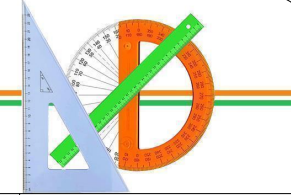
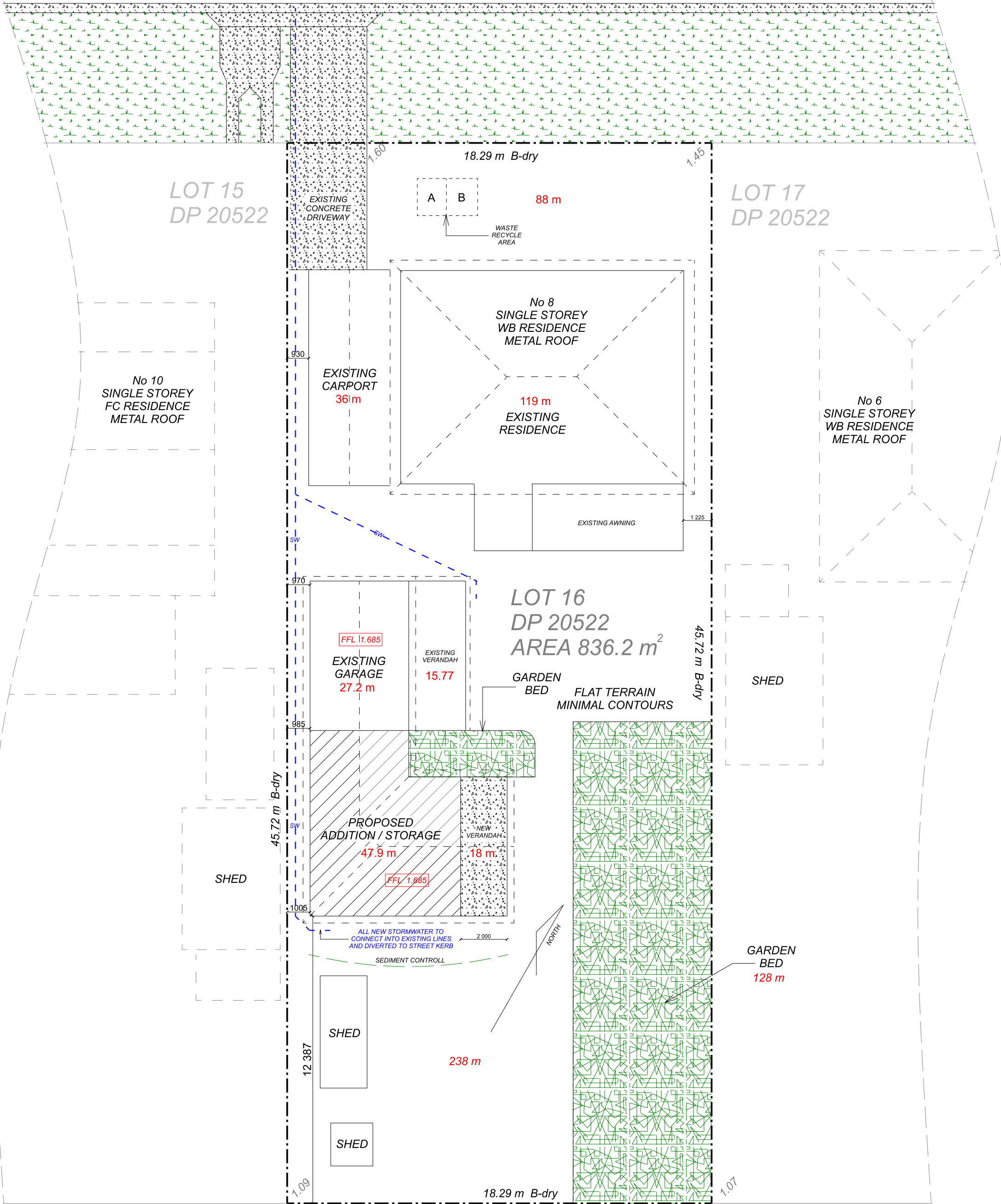




Page 1 Cover Page
 Page 2 Site-Plan & Analysis
 Page 3 Floor Plan & Elevations
 Page 4 Section Detail & Areas
 Page 5 Sewer location map



PROPOSED ADDITIONS & ALTERATIONS TO AN EXISTING GARAGE FOR: David Carlton & Tracy Knorr 8 Adam Street BLACKALLS PARK						
Building Class: 10a	Drawing No: 24-713	Paper size: 450 x 320 mm				
Date: 18-03-2024 <small>CC Amendments 22-08-2024</small>	Floor Area Existing 27.2 m ² Floor Area Additions 49.9 m ²	Design by M.W.	Draw by M.W.	Checked by C.W.	Approved by Michael White	ALL IN ONE DRAFTING 02 4393 2191



SP 76084

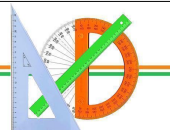
Site-Plan

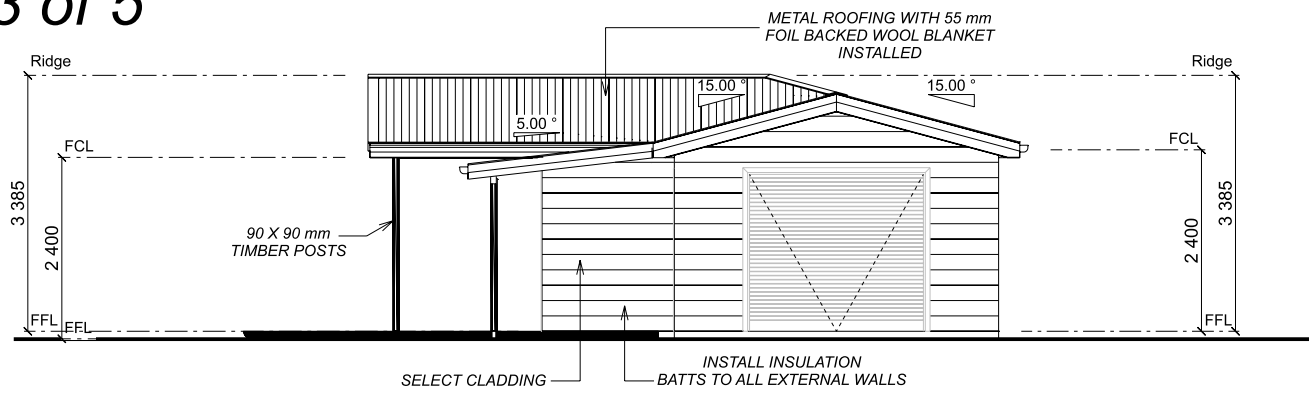
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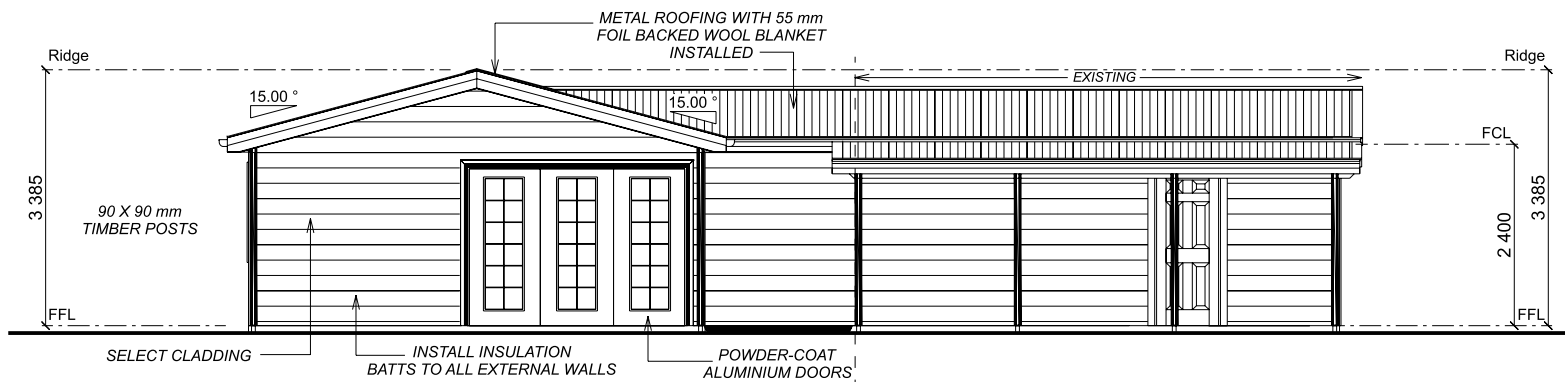


PROPOSED ADDITIONS & ALTERATIONS TO AN EXISTING GARAGE FOR:
David Carlton & Tracy Knorr
8 Adam Street
BLACKALLS PARK

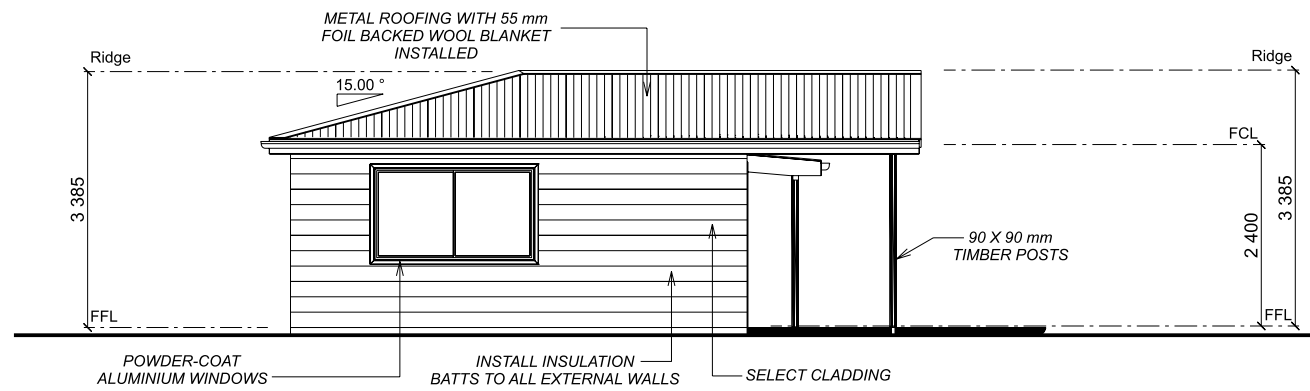
Building Class: 10a	Drawing No: 24-713	Paper size: 450 x 320 mm		
Date: 18-03-2024 CC Amendments 22-08-2024	Floor Area Existing 27.2 m ² Floor Area Additions 49.9 m ²	Design by: M.W. Drawn by: M.W. Checked by: C.W. Approved by: Michael White		



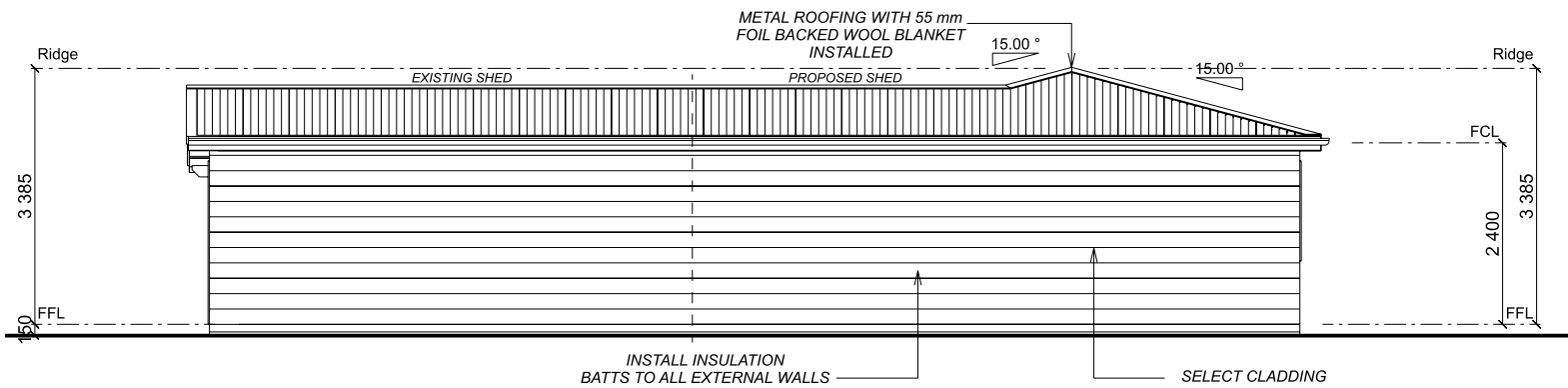
North-Elevation
SCALE: 1:100



East-Elevation
SCALE: 1:100



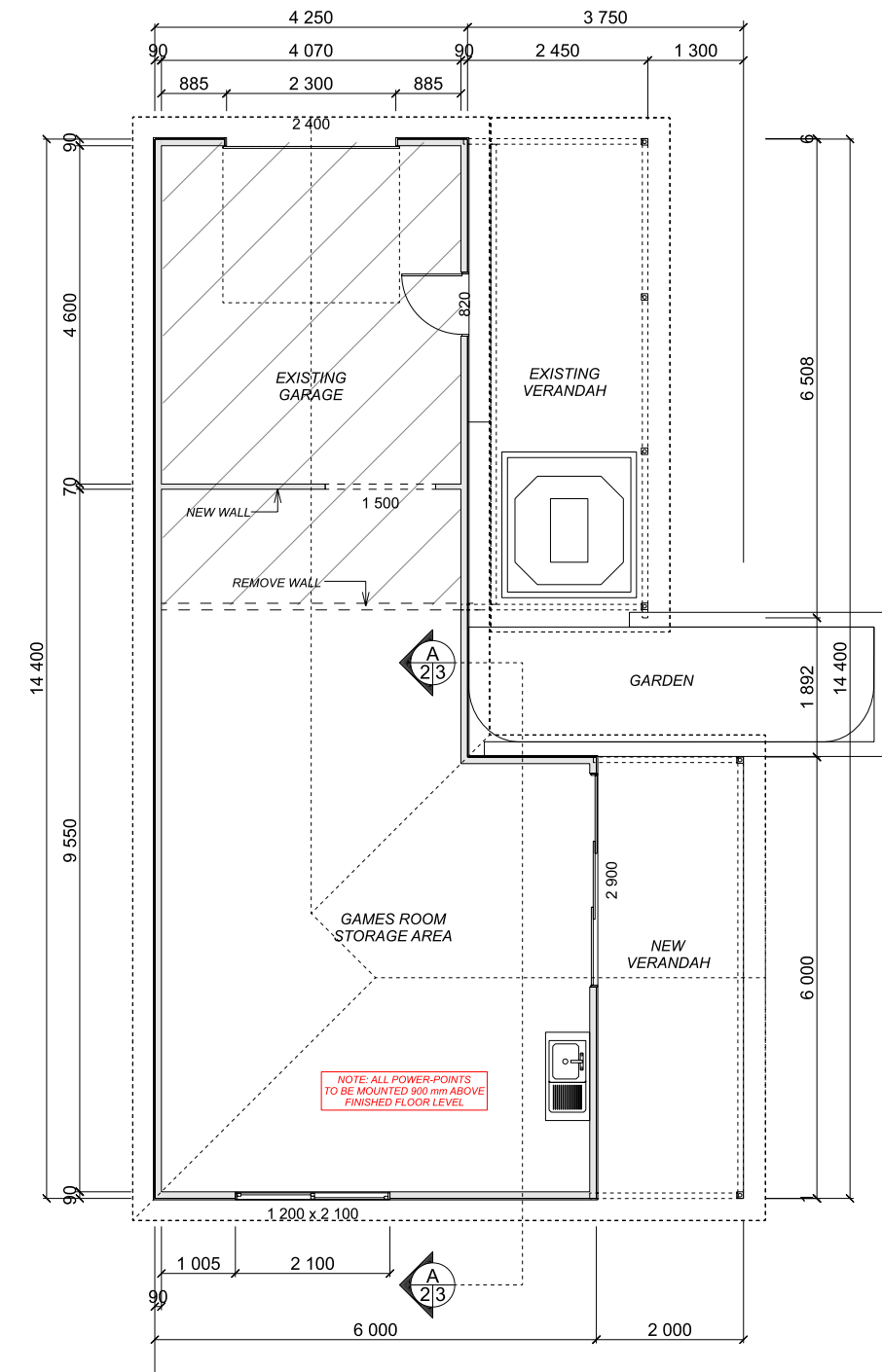
South-Elevation
SCALE: 1:100



West-Elevation
SCALE: 1:100



Any material located 2.65m AHD or lower than will need to be made of flood compatible materials in accordance with DA Condition 12.



Main-Floor-Plan
SCALE: 1:100

PROPOSED ADDITIONS & ALTERATIONS TO AN EXISTING GARAGE FOR:
David Carlton & Tracy Knorr
8 Adam Street
BLACKALLS PARK

Building Class: 10a

Drawing No: 24-713

Paper size:
450 x 320 mm

Date: 18-03-2024
CC Amendments 22-08-2024

Floor Area Existing 27.2 m²
Floor Area Additions 49.9 m²

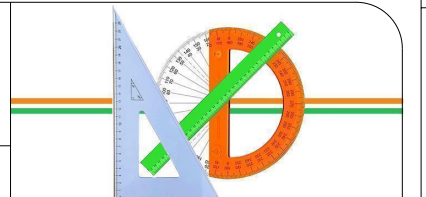
Design by
M.W.

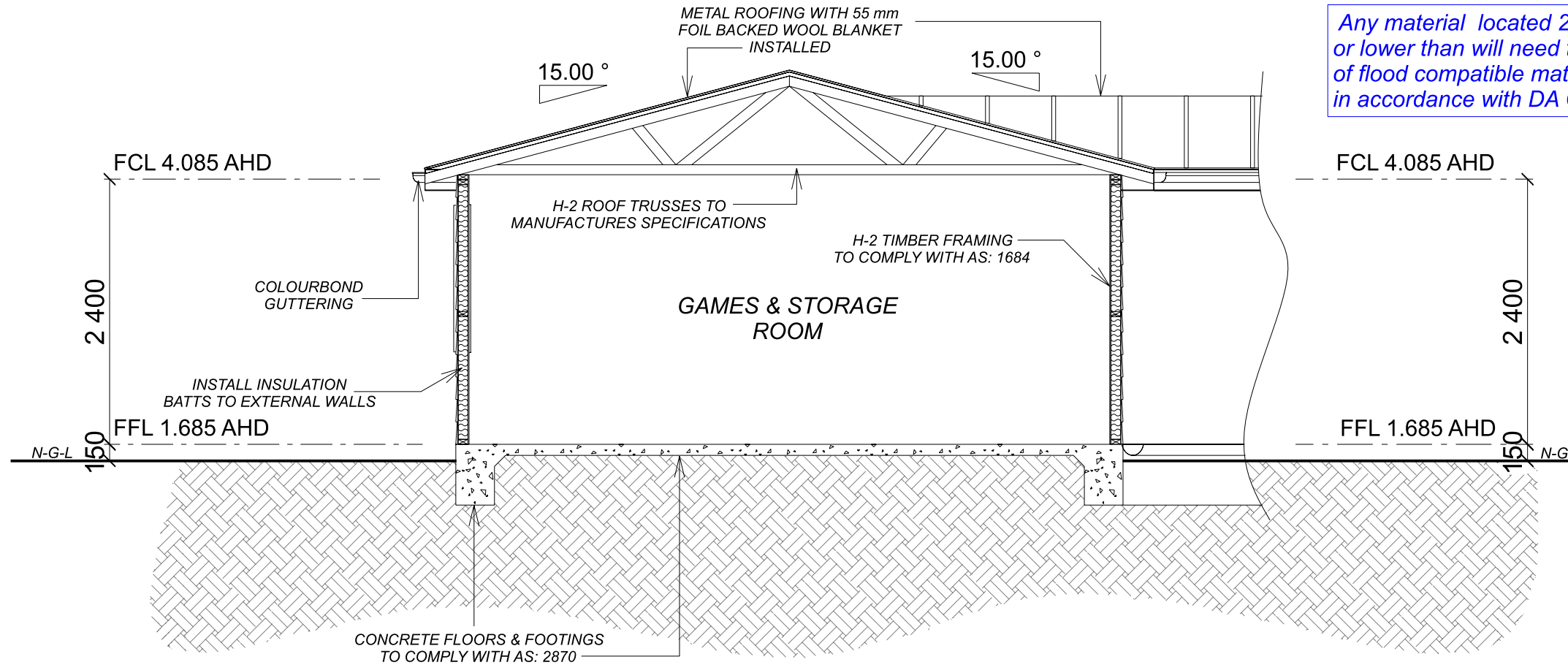
Draw by
M.W.

Checked by
C.W.

Approved by
Michael White

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Any material located 2.65m AHD or lower than will need to be made of flood compatible materials in accordance with DA Condition 12.



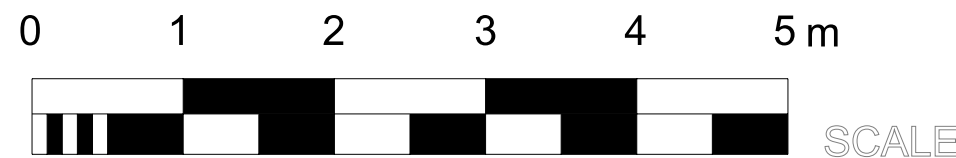
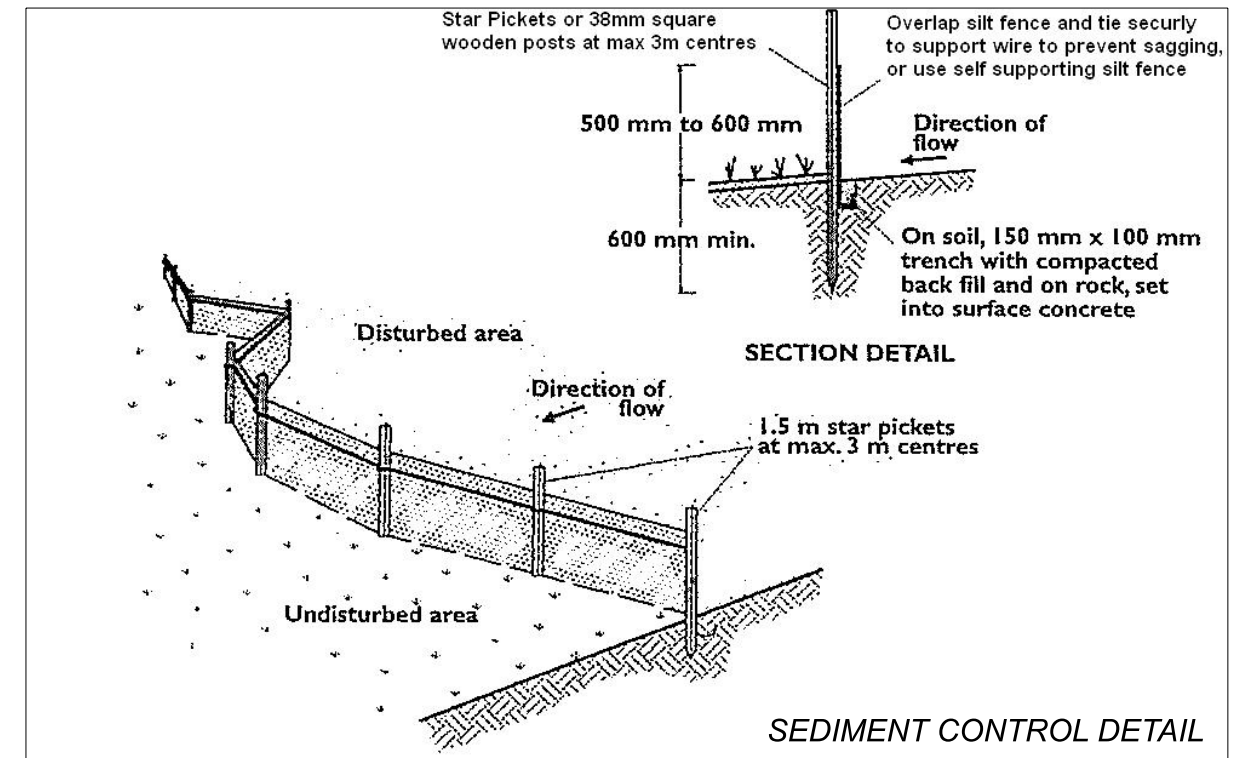
Section-AA
SCALE: 1:50

SITE SAFETY

- Hard Hats Must Be Worn
- High Visibility Vest Must Be Worn
- Eye Protection Must Be Worn
- Foot Protection Must Be Worn

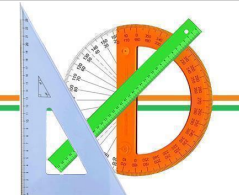
LANDSCAPING	
SITE AREA	836.2 m ²
FRONT GRASS AREA	79 m ²
REAR GARDEN BEDS	128 m ²
REAR GRASS AREA	238 m ²
GROSS LANDSCAPING	445 m ²
LANDSCAPING %	53.21 %

SITE COVERAGE	
SITE AREA	836.2 m ²
EXISTING DWELLING	119 m ²
EX-GARAGE	27.2 m ²
EX-AWNING	15.77 m ²
GARAGE ADDITION	47.9 m ²
EX-CARPORT	36 m ²
NEW AWNING	18 m ²
EX-SHED	13 m ²
GROSS AREA	306.87 m ²
TOTAL SITE COVER %	36.69 %



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BLACKALLS PARK

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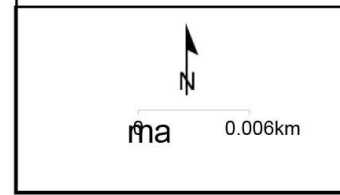


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Map 1

Sequence No: 236366313



IMPORTANT
THIS PLAN IS NOT TO BE USED FOR CONVEYANCING
 THIS INFORMATION IS VALID FOR 30 DAYS FROM THE DATE OF ISSUE

SEWER/WATER/RECYCLED WATER/
 ELECTRICAL - UTILITY DATA
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 SERVICE LOCATIONS ARE APPROXIMATE.
 HAND DIG UNTIL ACTUAL LOCATIONS ARE IDENTIFIED.
 PROPERTY SERVICES ARE NOT SHOWN.

ANY INFORMATION ON THIS PLAN MAY NOT BE UP TO DATE
 AND THE CORPORATION ACCEPTS NO RESPONSIBILITY FOR
 ITS ACCURACY.
 CADASTRAL DATA © Department Finance, Services & Innovation
 [Nov 2017]



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