

PROJECT DETAILS

Project Name: PROPSOED RENOVATION
Client Name: SKYE CAMPIGLI & MARK NORTH
Project Address: BLOCK 2 SECTION 9 WESTON

Project No: TENDER 05
Print Date: 02.10.2024

BLACK LINE CONCEPTS PTY LTD

ABN: 60 669 301 437

info@bldesign.com.au

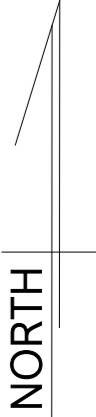
0407 233 621



Drawing List

Drawing List			
Sheet No	Sheet Name	Designed By	Drawn By
001	PROPOSED SITE PLAN	N.EGAN	N.EGAN
002	EXISTING FLOOR PLAN	N.EGAN	N.EGAN
003	DEMOLITION PLAN	N.EGAN	N.EGAN
004	TREE MANAGEMENT PLAN	B.LAW	N.EGAN
005	ROOF PLAN	N.EGAN	N.EGAN
006	CONCEPT FLOOR PLAN LOWER	N.EGAN	N.EGAN
007	CONCEPT FLOOR PLAN UPPER	N.EGAN	N.EGAN
008	INTERNAL AREA PLAN LOWER	N.EGAN	N.EGAN
009	INTERNAL AREA PLAN UPPER	N.EGAN	N.EGAN
010	MARK UP PLAN LOWER	N.EGAN	N.EGAN
011	MARK UP PLAN UPPER	N.EGAN	N.EGAN
012	ELEVATION 1 & 2	N.EGAN	N.EGAN
013	ELEVATION 3 & 4	N.EGAN	N.EGAN
014	SECTIONS	N.EGAN	N.EGAN
015	PERSPECTIVES	N.EGAN	N.EGAN
016	PERSPECTIVES	N.EGAN	N.EGAN





NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA
- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
- WET AREAS TO COMPLY WITH ALL RELEVANT CLAUSES OF THE BCA
- BRICK PIERS TO COMPLY WITH BCA AND AS4773
- STAIR NOSING STRIP SLIP RESISTANCE CLASSIFICATION - INDOORS P3 AND OUTDOORS P4
- LICENSED PLUMBER TO SUBMIT WORKS EXECUTED PLAN
- LICENSED ELECTRICIAN TO SUBMIT CES FORM
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT NCC AND AS 3786
- TILES & FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ALL WALLS WITHIN 900mm OF BOUNDARY TO HAVE A FRL OF 60/60/60
- ALL STAIRS TO HAVE CONTINUOUS HANDRAILS ON OUTSIDE OF STAIRS

ABBREVIATIONS:

- LEVELS:**
- NGL: NATURAL GROUND LINE
 - RL: RELATIVE LEVEL
 - BFL: BASEMENT FLOOR LEVEL
 - BCL: BASEMENT CEILING LEVEL
 - LFL: LOWER FLOOR LEVEL
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WINDOWS:

- AW: AWNING WINDOW
- FW: FIXED WINDOW
- SW: SLIDING WINDOW
- BW: BIFOLD WINDOW
- CW: CASEMENT WINDOW
- TT: TILT & TURN WINDOW

DOORS:

- SD: SLIDING DOOR
- STD: STACKER DOOR
- BF: BIFOLD DOOR

ROOF & SITE NOTES:

- DP: DOWNPIPE
- SP: SPREADER
- PPOS: PRINCIPAL PRIVATE OPEN SPACE
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CONCEPT PLANS

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Area Schedule - EXISTING GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²

TOTAL: 3

Area Schedule - PROPOSED GFA

Name	Area
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 2

Area Schedule - TOTAL NEW GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 5

Area Schedule - EXISTING NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²

TOTAL: 2

Area Schedule - PROPOSED NON GFA

Name	Area
4. BALCONY ADDITION.	12.48 m ²

TOTAL: 1

Area Schedule - TOTAL NEW NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
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TOTAL: 3

NOTE: DRIVEWAY TO COMPLY WITH GW/SD/DC.02. DRIVEWAY SUBJECT TO MEET ANY LEASE & DEVELOPEMET CONDITIONS OR LOCAL CODES

NOTE: ALL SITE INFORMATION AND CONTOURS AS PER PLANS PROVIDED BY: SCOTT McNIVEN & ASSOCIATES, DATE: 08.11.2021, REF: 81759

NOTE: ALL FINAL CUTS AND FFL TO BE CONFIRMED ON SITE BY REGISTERED SURVEYOR

NOTE: SW & SWGE TINE INFORMATION UNAVAILABLE AT TIME OF DRAFTING

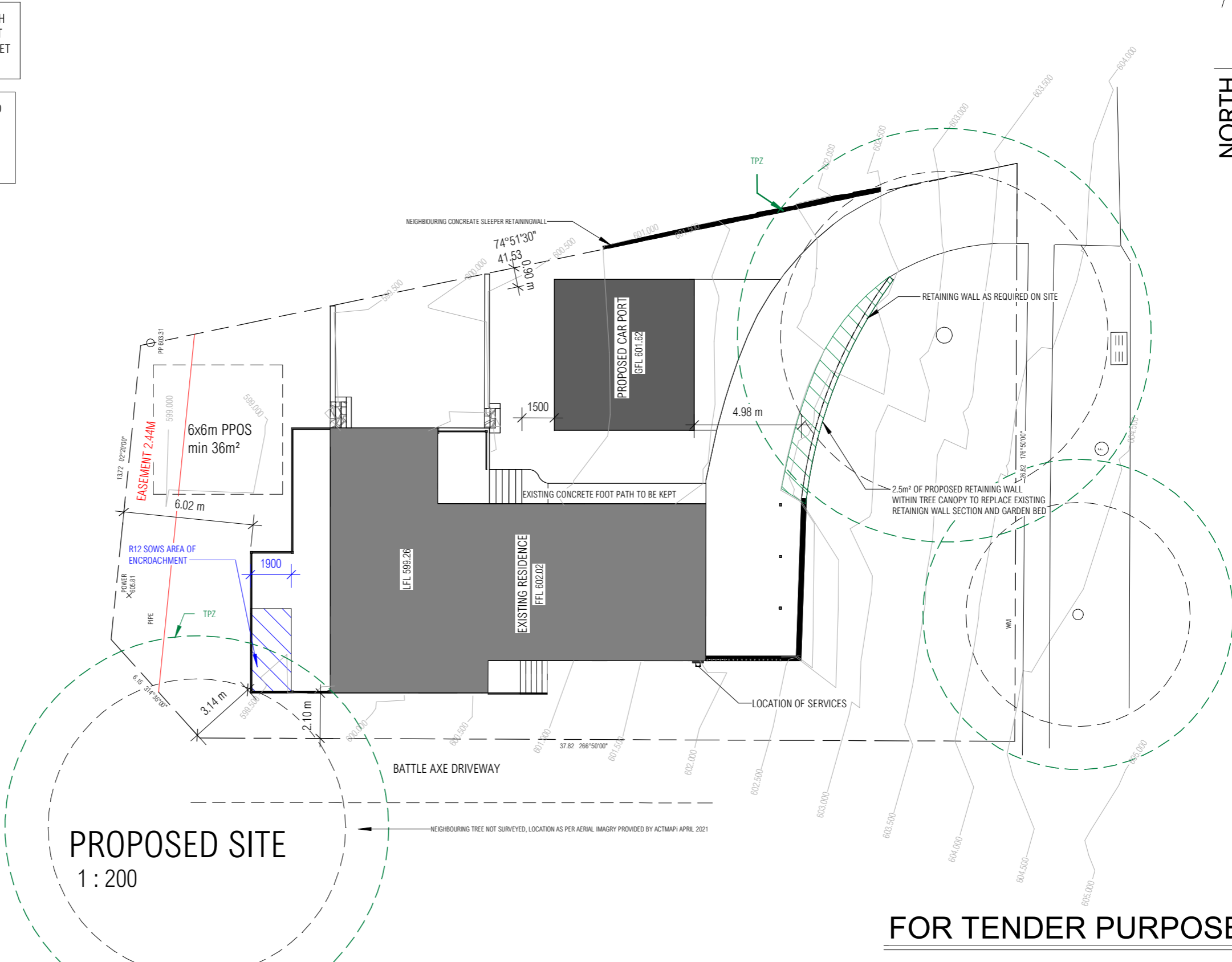
P.O.S TOTAL AREA TO NOT EXCEED 50% HARD LANDSCAPE

SITE AREA: 920m² AS PER SURVEY

P.O.S: 60% - 50m² 502m²

MAX BUILD ON GROUND 418m²

50% MAX BUILD 460m²



PROPOSED SITE
1 : 200

FOR TENDER PURPOSES ONLY

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Sheet Name	PROPOSED SITE PLAN			Sheet Number
Project number	TENDER 05	Scale @ A3	Design by: N.EGAN	001
Date	24.09.2024	1 : 200	Drawn by: N.EGAN	

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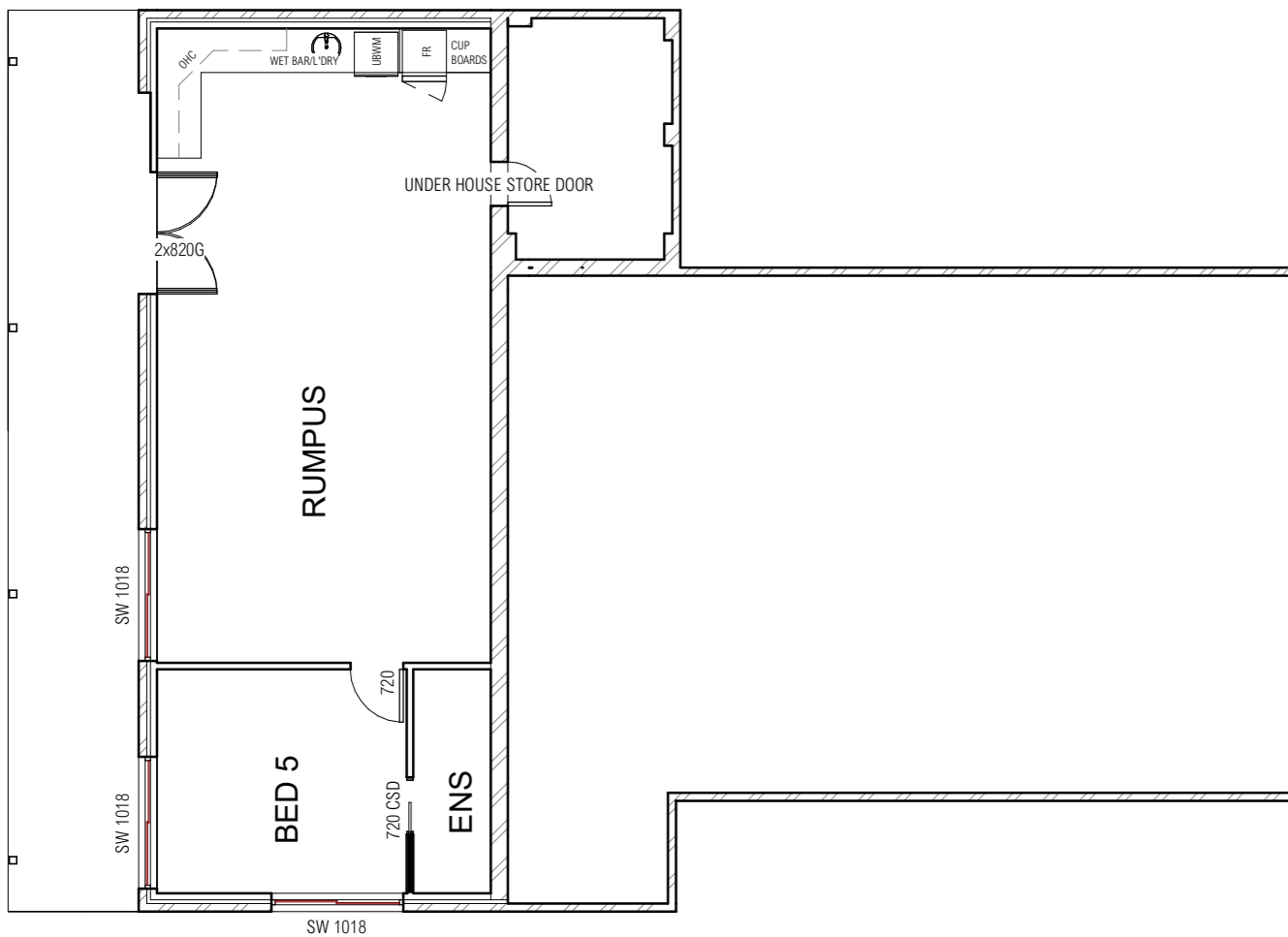
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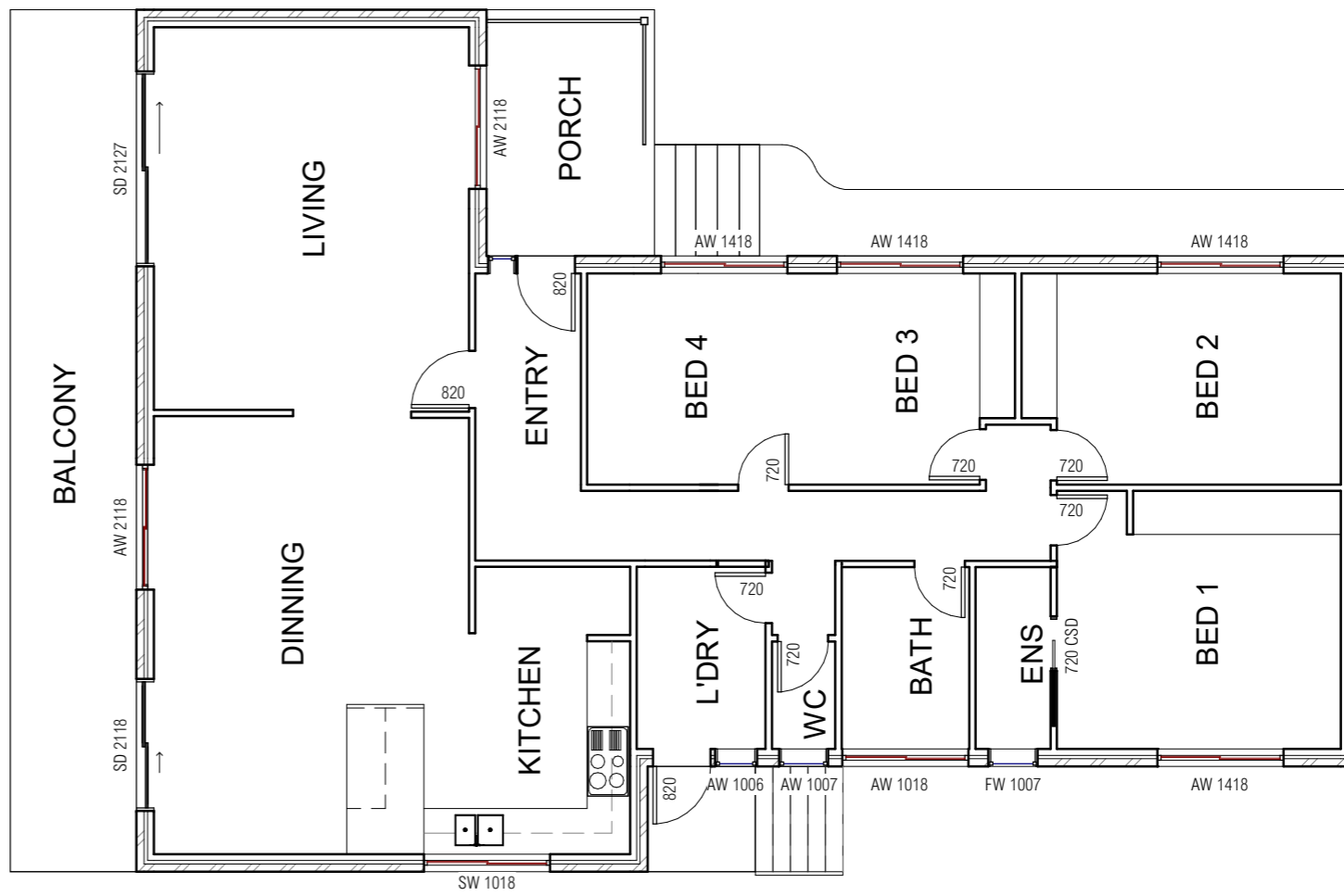
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NOTE: EXISTING PLAN AS PER ORIGINAL FLOOR PLAN
 INFORMATION PROVIDED BY CLIENT & MEASUREMENTS
 TAKEN ON SITE AND TBC ON SITE PRIOR TO ANY WORKS
 BEING UNDER TAKEN



EXISTING LFL
 1 : 100



EXISTING FFL
 1 : 100

Area Schedule - EXISTING GFA	
Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
TOTAL: 3	

Area Schedule - EXISTING NON GFA	
Name	Area
2. EXISTING BALCONY	22.14 m ²
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A LICENSED PLUMBER IS TO BE ENGAGED IN THE DISCONNECTION OF THE INTERNAL PLUMBING SERVICES AT THE WATER METER BEFORE ANY DEMOLITION WORKS COMMENCES, IF REQUIRED.

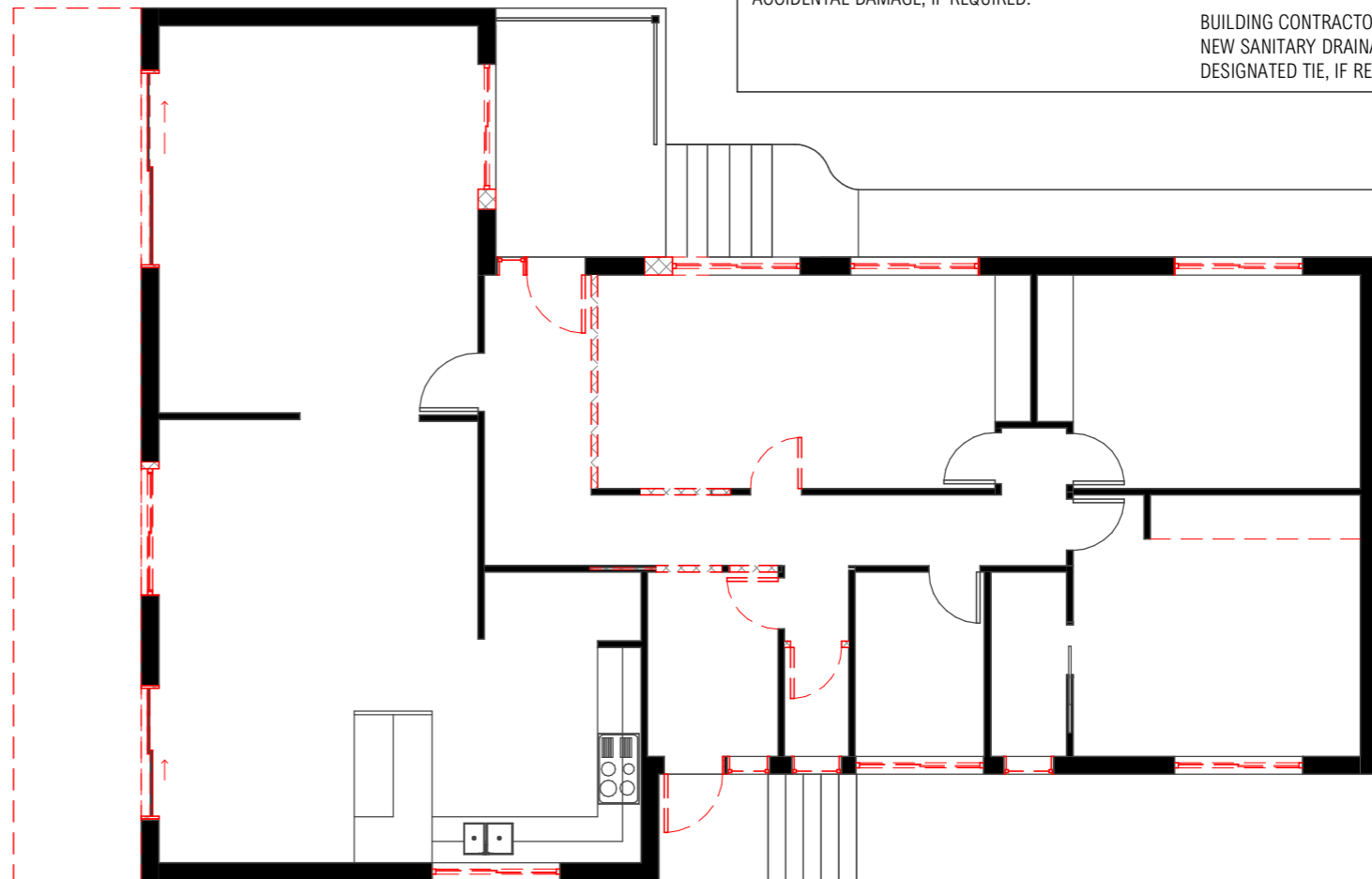
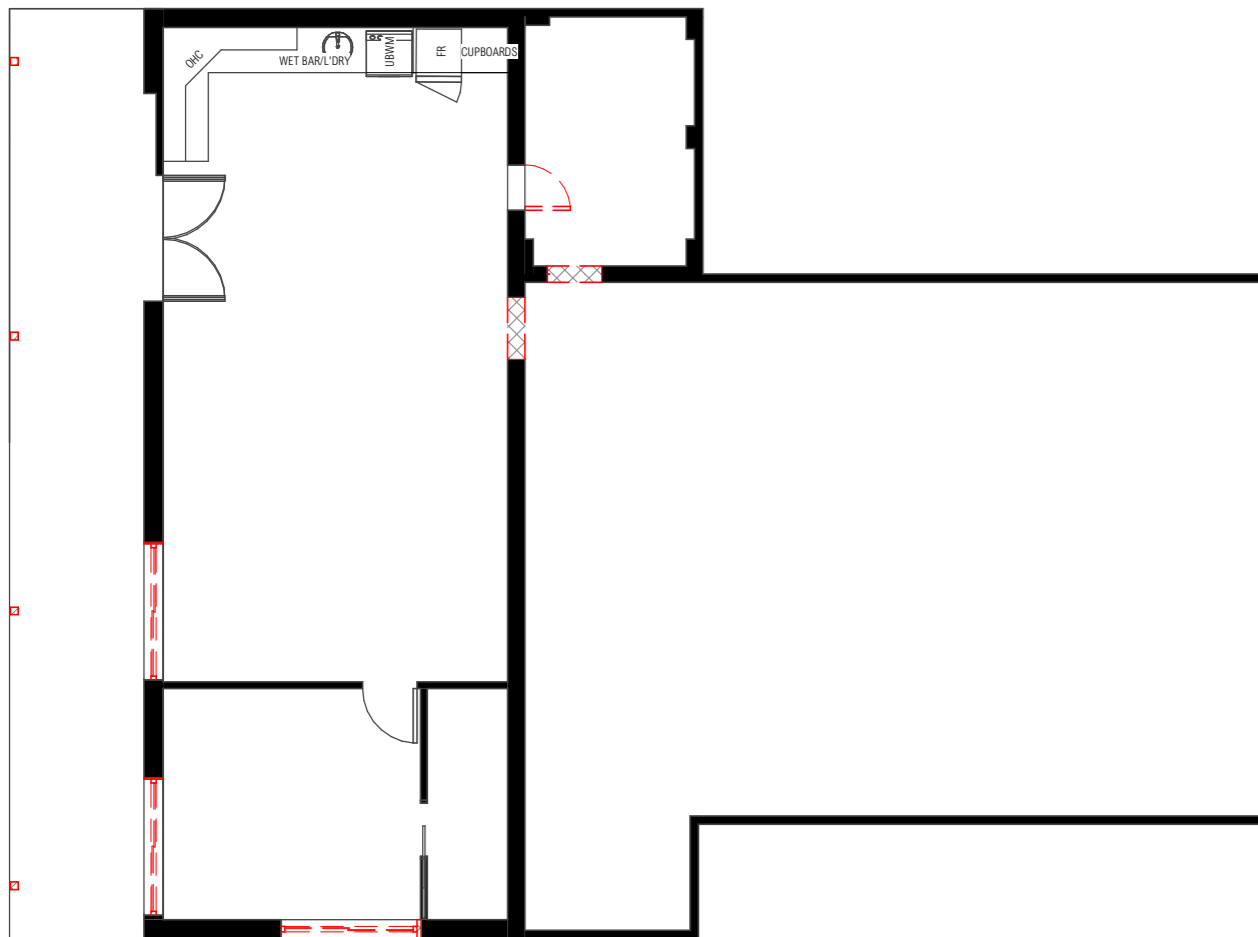
A TEMPORARY HOSE COCK IS TO BE INSTALLED ADJACENT TO THE WATER METER. THE METER, METER BOX AND HOSE COCK MUST BE RETAINED FOR THE DURATION OF ALL BUILDING WORKS. IDENTIFY, FLAG, BARRICADE AND PROTECT THE WATER METER ASSEMBLY FROM DEMOLITION OPERATIONS AND ACCIDENTAL DAMAGE, IF REQUIRED.

ALL RECYCLABLE MATERIAL FROM SITE TO BE RECYCLED IN PROPER MANNER.

BUILDER TO CHECK EXISTING RESIDENCE FOR ASBESTOS PRIOR TO DEMOLITION WORKS BEGINNING, ANY ASBESTOS FOUND TO BE REMOVED BY QUALIFIED TECHNICIANS

A LICENSED DRAINER IS TO BE ENGAGED TO DISCONNECT THE INTERNAL SANITARY DRAINS BEFORE ANY DEMOLITION WORKS COMMENCE, IF REQUIRED.

BUILDING CONTRACTOR WILL BE REQUIRED TO MAKE A NEW SANITARY DRAINAGE CONNECTION AT THE DESIGNATED TIE, IF REQUIRED.



EXISTING SPRINKLER SYSTEM IN CARPORT TO BE REMOVED

DEMOLITION LFL
1 : 100

DEMOLITION FFL
1 : 100

FOR TENDER PURPOSES ONLY

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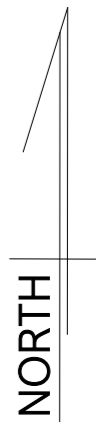
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Area Schedule - EXISTING GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²

TOTAL: 3

Area Schedule - PROPOSED GFA

Name	Area
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 2 60.13 m²

Area Schedule - TOTAL NEW GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 5 308.11 m²

Area Schedule - EXISTING NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²

TOTAL: 2

Area Schedule - PROPOSED NON GFA

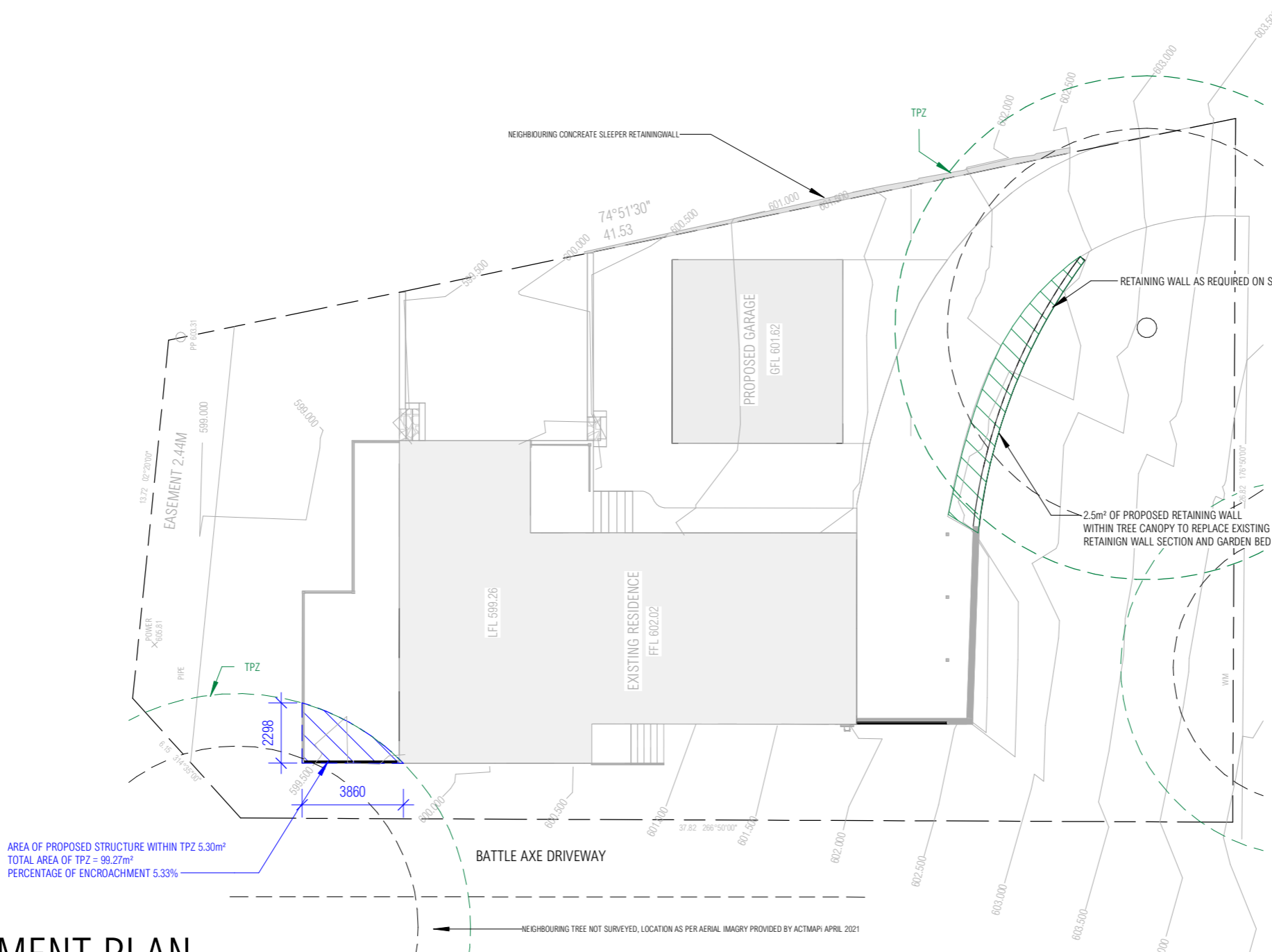
Name	Area
4. BALCONY ADDITION.	12.48 m ²

TOTAL: 1 12.48 m²

Area Schedule - TOTAL NEW NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²
4. BALCONY ADDITION.	12.48 m ²

TOTAL: 3 43.04 m²



AREA OF PROPOSED STRUCTURE WITHIN TPZ 5.30m²
 TOTAL AREA OF TPZ = 99.27m²
 PERCENTAGE OF ENCROACHMENT 5.33%

NOTE:
 - AN ARBORIST REPORT MAY BE REQUESTED BY THE TPU TO CONFIRM THE HEALTH OF THE TREE
 - ALL WORK WITHIN THE TREE PROTECTION ZONES AND TREE CANOPY ARE TO BE DONE IN SYMPATHY TO EXISTING ROOT SYSTEMS AND MINIMAL EXCAVATION
 - PROPOSED DRIVE WAY SLOPES ARE TO HAVE MINIMAL IMPACT TO EXISTING NATURAL GROUND LINE AND WORK WITHIN 100mm OF EXCAVATION WHERE POSSIBLE AS PER ENGINEERING REPORTS.
 - ALL PEERS ARE TO BE AS PER ENGINEERS REPORTS AND OFFSET FROM TPZ MINIMIZING THE NEED FOR EXTENSIVE CUTTING.

NOTE: DRIVEWAY TO COMPLY WITH GW/SD/DC.02. DRIVEWAY SUBJECT TO MEET ANY LEASE & DEVELOPMENT CONDITIONS OR LOCAL CODES

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NOTE: ALL FINAL CUTS AND FFL TO BE CONFIRMED ON SITE BY REGISTERED SURVEYOR

P.O.S TOTAL AREA TO NOT EXCEED 50% HARD LANDSCAPE

SITE AREA: 920m²
 AS PER SURVEY
 P.O.S: 60% - 50m²
 502m²
 MAX BUILD ON GROUND
 418m²
 50% MAX BUILD
 460m²

TREE MANAGEMENT PLAN

1 : 200

FOR TENDER PURPOSES ONLY

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Sheet Name **TREE MANAGEMENT PLAN**
 Project number TENDER 05 Scale @ A3 Design by: B.LAW
 Date 24.09.2024 1 : 200 Drawn by: N.EGAN

Sheet Number **004**

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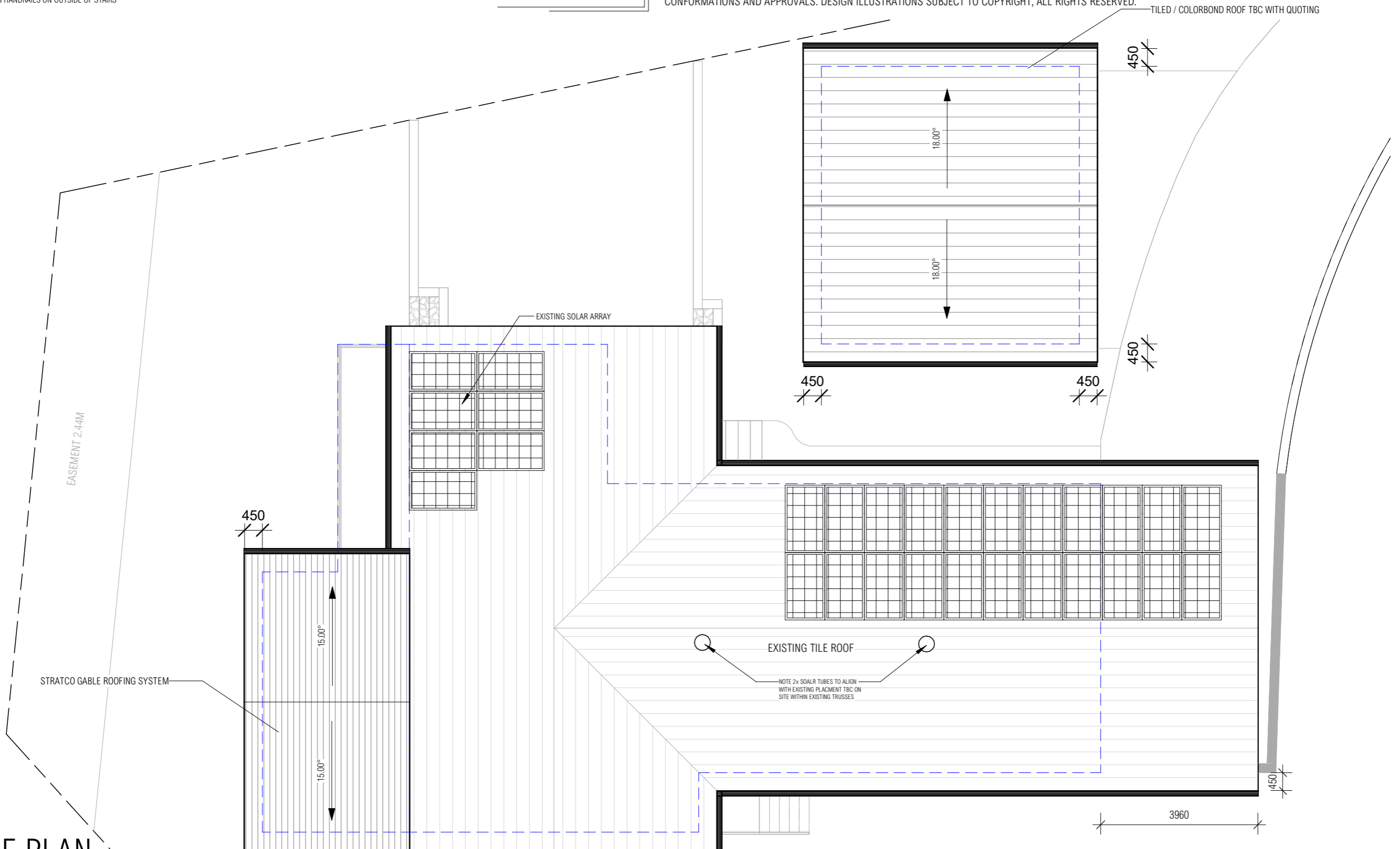
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3/2
2
ROOF PLAN
1 : 100

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 Address: BLOCK 2 SECTION 9 WESTON

BL
 BLACK LINE CONCEPTS PTY LTD
 ABN: 60 669 301 437
 info@blconcept.com.au

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Sheet Name **ROOF PLAN**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
 Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number
005

NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA
- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
- WET AREAS TO COMPLY WITH ALL RELEVANT CLAUSES OF THE BCA
- BRICK PIERS TO COMPLY WITH BCA AND AS4773
- STAIR NOSING STRIP SLIP RESISTANCE CLASSIFICATION - INDOORS P3 AND OUTDOORS P4
- LICENSED PLUMBER TO SUBMIT WORKS EXECUTED PLAN
- LICENSED ELECTRICIAN TO SUBMIT CES FORM
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT NCC AND AS 3786
- TILES & FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ALL WALLS WITHIN 900mm OF BOUNDARY TO HAVE A FRL OF 60/60/60
- ALL STAIRS TO HAVE CONTINUOUS HANDRAILS ON OUTSIDE OF STAIRS

ABBREVIATIONS:

- LEVELS:**
- NGL: NATURAL GROUND LINE
 - RL: RELATIVE LEVEL
 - BFL: BASEMENT FLOOR LEVEL
 - BCL: BASEMENT CEILING LEVEL
 - LFL: LOWER FLOOR LEVEL
 - LCL: LOWER CEILING LEVEL
 - FFL: FINISHED FLOOR LEVEL
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 - UFL: UPPER FLOOR LEVEL
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WINDOWS:

- AW: AWNING WINDOW
- FW: FIXED WINDOW
- SW: SLIDING WINDOW
- BW: BIFOLD WINDOW
- CW: CASEMENT WINDOW
- TT: TILT & TURN WINDOW

DOORS:

- SD: SLIDING DOOR
- STD: STACKER DOOR
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ROOF & SITE NOTES:

- DP: DOWNPIPE
- SP: SPREADER
- PPOS: PRINCIPAL PRIVATE OPEN SPACE
- POS: PRIVATE OPEN SPACE

CONCEPT PLANS

NOTE: DIMENSIONS AND AREA ARE APPROXIMATE AT THIS STAGE, FINAL PLANS MAY VARY.
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GENERAL NOTES:

- ALL EXTERNAL DOORS AND WINDOWS TO BE REPLACED WITH UPVC FRAMES & DBL GLAZING, NOTE: SOME OPENINGS HAVE VARIED AND NEED TO BE CONFIRMED AS PER PLANS.
- EXISTING EVAP DUCTS TO BE MOVED AS REQUIRED ON SITE AND ADDITIONAL VENTS INSTALLED TO MASTER AND RELOCATED IN ROOMS AS REQUIRED.
- TILE INSERT DRAINS TO SHOWERS
- UNDER TILE HEATING TO BATH & ENS
- ALL EXISTING HAND RAILS TO BE REMOVED AND REPLACED AS PER CLIENTS INCLUSION LIST TO MEET BCA & AS
- LOWER FLOOR AC UNIT TO BE RELOCATED FOR BETTER ACCESS, LOCATION TBC BY RELIANT INSTALLER
- LOOK INTO ADJUSTING CURRENT INTERNAL & EXTERNAL THRESHOLDS TO HAVE NO STEP IF POSSIBLE THROUGH NEW DECKING

Area Schedule - EXISTING GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²

TOTAL: 3

Area Schedule - PROPOSED GFA

Name	Area
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 2 60.13 m²

Area Schedule - TOTAL NEW GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 5 308.11 m²

Area Schedule - EXISTING NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²

TOTAL: 2

Area Schedule - PROPOSED NON GFA

Name	Area
4. BALCONY ADDITION.	12.48 m ²

TOTAL: 1 12.48 m²

Area Schedule - TOTAL NEW NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
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TOTAL: 3 43.04 m²

Door Schedule

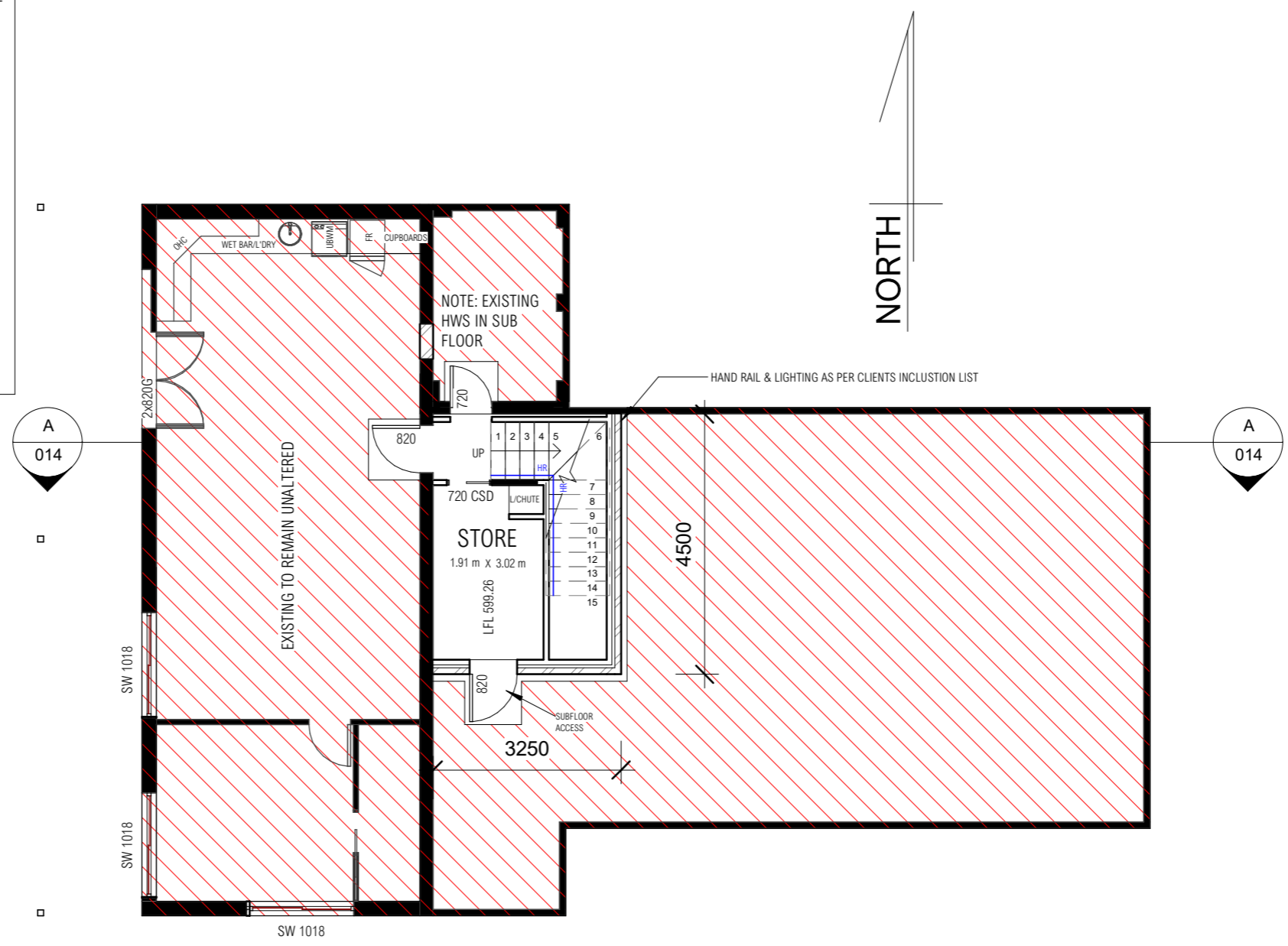
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3	720	2040	720	Existing	New Construction
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1	SD 2118	2100	1800	Existing	New Construction
1	SD 2127	2100	2700	Existing	New Construction
1	UNDER HOUSE STORE DOOR	1800	600	Existing	New Construction
2	2x820G	2040	1640	Existing	None
5	720	2040	720	Existing	None
2	720 CSD	2040	1560	Existing	None
1	820	2040	820	Existing	None
1	2x1020G	2040	2040	New Construction	None
1	720	2040	720	New Construction	None
2	720 CSD	2040	1560	New Construction	None
2	820	2040	820	New Construction	None
1	820 G	2040	820	New Construction	None
1	870 CSD	2040	1860	New Construction	None
1	1200	2040	1200	New Construction	None
2	SD 2118	2100	1800	New Construction	None
1	SD 2127	2100	2700	New Construction	None

TOTAL: 30

Window Schedule

Count	Model	Height	Width	Phase Created	Phase Demolished
1	AW 1006	1000	600	Existing	New Construction
1	AW 1007	1000	700	Existing	New Construction
1	AW 1018	1000	1800	Existing	New Construction
4	AW 1418	1400	1800	Existing	New Construction
3	AW 2118	2100	1760	Existing	New Construction
1	FW 1007	1000	700	Existing	New Construction
1	FW 2104	2100	400	Existing	New Construction
4	SW 1018	1000	1800	Existing	New Construction
2	CW 1007	1000	700	New Construction	None
1	CW 1014	1000	1400	New Construction	None
1	CW 1018	1000	1800	New Construction	None
3	CW 1418	1400	1800	New Construction	None
1	FW 1209	1220	915	New Construction	None
3	SW 1018	1000	1800	New Construction	None

TOTAL: 27



PROPOSED LFL
1 : 100

FOR TENDER PURPOSES ONLY

Client Name: SKYE CAMPIGLI & MARK NORTH
 Project : PROPOSED RENOVATION
 Address: BLOCK 2 SECTION 9 WESTON



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 ABN: 60 669 301 437
 info@blconcept.com.au

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Sheet Name: **CONCEPT FLOOR PLAN LOWER**
 Project number: TENDER 05 Scale @ A3 Design by: N.EGAN
 Date: 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number
006

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TOTAL: 2

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TOTAL: 1 12.48 m²

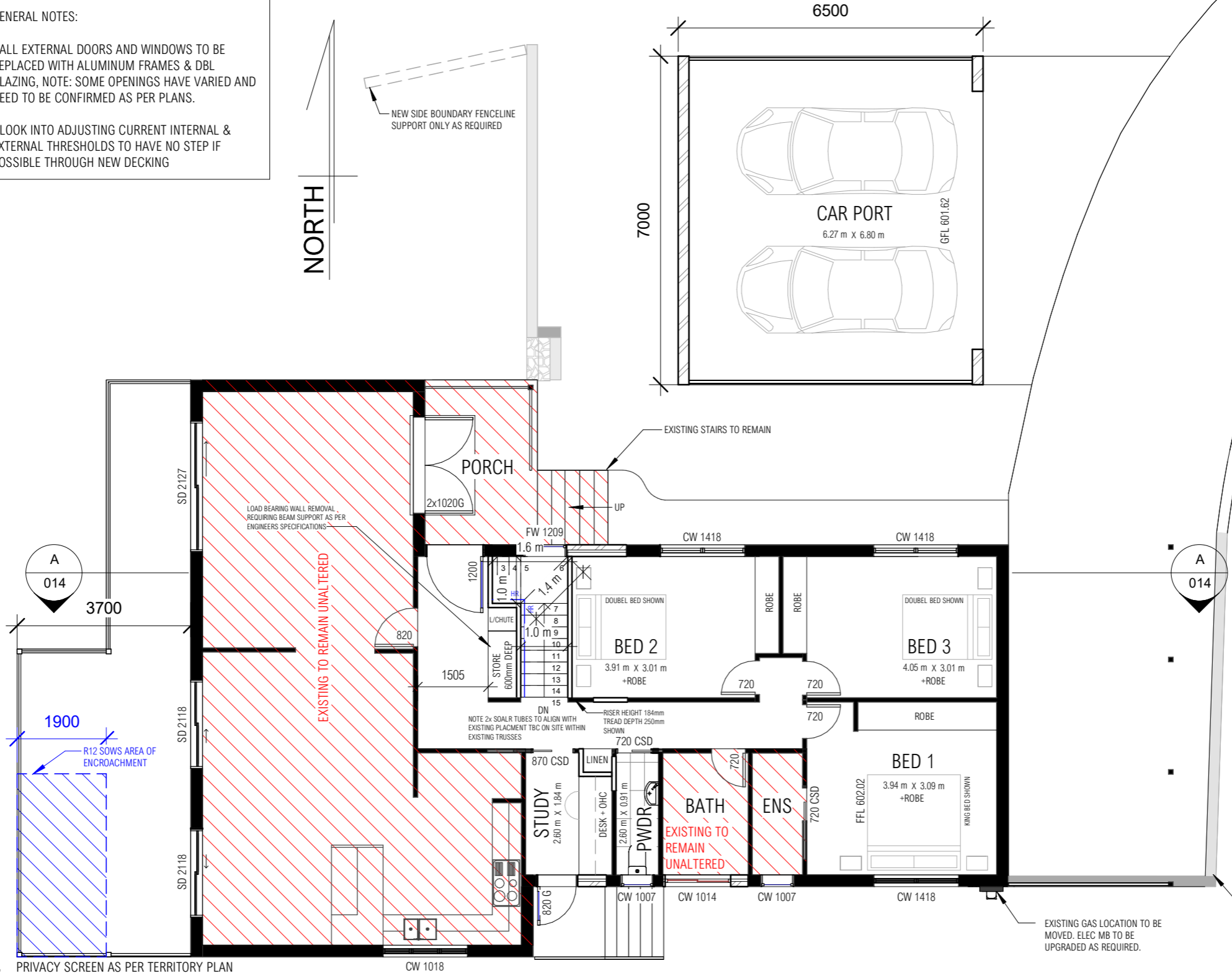
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Door Schedule

Count	Model	Height	Width	Phase Created	Phase Demolished
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TOTAL: 27

PROPOSED FFL

1:100

FOR TENDER PURPOSES ONLY

Client Name: SKYE CAMPIGLI & MARK NORTH
 Project: PROPOSED RENOVATION
 Address: BLOCK 2 SECTION 9 WESTON



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Sheet Name: **CONCEPT FLOOR PLAN UPPER**
 Project number: TENDER 05 Scale @ A3 Design by: N.EGAN
 Date: 24.09.2024 1:100 Drawn by: N.EGAN
 Sheet Number: **007**

NOTES FOR COMPLIANCE:

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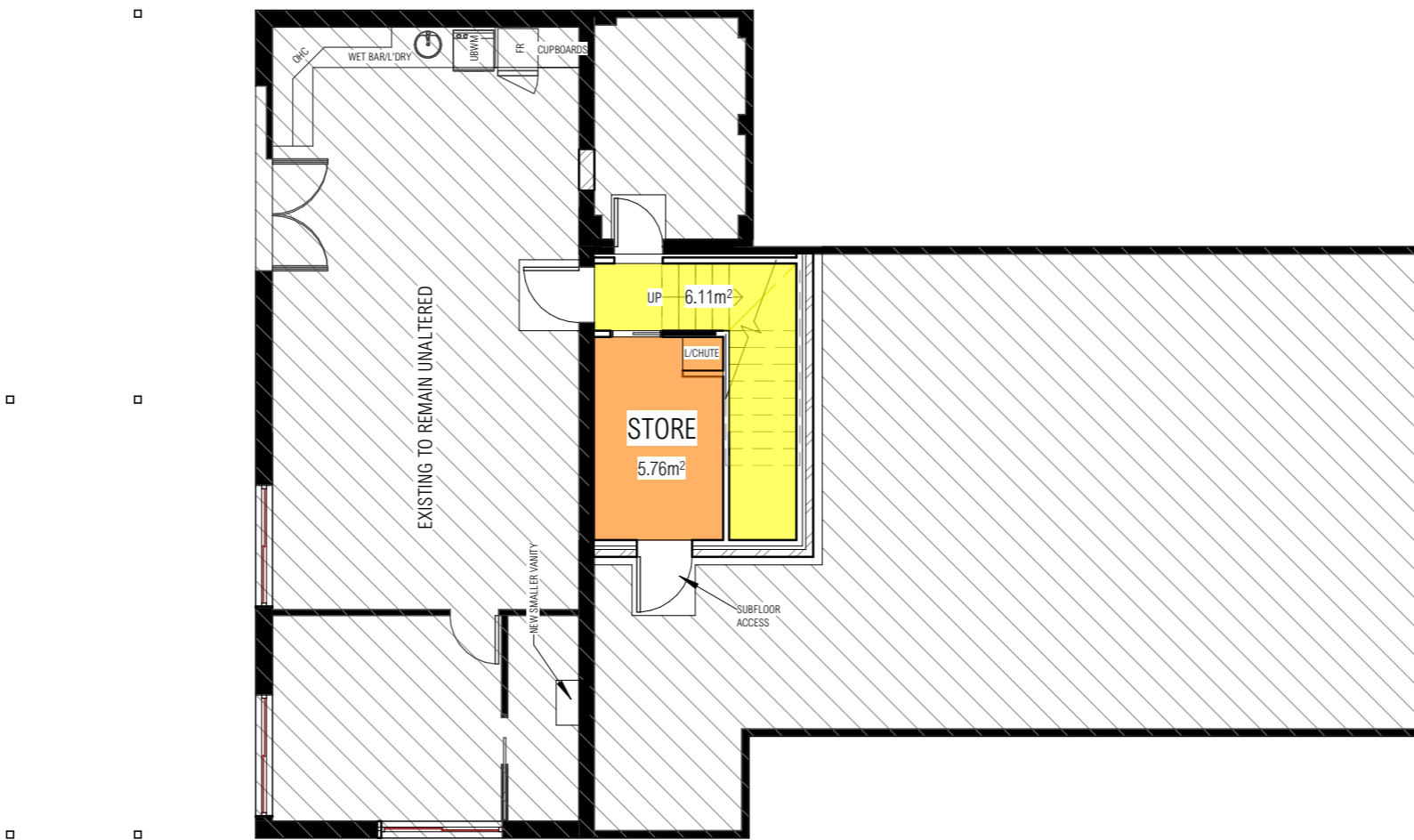
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NOTE: AREAS AS PEER CURRENT INTERNAL ROOM DIMENSIONS & DO NOT INCLUDE THRESHOLDS

LFL AREA PLAN

1 : 100



FOR TENDER PURPOSES ONLY

Client Name: SKYE CAMPIGLI & MARK NORTH

Project : PROPSOED RENOVATION

Address: BLOCK 2 SECTION 9 WESTON



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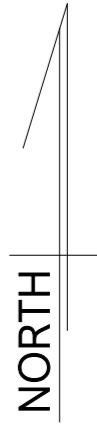
Sheet Name **INTERNAL AREA PLAN LOWER**

Project number TENDER 05 Scale @ A3 Design by: N.EGAN

Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number

008



NOTES FOR COMPLIANCE:

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FFL AREA PLAN

1 : 100

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Sheet Name **INTERNAL AREA PLAN UPPER**

Project number TENDER 05 Scale @ A3 Design by: N.EGAN

Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number

009

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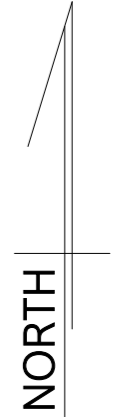
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TOTAL: 2 60.13 m²

Area Schedule - TOTAL NEW GFA

Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²

TOTAL: 5 308.11 m²

Area Schedule - EXISTING NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²

TOTAL: 2

Area Schedule - PROPOSED NON GFA

Name	Area
4. BALCONY ADDITION.	12.48 m ²

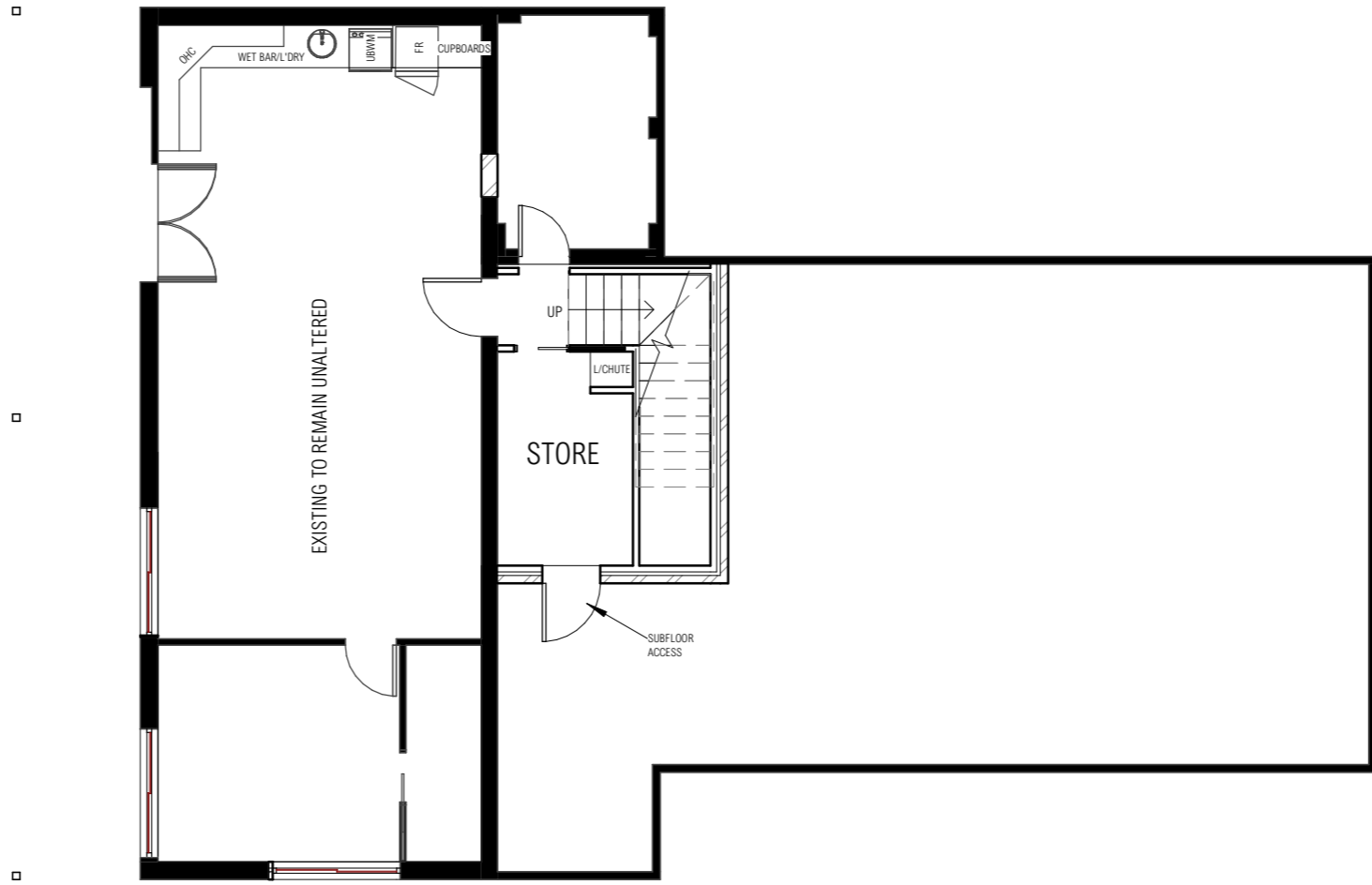
TOTAL: 1 12.48 m²

Area Schedule - TOTAL NEW NON GFA

Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²
4. BALCONY ADDITION.	12.48 m ²

TOTAL: 3 43.04 m²

LFL MARK UP PLAN
1 : 100



FOR TENDER PURPOSES ONLY

NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA
- LIGHTING TO COMPLY WITH CLAUSE 3.12.5.5 OF THE BCA
- WET AREAS TO COMPLY WITH ALL RELEVANT CLAUSES OF THE BCA
- BRICK PIERS TO COMPLY WITH BCA AND AS4773
- STAIR NOSING STRIP SLIP RESISTANCE CLASSIFICATION - INDOORS P3 AND OUTDOORS P4
- LICENSED PLUMBER TO SUBMIT WORKS EXECUTED PLAN
- LICENSED ELECTRICIAN TO SUBMIT CES FORM
- SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT NCC AND AS 3786
- TILES & FLASHINGS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ALL WALLS WITHIN 900mm OF BOUNDARY TO HAVE A FRL OF 60/60/60
- ALL STAIRS TO HAVE CONTINUOUS HANDRAILS ON OUTSIDE OF STAIRS

ABBREVIATIONS:

- LEVELS:**
 NGL: NATURAL GROUND LINE
 RL: RELATIVE LEVEL
 BFL: BASEMENT FLOOR LEVEL
 BCL: BASEMENT CEILING LEVEL
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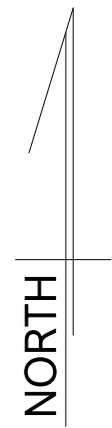
- DOORS:**
 SD: SLIDING DOOR
 STD: STACKER DOOR
 BF: BIFOLD DOOR

- ROOF & SITE NOTES:**
 DP: DOWNPIPE
 SP: SPREADER
 PPOS: PRINCIPAL PRIVATE OPEN SPACE
 POS: PRIVATE OPEN SPACE

CONCEPT PLANS

NOTE: DIMENSIONS AND AREA ARE APPROXIMATE AT THIS STAGE, FINAL PLANS MAY VARY. PLANS AND SITE INFORMATION ARE BASED ON DETAILS AND INFORMATION AVAILABLE AT TIME OF CONCEPT DRAWINGS UNLESS OTHERWISE NOTED, FUTURE DETAILS MAY BE REQUIRED. PLANS MAYBE SUBJECT TO CHANGE AND ALTERATION WITHOUT NOTICE. FINAL PLANS SUBJECT TO DEPARTMENTAL APPROVALS, ENCROACHMENT APPROVALS, LEASE CONDITIONS, ENERGY RATINGS AND DEVELOPER APPROVALS OR ANY DEVELOPMENTAL AUTHORITY. BLACK LINE BUILDING DESIGN ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR ANY STRUCTURAL COMPONENTS, NOTATIONS OR ACCURACY OF DOCUMENTATION HEREIN. PLANS SUBJECT TO FINAL CONFORMATIONS AND APPROVALS. DESIGN ILLUSTRATIONS SUBJECT TO COPYRIGHT, ALL RIGHTS RESERVED.

4
1



Area Schedule - EXISTING GFA	
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1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
TOTAL: 3	

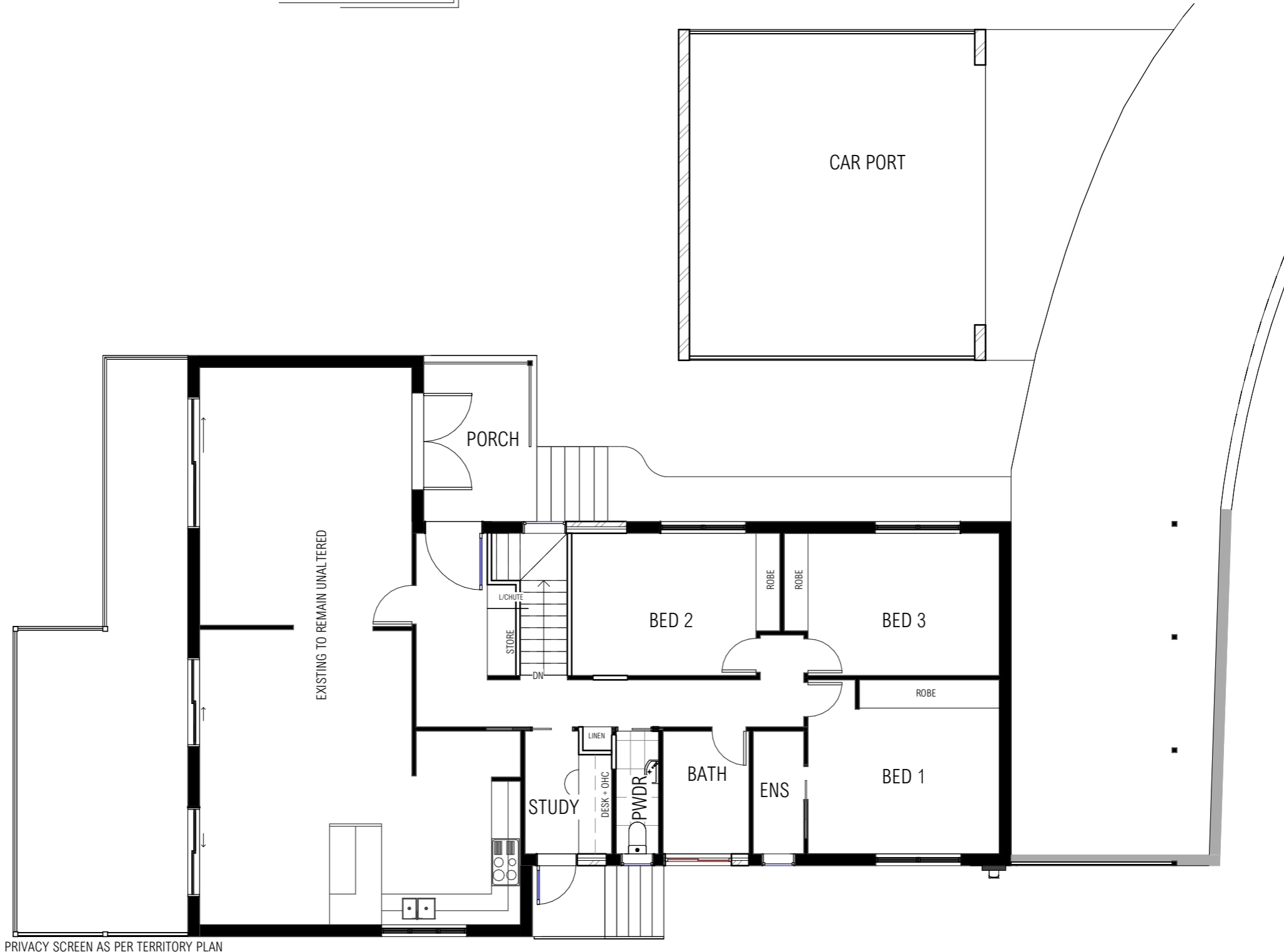
Area Schedule - PROPOSED GFA	
Name	Area
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²
TOTAL: 2	60.13 m ²

Area Schedule - TOTAL NEW GFA	
Name	Area
1. EXISTING CARPORT	25.58 m ²
1. EXISTING FFL	151.95 m ²
1. EXISTING LFL	70.46 m ²
3. PROPOSED CAR PORT.	45.50 m ²
3. PROPOSED LFL	14.63 m ²
TOTAL: 5	308.11 m ²

Area Schedule - EXISTING NON GFA	
Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²
TOTAL: 2	

Area Schedule - PROPOSED NON GFA	
Name	Area
4. BALCONY ADDITION.	12.48 m ²
TOTAL: 1	12.48 m ²

Area Schedule - TOTAL NEW NON GFA	
Name	Area
2. EXISTING BALCONY	22.14 m ²
2. EXISTING PORCH	8.41 m ²
4. BALCONY ADDITION.	12.48 m ²
TOTAL: 3	43.04 m ²



FFL MARK UP PLAN

1 : 100

FOR TENDER PURPOSES ONLY

Client Name: SKYE CAMPIGLI & MARK NORTH
 Project : PROPOSED RENOVATION
 Address: BLOCK 2 SECTION 9 WESTON



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 info@blconcept.com.au

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Sheet Name **MARK UP PLAN UPPER**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
 Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number
011

NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA
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ABBREVIATIONS:

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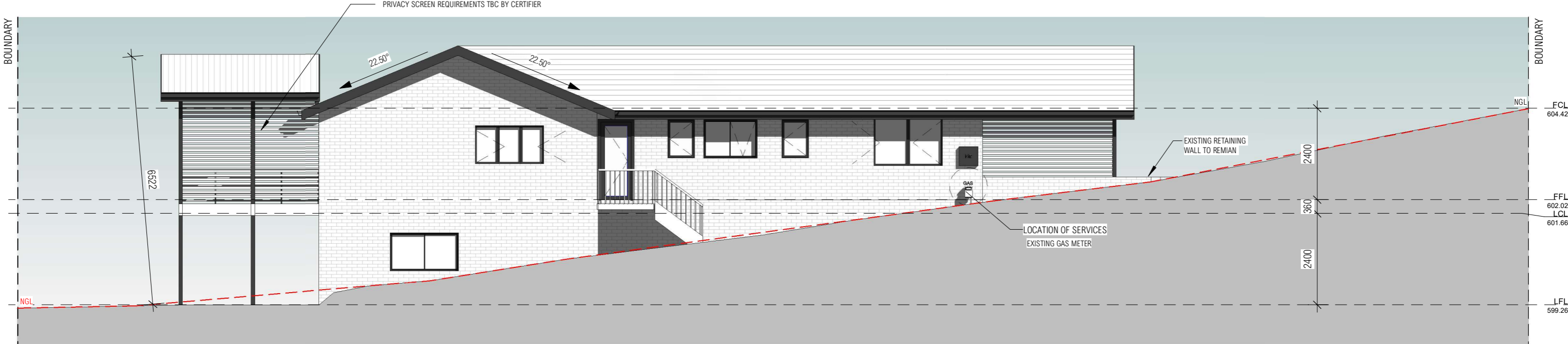
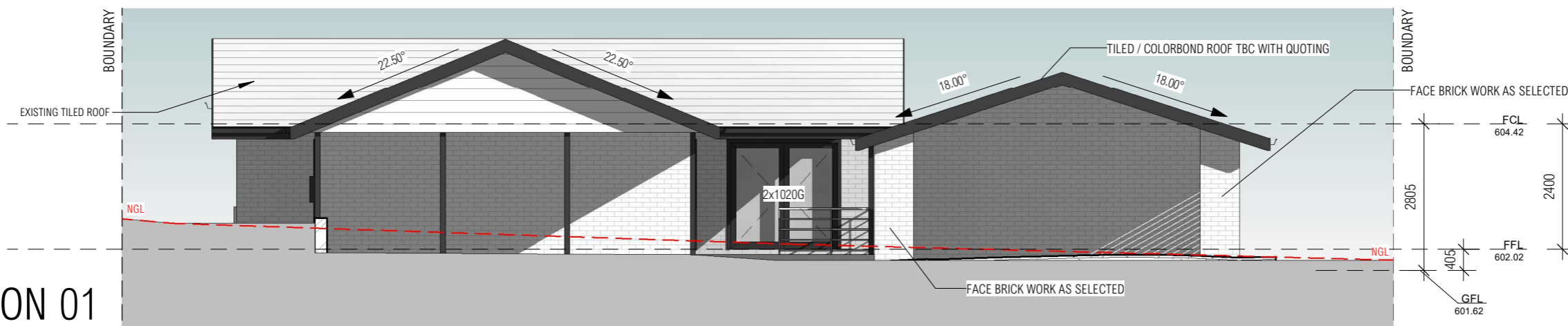
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CONCEPT PLANS

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ELEVATION 01
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ELEVATION 02
1 : 100

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Sheet Name **ELEVATION 1 & 2**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
 Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number
012

NOTES FOR COMPLIANCE:

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ABBREVIATIONS:

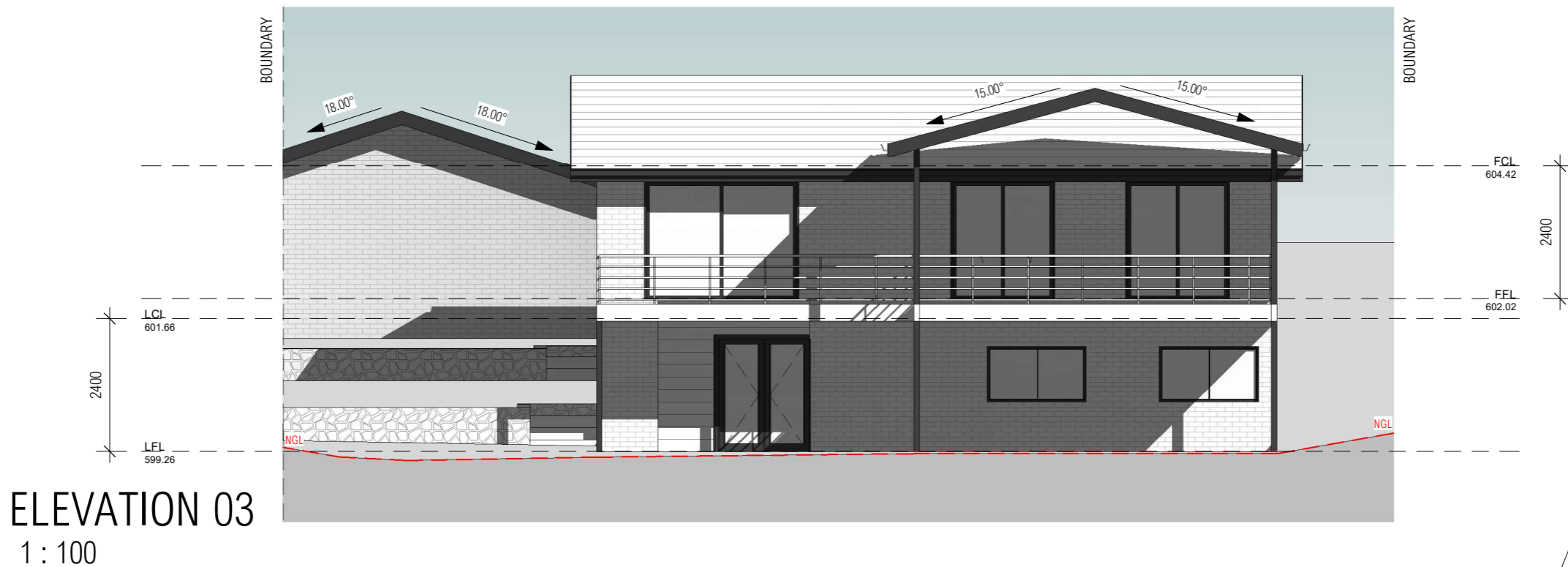
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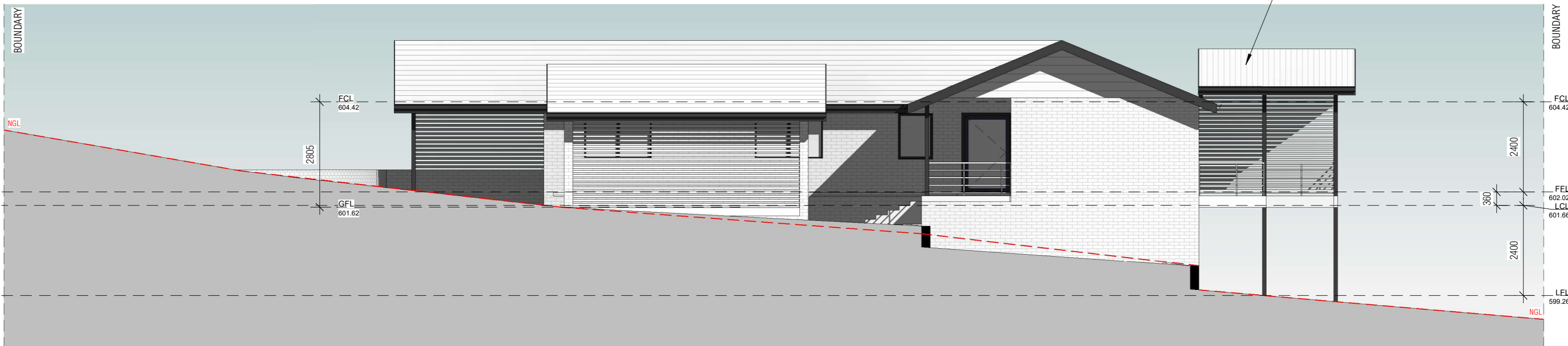
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<https://www.stratco.com.au/au/patio--outdoor-living/patios--carports/outback-patios/outback-gable/>
DETAILS AS PER SELECTED SYSTEM FROM SUPPLIER



ELEVATION 04
1 : 100

FOR TENDER PURPOSES ONLY

Client Name: SKYE CAMPIGLI & MARK NORTH
Project : PROPOSED RENOVATION
Address: BLOCK 2 SECTION 9 WESTON

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Sheet Name **ELEVATION 3 & 4**
Project number TENDER 05 Scale @ A3 Design by: N.EGAN
Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number
013

NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
- WATER HEATER IN HOT WATER SUPPLY SYSTEM TO COMPLY WITH CLAUSE 3.12.5.6 OF THE BCA
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WINDOWS:

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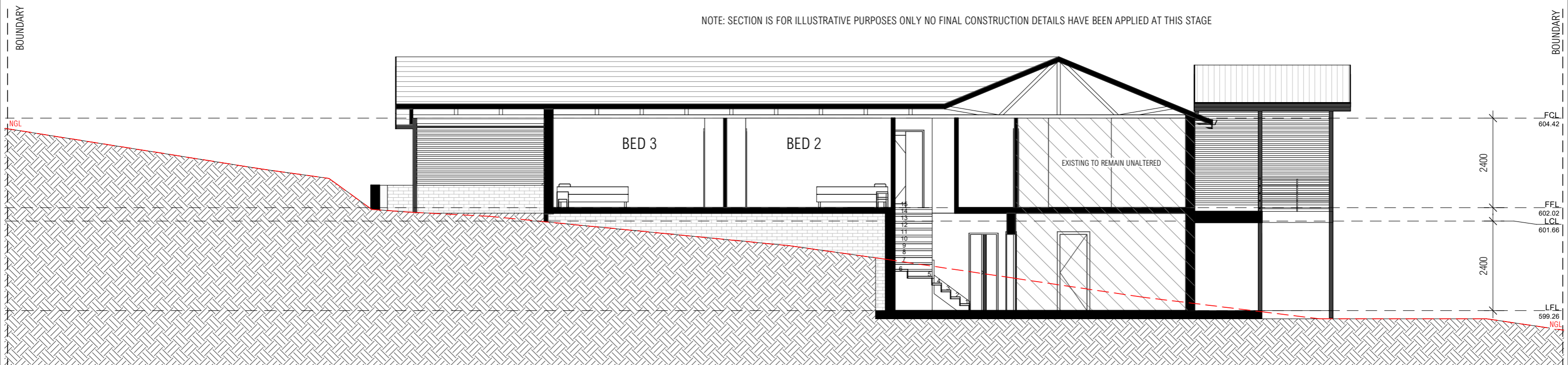
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NOTE: SECTION IS FOR ILLUSTRATIVE PURPOSES ONLY NO FINAL CONSTRUCTION DETAILS HAVE BEEN APPLIED AT THIS STAGE



SECTION AA
 1 : 100

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 Project : PROPSOED RENOVATION
 Address: BLOCK 2 SECTION 9 WESTON



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Sheet Name **SECTIONS**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
 Date 24.09.2024 1 : 100 Drawn by: N.EGAN

Sheet Number **014**

NOTES FOR COMPLIANCE:

- ALL WINDOWS TO BE AS PER ENERGY RATING REPORT
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DOORS:

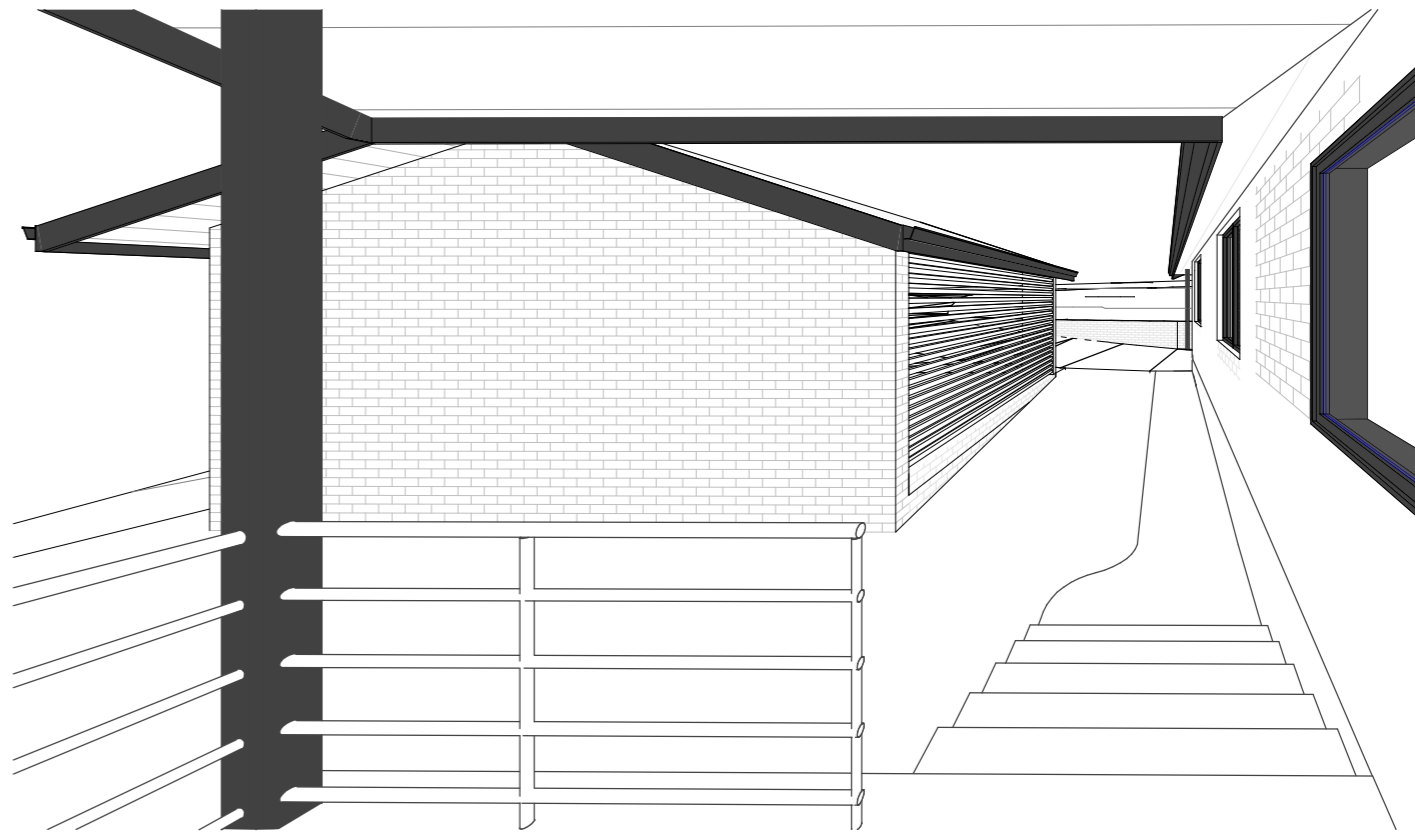
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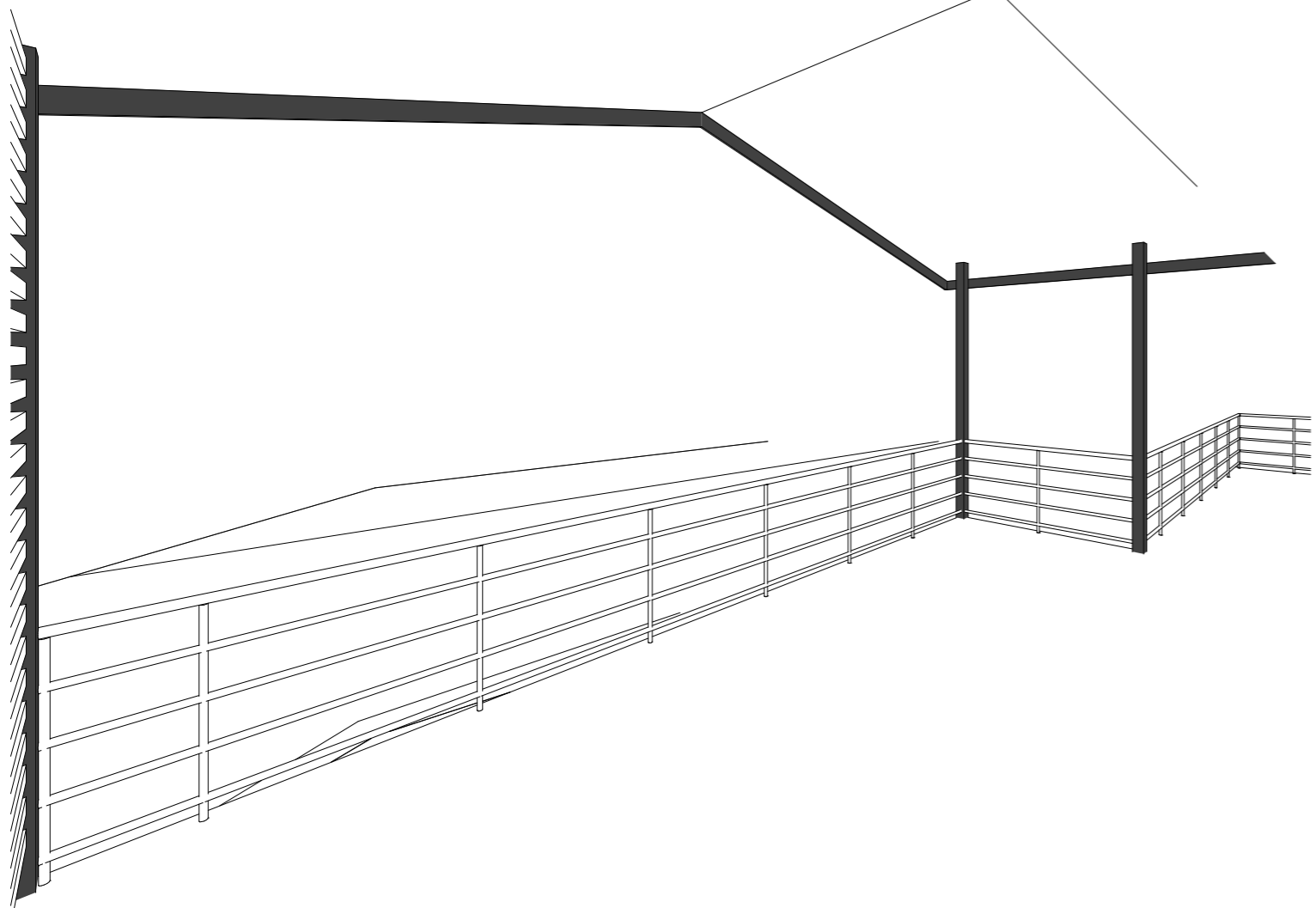
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PORCH



BALCONY VIEW

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Sheet Name **PERSPECTIVES**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
 Date 24.09.2024 Drawn by: N.EGAN

Sheet Number **015**

NOTES FOR COMPLIANCE:

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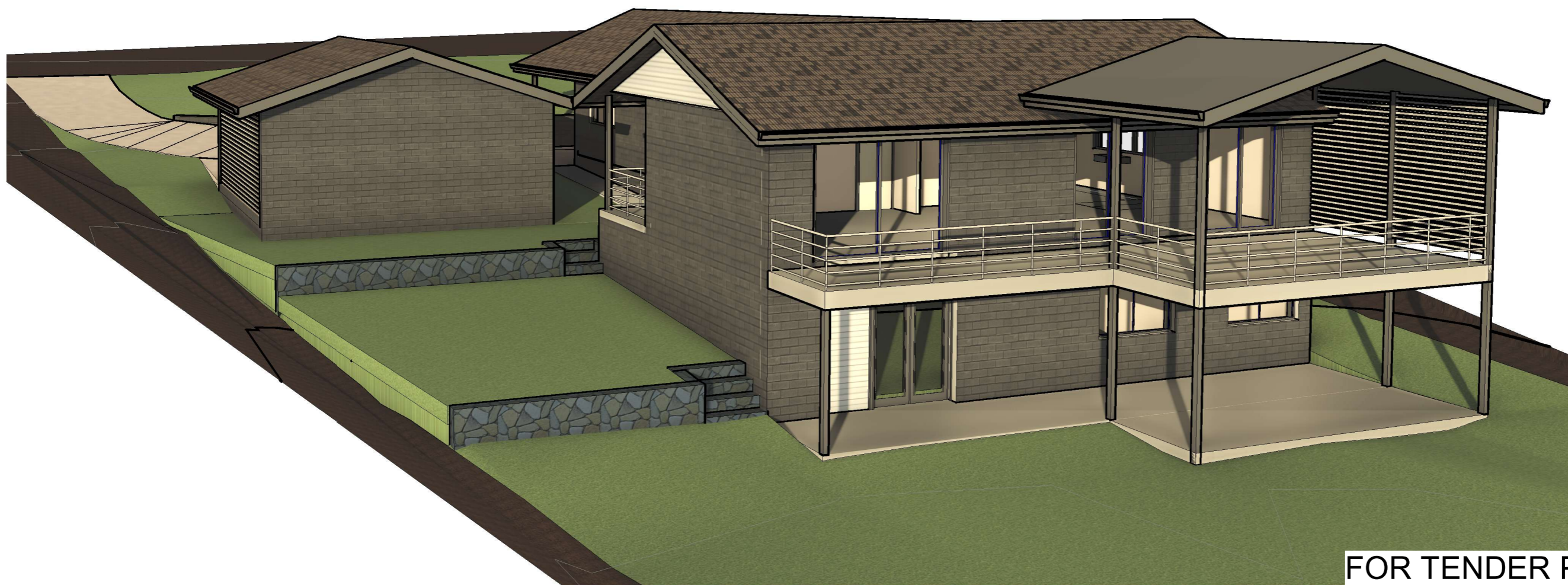
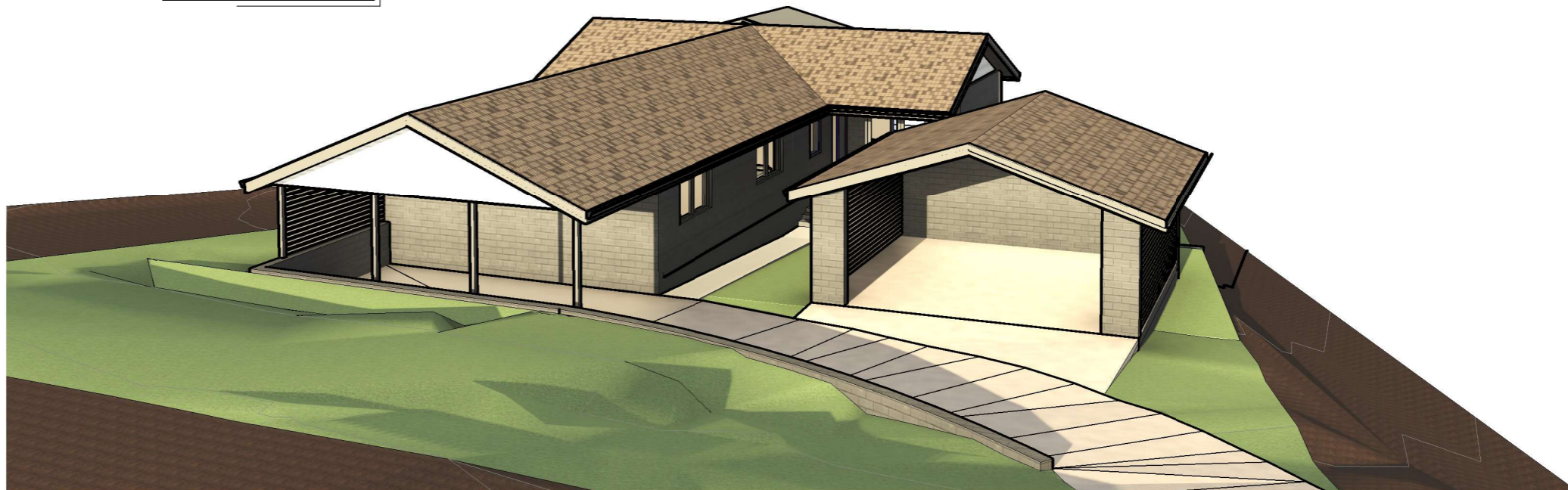
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Sheet Name **PERSPECTIVES**
 Project number TENDER 05 Scale @ A3 Design by: N.EGAN
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Sheet Number
016