

Sheet List			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision
A100	Sheet List, Notes and BASIX	13/01/2023	A
A101	Site Plan	13/01/2023	A
A102	Floor Plan	13/01/2023	A
A103	Elevations and Section	13/01/2023	A
A104	3D Views	13/01/2023	A

General Notes

1. Do Not Scale Plans – Use printed dimensions only.
2. All dimensions are to the timber framework.
3. The builder, and / or subcontractor shall verify all dimensions, levels, setbacks, and specifications prior to commencing any works or ordering materials, and shall be responsible for ensuring that all building works conform to codes such as, but not limited to, the BCA and NCC. All materials and installations are to adhere to all relevant codes and regulations.
4. These drawings shall be read in conjunction with any relevant engineering drawings, or any other consultant drawings that have been issued as part of the approvals. Engineering design takes precedence over any architectural details.
5. Design and Assist accepts no responsibility for errors because of reliance on these drawings. It is the builders and subcontractors' responsibility to verify all details prior to construction. For any clarification of dimensions please contact Design and Assist.
6. All boundaries and contours are approximate only and are subject to survey if required.
7. Drawings shall only be used within the limitation of the issuing notation. For example, drawings shall not be used for construction unless issued is clearly issued for construction.
8. It is the builder's responsibility to ensure complete adherence to all BASIX requirements regardless of the inclusion or exclusion of the details on these drawings.
9. All termite protection and waterproofing to be installed as per BCA and NCC. No details of this have been included on the drawings due to the renovation nature of the work and the integration of new to old requiring partial demolition.
10. No specification has been provided for the inclusions of this renovation. All inclusions to be listed by the client for the builder and the builder is to interpret these drawings in conjunction with the selections to ensure the clients brief is fulfilled and the relevant codes and manufacturers installation requirements are met. Do not rely on this drawing solely for rough in positioning.
11. The builder is to ensure all DA and CC requirements are met. They should make available to themselves full copies of both the DA and CC approvals.
12. Bathroom and ensuite niche heights and sizes along with floor wastes to be verified with the client prior to construction, as this may be subject to tiling layouts and sizes. No such requirements have been considered in the sizing and positioning of these on the plans.
13. Vanity and mirror heights are subject to the vanity and bowl selection chosen by the client. The builder is to verify these details prior to construction.
14. Tap heights and positioning is subject to the clients' selections. These drawings show indicative positioning and type, and the builder is to verify these prior to construction.
15. All timber framing to be designed by engineer or framing company. Drawing details are indicative only.



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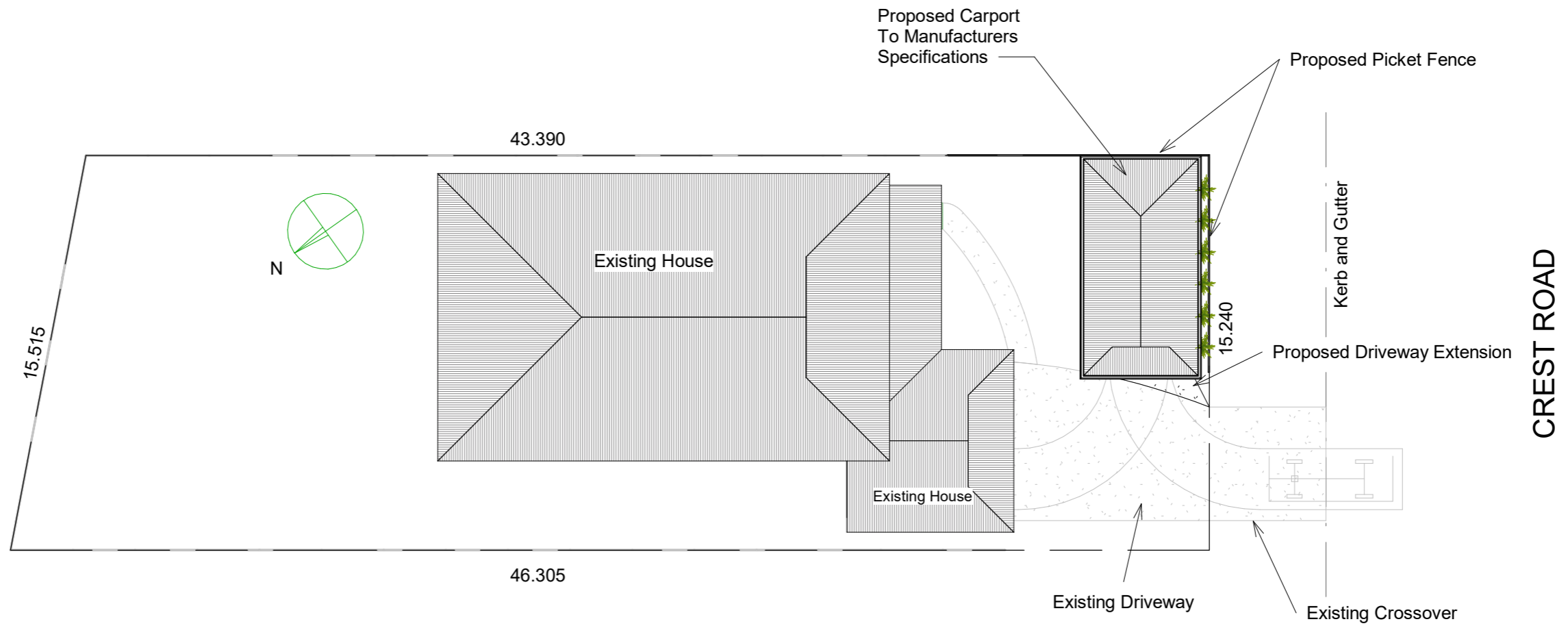
No.	Description	Date
A	Concept Plan Issue	26/10/2022

Client Name
Darren and Nicole Britten

Site Address
Lot 149, 31 Crest Road Albion Park

Sheet List, Notes and BASIX

Date	Issue Date	A100
Drawn by	Massimo	
Current Revision	A	
		Scale



1 Site
1 : 200



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No.	Description	Date
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Client Name
Darren and Nicole Britten

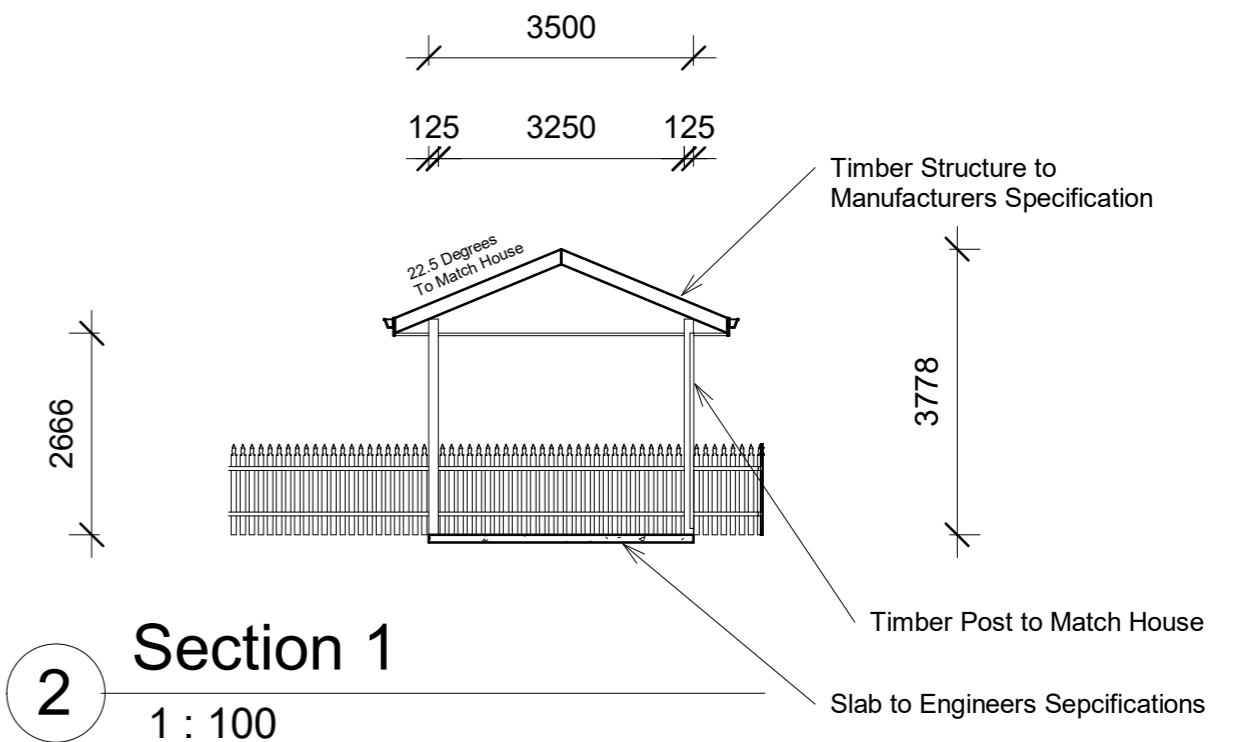
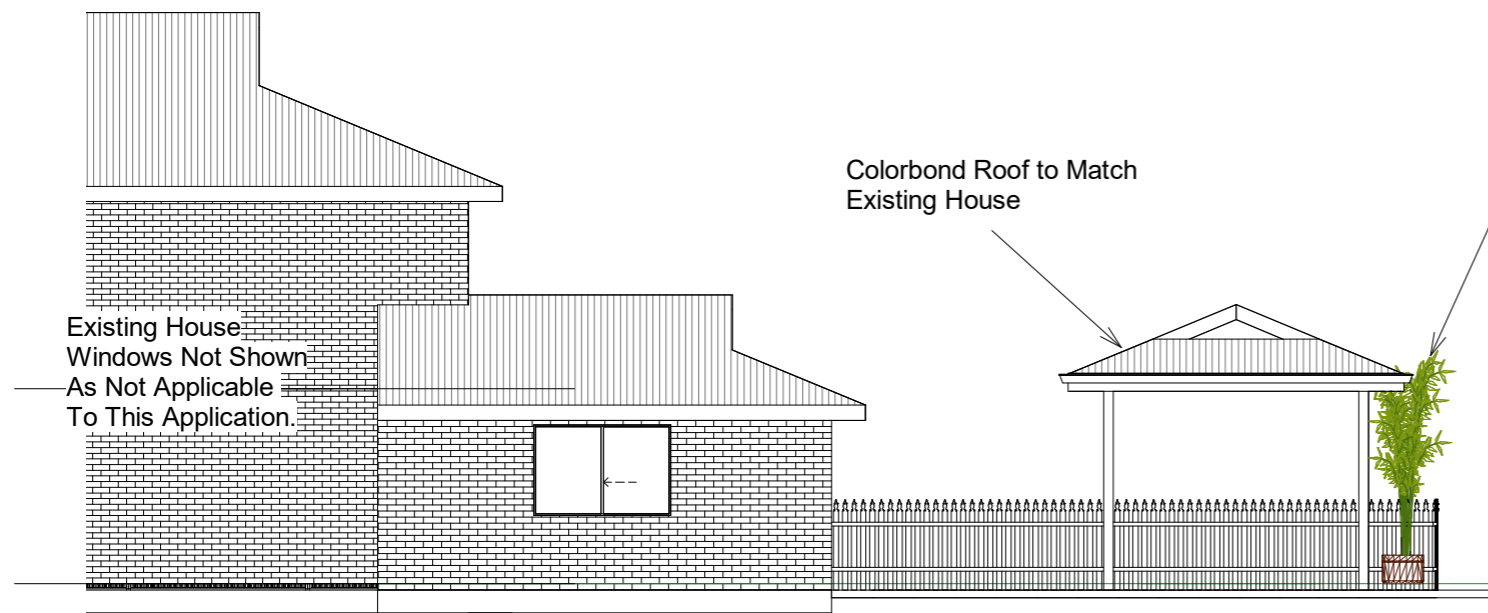
Site Address
Lot 149, 31 Crest Road Albion Park

Site Plan

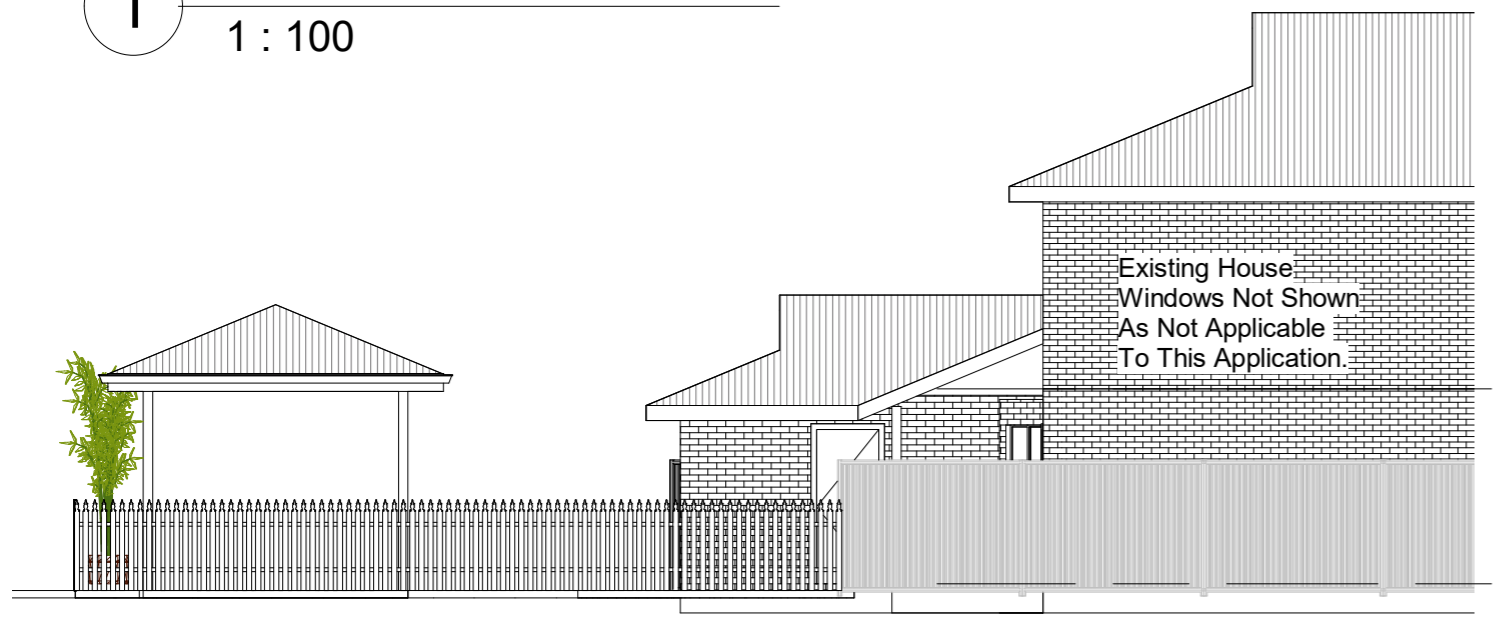
Date	Issue Date
Drawn by	Massimo
Current Revision	A

A101

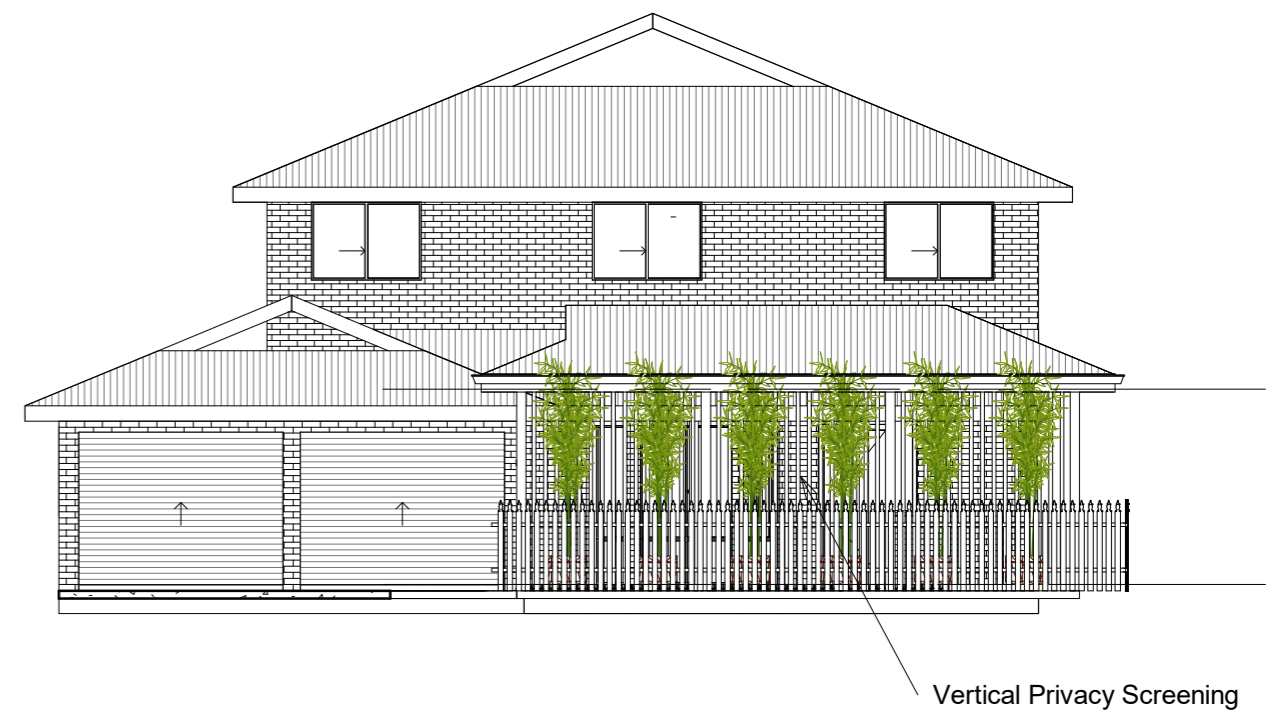
Scale 1 : 200



1 West Elevation
1 : 100



3 East Elevation
1 : 100



4 South Elevation
1 : 100

No.	Description	Date
A	Concept Plan Issue	26/10/2022

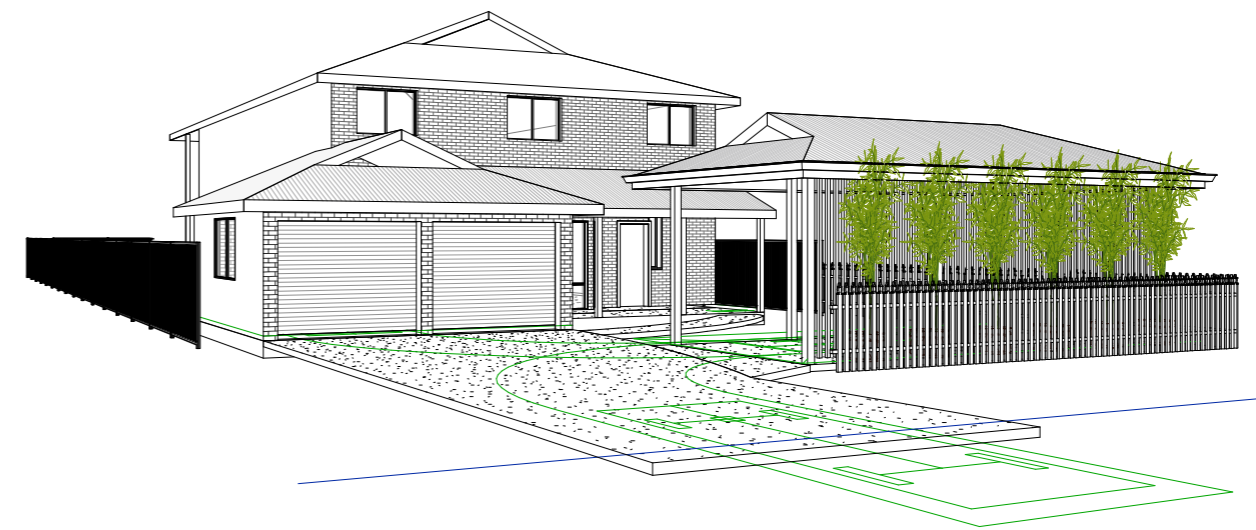
Client Name
Darren and Nicole Britten

Site Address
Lot 149, 31 Crest Road Albion Park

Elevations and Section		A103
Date	Issue Date	
Drawn by	Massimo	
Current Revision	A	Scale 1 : 100



1 3D View 1



2 3D View 2



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No.	Description	Date
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Client Name
Darren and Nicole Britten

Site Address
Lot 149, 31 Crest Road Albion Park

3D Views		A104
Date	Issue Date	
Drawn by	Massimo	
Current Revision	A	Scale