(b) 4 W/m² on a verandah, balcony or the like attached to a Class 1 building; and

(c) 3 W/m² in a Class 10a building associated with a Class 1 building.

(2) The allowance in (1) may be increased by dividing it by the relevant adjustment factor for a control device in (6) as applicable.

(3) When designing the or , the power of the proposed installation must be used rather than nominal allowances for exposed batten holders or luminaires.

(4) If halogen lamps are installed, they must be separately switched from fluorescent lamps.

(5) Artificial lighting around the perimeter of a building must—

(a) be controlled by a daylight sensor; or

(b) have an average light source efficacy of not less than 40 Lumens/W.

(6) Where head openings are less than 1.2 m

(b) Beneath and door sills.

(c) continuous through the wall or pier and be visible from the outside face of the wall.

(d) 150 mm above the adjacent ground level; or

(e) 75 mm above the finished surface level of adjacent paved, concreted or landscaped areas that slope away from the wall; or

(f) 50 mm above finished paved, concreted or landscaped areas complying with 3.3.3(b)(ii) and protected from the direct effects of the weather by a carport, verandah or the like; or

(g) 15 mm above finished paved, concreted or landscaped areas; or

(h) 0 mm above finished paved, concreted or landscaped areas if the is protected from the direct effects of the weather by a carport, verandah or the like.

(3) Sill and head serving openings must be—

(a) installed so that the extends not less than 150 mm beyond the reveals on each side of the opening; and

(b) located not more than—

(i) one course below the sill brick course; and

(ii) 300 mm above the opening; and

(c) turned up in the not less than 150 mm above the opening; and

(d) embedded not less than 30 mm into—

(i) for masonry veneer, the masonry leaf; and

(ii) for masonry, the outer masonry leaf; and

(e) attached to the or wall framing

(f) for masonry veneer, the masonry leaf; and

(g) attached to the or wall framing

(h) attached to the or wall framing

(i) attached to the or wall framing

(j) attached to the or wall framing

(k) attached to the or wall framing

(l) attached to the or wall framing

(m) attached to the or wall framing

(n) attached to the or wall framing

(o) attached to the or wall framing

(p) attached to the or wall framing

(q) attached to the or wall framing

(r) attached to the or wall framing

(s) attached to the or wall framing

(t) attached to the or wall framing

(u) attached to the or wall framing

(v) attached to the or wall framing

(w) attached to the or wall framing

(x) attached to the or wall framing

(y) attached to the or wall framing

(z) attached to the or wall framing

(aa) attached to the or wall framing

(ab) attached to the or wall framing

(ac) attached to the or wall framing

(ad) attached to the or wall framing

(ae) attached to the or wall framing

(af) attached to the or wall framing

(ag) attached to the or wall framing

(ah) attached to the or wall framing

(ai) attached to the or wall framing

(aj) attached to the or wall framing

(ak) attached to the or wall framing

(al) attached to the or wall framing

(am) attached to the or wall framing

(an) attached to the or wall framing

(ao) attached to the or wall framing

(ap) attached to the or wall framing

(aq) attached to the or wall framing

(ar) attached to the or wall framing

(as) attached to the or wall framing

(at) attached to the or wall framing

(au) attached to the or wall framing

(av) attached to the or wall framing

(aw) attached to the or wall framing

(ax) attached to the or wall framing

(ay) attached to the or wall framing

(az) attached to the or wall framing

(ba) attached to the or wall framing

(bb) attached to the or wall framing

(bc) attached to the or wall framing

(bd) attached to the or wall framing

(be) attached to the or wall framing

(bf) attached to the or wall framing

(bg) attached to the or wall framing

(bh) attached to the or wall framing

(bi) attached to the or wall framing

(bj) attached to the or wall framing

(bk) attached to the or wall framing

(bl) attached to the or wall framing

(bm) attached to the or wall framing

(bn) attached to the or wall framing

(bo) attached to the or wall framing

(bp) attached to the or wall framing

(bq) attached to the or wall framing

(br) attached to the or wall framing

(bs) attached to the or wall framing

(bt) attached to the or wall framing

(bu) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

(bv) attached to the or wall framing

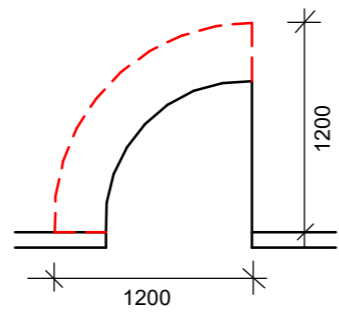


FIG. 10.4.2.

MORTAR MIXING

Measure volumes accurately to achieve the documented proportions, machine mix for at least 6 minute.

Bond: stretcher bond.

Clearance for timber frame shrinkage: as follows: Timber frame shrinkage in brick veneer timber frame construction, leave clearance between window frames and brick sills and between roof frames and brick veneer as follows:

Accommodate for unseasoned floor timbers, single story frames and ground floor windows 10mm , 2 storey frames and upper floor windows 20mm.

(c) Mortar joints: Externally tool to give a dense water shedding finish.

Internally if walls are to be plastered to not rake more than 10mm to give a key.

Thickness: 10mm

Face brickwork: Clean progressively as the work proceeds to remove mortar smears, stains and discoloration. Do not erode joints if using pressure spraying.

Sills and thresholds: Solidly bed sills and thresholds and lay them with the top surface drain away from the building.

Cavity work: Provide minimum cavity widths in conformance with the following.

Masonry walls 50mm.

Masonry veneer walls 40mm between the masonry leaf and the load bearing frame and a 25mm min. gap between the masonry leaf and sheet bracing.

FLASHING Location: Sandwich flashing between mortar except where on lintels.

Pointing: Point up joints around flashing to fill voids.

5.7.5 Weepholes (1) Except where excluded by (2), open perpendicular joints (weepholes) must be created in the course immediately above any (including above any acting as a) and be—

(a) a minimum of 50 mm in height, by the width of the vertical mortar joint; and

(b) at not more than 1.2 m centres; and

(2) Weepholes are not in the following locations:

(a) Where head openings are less than 1.2 m

(b) Beneath and door sills.

(c) continuous through the wall or pier and be visible from the outside face of the wall.

(d) 150 mm above the adjacent ground level; or

(e) 75 mm above the finished surface level of adjacent paved, concreted or landscaped areas that slope away from the wall; or

(f) 50 mm above finished paved, concreted or landscaped areas complying with 3.3.3(b)(ii) and protected from the direct effects of the weather by a carport, verandah or the like; or

(g) 15 mm above finished paved, concreted or landscaped areas; or

(h) 0 mm above finished paved, concreted or landscaped areas if the is protected from the direct effects of the weather by a carport, verandah or the like.

(3) Sill and head serving openings must be—

(a) installed so that the extends not less than 150 mm beyond the reveals on each side of the opening; and

(b) located not more than—

(i) one course below the sill brick course; and

(ii) 300 mm above the opening; and

(c) turned up in the not less than 150 mm above the opening; and

(d) embedded not less than 30 mm into—

(i) for masonry veneer, the masonry leaf; and

(ii) for masonry, the outer masonry leaf; and

(e) attached to the or wall framing

(f) for masonry veneer, the masonry leaf; and

(g) attached to the or wall framing

(h) attached to the or wall framing

(i) attached to the or wall framing

(j) attached to the or wall framing

(k) attached to the or wall framing

(l) attached to the or wall framing

(m) attached to the or wall framing

(n) attached to the or wall framing

(o) attached to the or wall framing

(p) attached to the or wall framing

(q) attached to the or wall framing

(r) attached to the or wall framing

(s) attached to the or wall framing

(t) attached to the or wall framing

(u) attached to the or wall framing

(v) attached to the or wall framing

(w) attached to the or wall framing

(x) attached to the or wall framing

(y) attached to the or wall framing

(z) attached to the or wall framing

(aa) attached to the or wall framing

(ab) attached to the or wall framing

(ac) attached to the or wall framing

(ad) attached to the or wall framing

(ae) attached to the or wall framing

(af) attached to the or wall framing

(ag) attached to the or wall framing

(ah) attached to the or wall framing

(ai) attached to the or wall framing

(aj) attached to the or wall framing

(ak) attached to the or wall framing

(al) attached to the or wall framing

(am) attached to the or wall framing

(an) attached to the or wall framing

(ao) attached to the or wall framing

(ap) attached to the or wall framing

CLASS 4 VAPOUR CONTROL MEMBRANE TO ALL EXTERNAL WALLS

90X35 PINE PLATES AND NOGGINS 90X45 PINE STUDS 450MM EXTERNAL SPACING

ALL TIMBER FRAMING & BRACING TO BE IN ACCORDANCE WITH THE TIMBER FRAMING CODE PLASTERBOARD INTERNAL WALLS AND CEILINGS

ROOF PITCH AS INDICATED ON ELEVATIONS / SECTION
EAVE OVERHANG AS INDICATED ON PLAN

ROOF CLADDING AS INDICATED ON PLANS / ELEVATION / SECTION
BATTEN SPACING AS PER MANUFACTURER'S SPECIFICATION
PREFABRICATED ROOF TRUSSES AND SPACING AS PER MANUFACTURER'S SPECIFICATION
LINTEL SIZES AS PER TRUSS MANU. CHARTS AND ENGINEERS DETAIL

CEILING INSULATION-AS INDICATED ON EER
WALL INSULATION-AS INDICATED ON EER
(INSULATION TO BE INSTALLED AROUND PIPES AND SERVICES

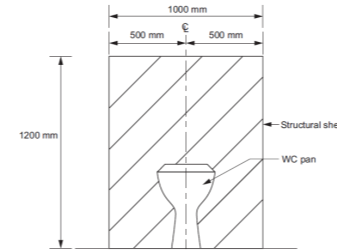
ALL MECHANICAL VENTILATION TO BE DUCTED DIRECTLY OUTSIDE ROOF SPACE IN ACCORDANCE WITH NCC VOL 2 & ABCB HOUSING PROVISIONS STANDARD 2022 PART 10.8.2
FLOW RATE OF MECHANICAL SYSTEMS TO COMPLY WITH NCC VOL 2 & ABCB HOUSING PROVISIONS STANDARD 2022 PART 10.8.2

R4 INSULATION TO EXISTING AND PROPOSED CEILINGS
R2 INSULATION TO EXISTING AND PROPOSED WALLS
INSULATION TO BE INSTALLED AS PER EER
CLASS 4 VAPOUR CONTROL MEMBRANE TO ALL EXTERNAL WALLS
INSULATION TO BE INSTALLED AROUND PIPES AND SERVICES

ALL EXTERNAL SWING DOORS AND INTERNAL ACCESS DOOR TO BE FULLY SEALED
WINDOW SPECIFICATION AS PER EER
HSD2 STAIRWAY AND RAMP CONSTRUCTION
SLIP RESISTANCE TO BE COMPLIANCE TO NCC WHEN TEST IN ACCORDANCE TO AS4586

ALL CONCRETE FOOTINGS & SLABS IN ACCORDANCE WITH ENGINEERS DETAILS CONCRETE SLABS & FOOTING TO COMPLY
WITH AS 2870.1 PROVIDE CONTINUOUS DAMP PROOF MEMBRANE
UNDER SLAB ROOF & EXTERNAL WALL COLOURS NOT TO BE WHITE OR OFF WHITE AS MEASURED AGAINST NCC

Figure 6.2g: Location of sheeting for a wall behind a toilet pan



COMPLIANCE WITH STANDARDS

THE CONSTRUCTION MUST COMPLY WITH RELEVANT AUSTRALIAN STANDARDS, INCLUDING THE FOLLOWING:
AS 3700 - 2011 MASONRY STRUCTURES
AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION
AS 4440 - 2004 INSTALLATION OF NAILED TIMBER ROOF TRUSSES
AS 2740 - 2019 WATERPROOFING OF DOMESTIC WET AREAS
AS 2047 - 2014 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS
AS 1288 - 2000 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS4586 - 2015 SLIP RESISTANCE CLASSIFICATION OF NEW PEDESTRIAN SURFACE MATERIALS

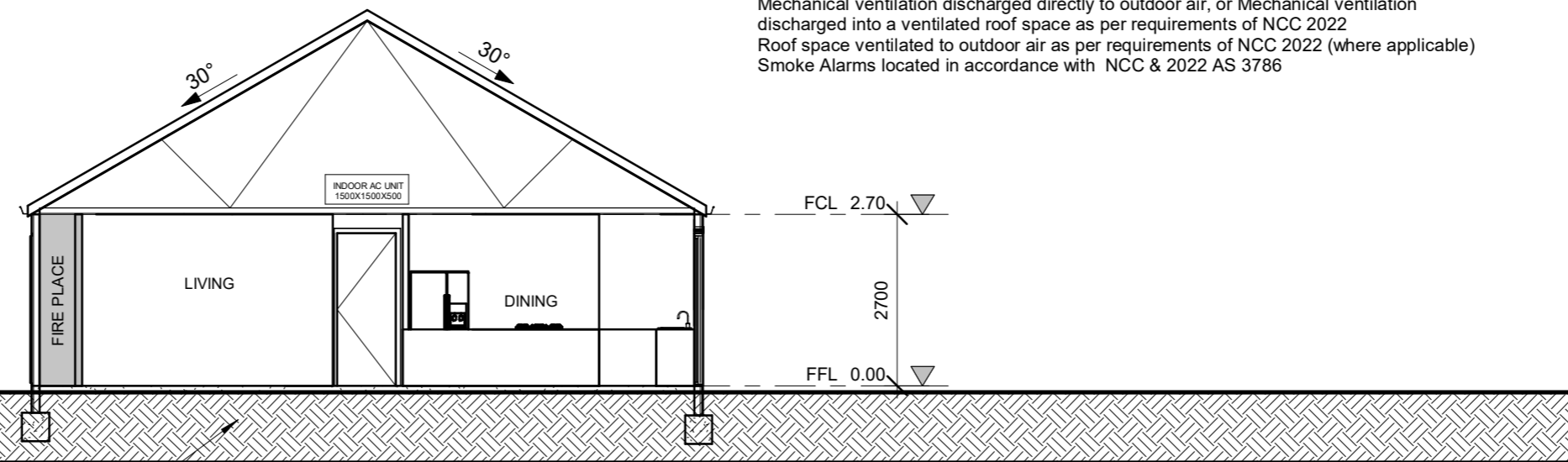
COMPLIANCE WITH NCC

THE CONSTRUCTION MUST COMPLY WITH RELEVANT ELEMENTS OF THE NATIONAL CONSTRUCTION CODE 2015 (VOLUME TWO), INCLUDING THE FOLLOWING:
PART 3.6 GLAZING
PART 3.7.2 SMOKE ALARMS
PART 3.8.1 WET AREAS AND EXTERNAL WATERPROOFING
PART 3.9.1 STAIR CONSTRUCTION
PART 3.4.1 SUBFLOOR VENTILATION

REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR ALL CONSTRUCTION DETAILS.
ANY CHANGES TO THE STRUCTURAL ENGINEERS DRAWINGS ARE TO BE ADVISED AND CONFIRMED WITH THE ENGINEER, CERTIFIER AND ARCHITECT FOR SIGN OFF PRIOR TO CONSTRUCTION ON SITE.

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH NCC 2022

- Drainage & Roof Plumbing in accordance with AS/NZS 3500.3
- Concrete & reinforcement in accordance with AS 3600
- Residential Slab construction in accordance with AS2870
- Vapour barriers and damp-proofing membranes in accordance with AS 2870
- Steel Framing in accordance with AS/NZS 4600, AS 4100
- Welding in accordance with AS/NZS 1554.1
- Timber framing in accordance with AS1684.2 or AS1720.1, AS1720.5
- Timber Weatherboards fixed in accordance with NCC 2022
- Eaves & Soffit linings in accordance with NCC 2022
- Flashings to Wall openings in accordance with NCC 2022, Part 2
- Selection & Installation of Windows to AS 2047
- Window Glass type in accordance with AS 1288
- Masonry Veneer in accordance with AS 3700, AS 4773.1 & AS 4773.2
- Waterproofing membranes in accordance with AS 3740 & NCC 2022 Part 2
- Sheet Metal Roofing in accordance with AS 1562.1
- Plasterboard Linings in accordance with AS/NZS 2589
- Fibre Cement Lining in accordance with AS AS/NZS 2908.2
- Wall Cladding in accordance with NCC 2022 Part 2 of NCC and/or Manufacturers Specifications
- Vapour barriers and damp-proofing membranes in accordance with AS 2870
- Electrical Installed in accordance with AS/NZS 3000
- Artificial Lighting to Bathrooms, airlocks & laundries installed as per AS/NZS 1680.0
- Plumbing & Drainage in accordance with AS/NZS 3500 & Plumbing Code of Australia 2022
- Sarking & Wall wrap in accordance with AS/NZS 4200.1, be installed to manufacturers specifications & AS 4200.2
- Mechanical ventilation discharged directly to outdoor air, or Mechanical ventilation discharged into a ventilated roof space as per requirements of NCC 2022
- Roof space ventilated to outdoor air as per requirements of NCC 2022 (where applicable)
- Smoke Alarms located in accordance with NCC & 2022 AS 3786



CONTROLLED FILL ZONE TO ENGINEERS SPECIFICATIONS

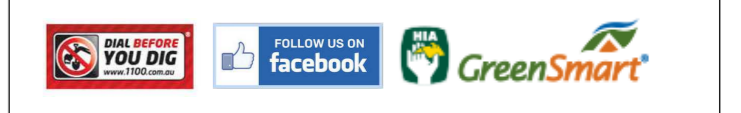
Section 1

1 : 100



MOBILE: 0409 946 200 PH: 6242 6234
E-MAIL: info@newagedrafting.com.au
WEB: www.newagedrafting.com.au

© COPYRIGHT NEW AGE DESIGN SERVICES
THIS DESIGN REMAINS THE INTELLECTUAL PROPERTY OF NEW AGE DESIGN SERVICES PTY LTD. LEGAL ACTION WILL RESULT IF ANY PART OF THIS DOCUMENT IS REPRODUCED IN PART OR IN WHOLE WITHOUT WRITTEN PERMISSION.



-All levels, dimensions, aspects, areas etc are to be confirmed by owner/builder before commencing works. dimensions take preference over scale. owner/builder to verify dimensions before commencing works/ordering materials.
any discrepancy found in areas, dimensions aspects etc to be reported to New Age Design Services before proceeding with works. all construction work to be done in accordance with the Building Code of Australia/relevant codes and engineers details.
ground lines as indicated must be confirmed onsite by a registered surveyor. confirm the location of subterranean services prior to works. Dial before you dig.

SIMON DWIGHT
LOT 2 BYWONG
SECTION

Project 24062
Date 4.2.25

A05

Scale 1 : 100