

IMPORTANT NOTICE

This document has been digitally signed

This document has been approved as part of a Development Certificate issued in accordance with the provisions of the Environmental Planning and Assessment Act, 1979 (as amended).

In making this determination the document has been digitally signed.



The following are important facts relating to documents and files that have been digitally signed:

- The use of digitally encrypted signatures has been introduced by Local Certification Services Pty Ltd because they provide greater security in verifying the authenticity of documents and files than conventional means of stamping.
- Digital signatures are issued and validated by an independent and legally recognised Certificate Authority.
- A valid digital signature verifies that the content of the document or file has not been altered since the digital signature was applied.
- The digital signature has been applied by the Registered Certifier that has approved the subject Development Certificate and verifies that the document or file was signed by the person to whom the digital signature was issued.
- A valid digital signature verifies that the file and the content of the entire document or file is the same as that issued by the Registered Certifier at the time of the Development Certificate was applied (i.e. not just the page on which it appears).
- Any alteration of the document or file that carries this digital signature will render this document or file invalid and the signatory to this document or file must be contacted personally in order to obtain a replacement copy. The replacement of a digitally signed document may incur an additional fee.
- The digital signature can be validated by most popular PDF document readers. If you have problems verifying signatures please check that in your pdf reader preferences that you allow it to trust root certificates installed in Windows to verify digital signatures. Some pdf readers only trust certificates issued by their own certificate authority as a default setting.

Should you require any additional information in relation to the use of the digital signatures and this Development Certificate or any related documents please contact Local Certification Services Pty Ltd on Ph: 1300 368 534 during regular business hours on weekdays.

SITE COVERAGE;

SITE AREA: 527m²

EXISTING RESIDENCE 142.60m² (27.05%)

PROPOSED GARAGE 42.25m² (8.01%)

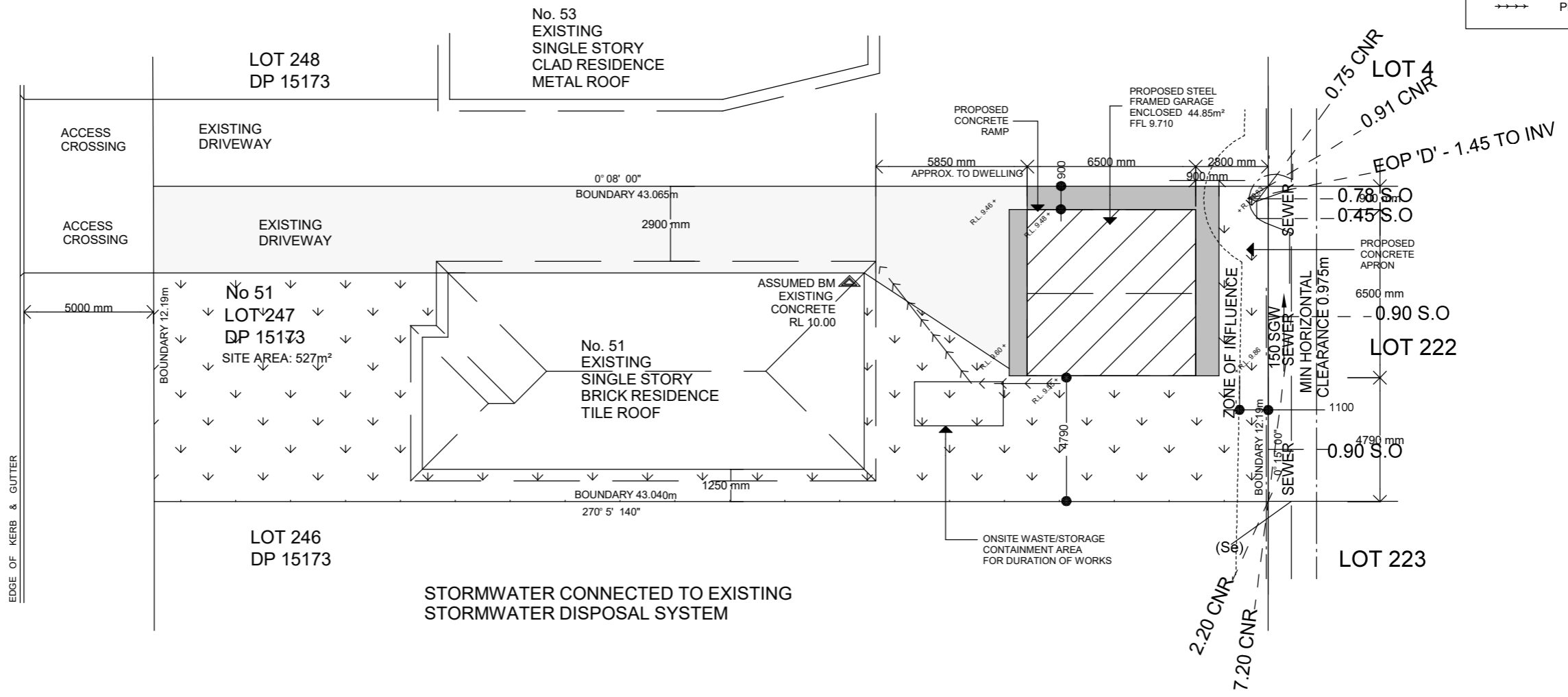
TOTAL AREA: 184.85m²

FLOOR SPACE RATIO 0.35:1

FREE SPACE (BEHIND THE BUILDING LINE)
APPROX 163.15m² (30.09%)

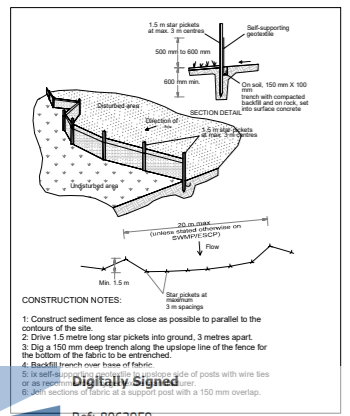
LEGEND	
	ASSUMED BENCHMARK
	PROPOSED BUILDING WORKS
	PROPOSED FREE SPACE AREA
	EXISTING TREES
	STABILISED SITE ENTRY
	SEWER MAINS
	POWER LINES
	SEDIMENT CONTROL FENCE
	PROPOSED STORMWATER

KIRBY STREET



STORMWATER CONNECTED TO EXISTING STORMWATER DISPOSAL SYSTEM

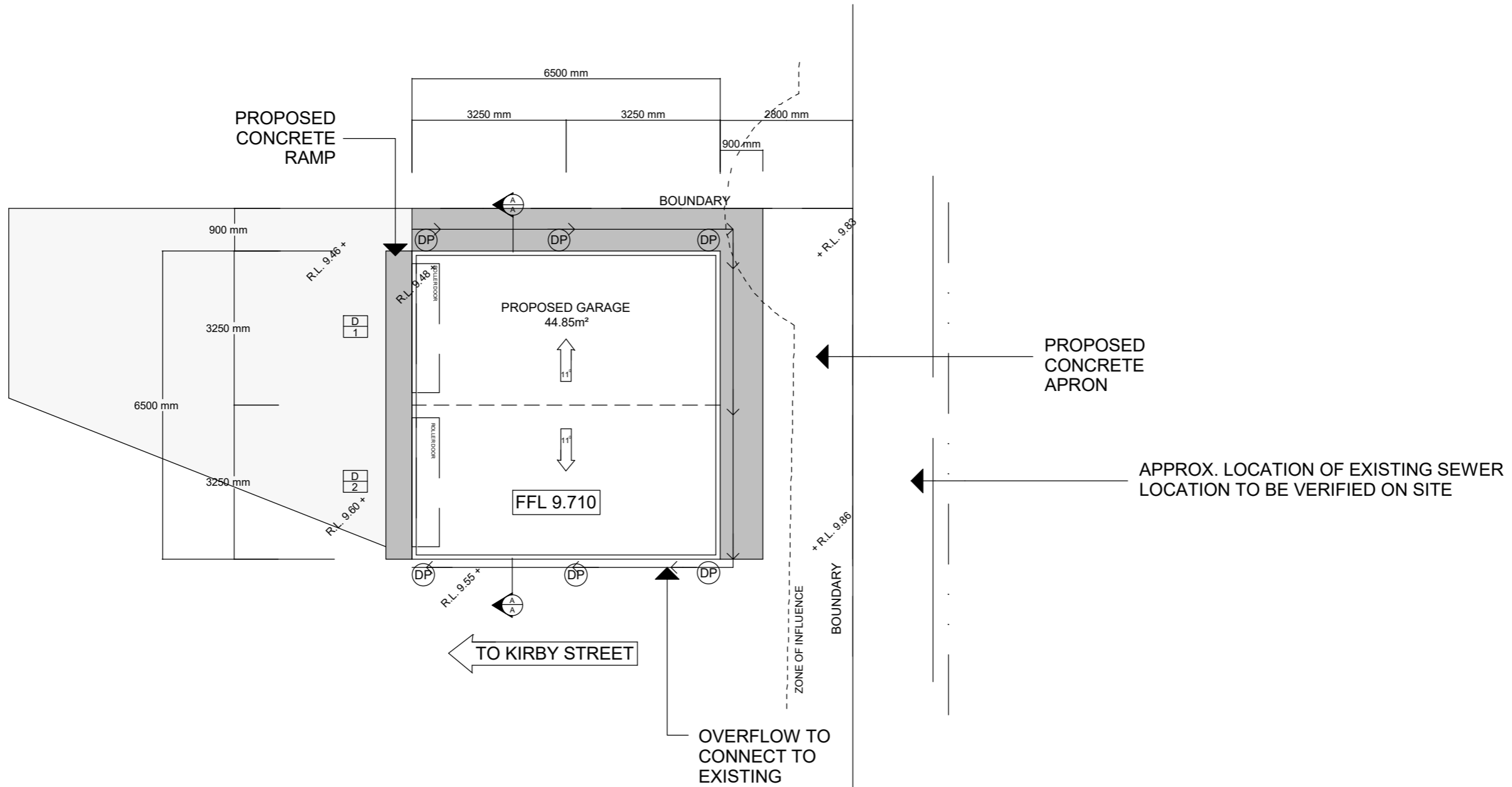
01 SITE PLAN
SCALE 1:200



ferleighdrafting.com.au		hello@ferleighdrafting.com.au	
Proposed:	Proposed Steel Frame Shed		
Client:	Neil and Jessica De Jesus		
Address:	51 Kirby Street, Rydalmere NSW 2116 Lot 247/ DP 15173		
Plan:	Site Plan		
Revision:	Date:	Drawn:	J.T.P.
210121 - 02	10.07.24	Date:	July 2024
210121 - 03	23.09.24	Scale:	1:100 @ A3
		Job No:	210121
			Sheet:
			01
			03

Note: Plans to be printed on A3 to be too scale. Do not scale off plans. All dimensions to be checked and verified on site.

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. ALL WORK TO BE UNDERTAKEN BY LICENSED INSTALLERS.



02 FLOOR PLAN
SCALE 1:100

MATERIALS COLOR SAMPLES		
Wall cladding/ corrugated Slate Grey	Roof cladding/ corrugated Slate Grey	Roller door Slate Grey
Colours may vary due to printing process		

Door Schedule:

- 2300 x 2720mm Colorbond roller door
- 2300 x 2720mm Colorbond roller door

NOTES:

All work to be carried out strictly in accordance with the BCA, Australian standards and all relevant Statutory Authorities. All levels, dimensions, areas etc. to be verified by the builder prior to preparation of any contracts and the commencement of any building works. Any discrepancies are to be brought to the attention of the owner prior to commencement of any building works. If any discrepancies are noted they are to be taken preference over these drawings. Levels shown are for reference and may vary plus or minus 200mm. Do not scale this drawing use figured dimensions. All drawings are to be checked and approved by the Council prior to commencement of any building works. Stormwater services to be located by builder prior to commencement of any building works.



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Proposed: Proposed Steel Frame Shed
Client: Neil and Jessica De Jesus
Address: 51 Kirby Street, Rydalmere NSW 2116 Lot 247/ DP 15173
Plan: Floor Plan

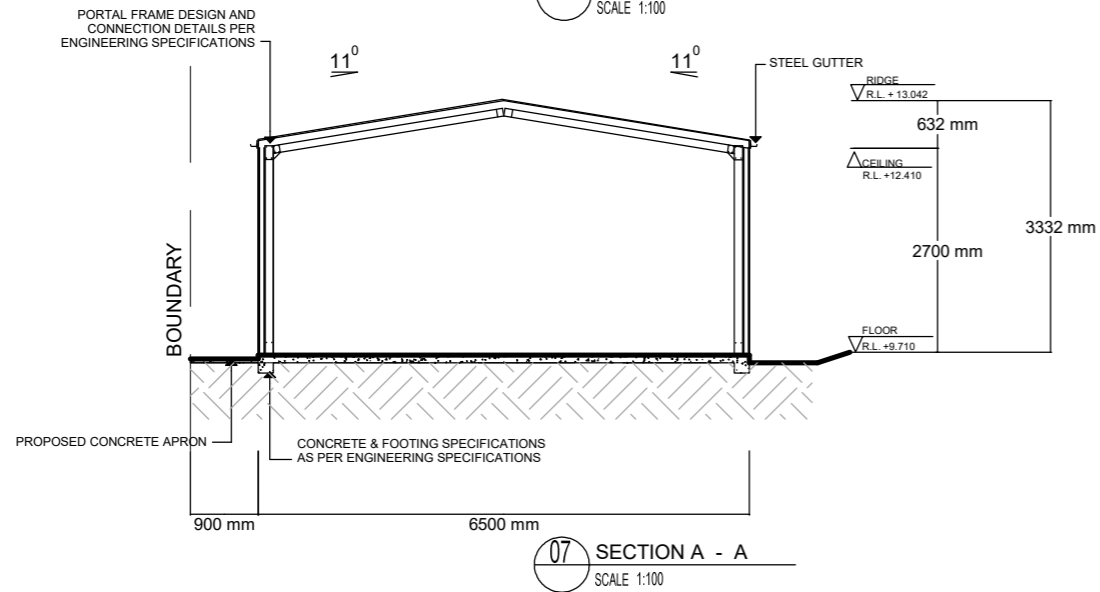
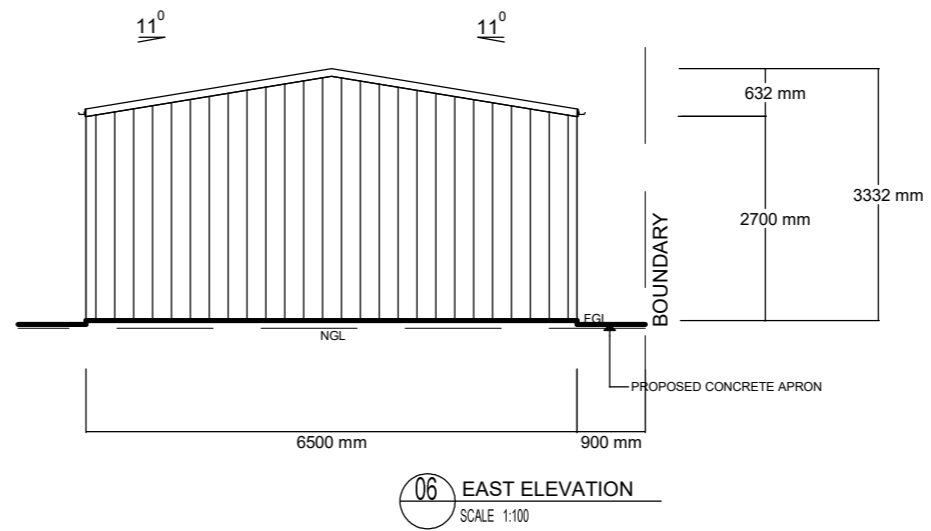
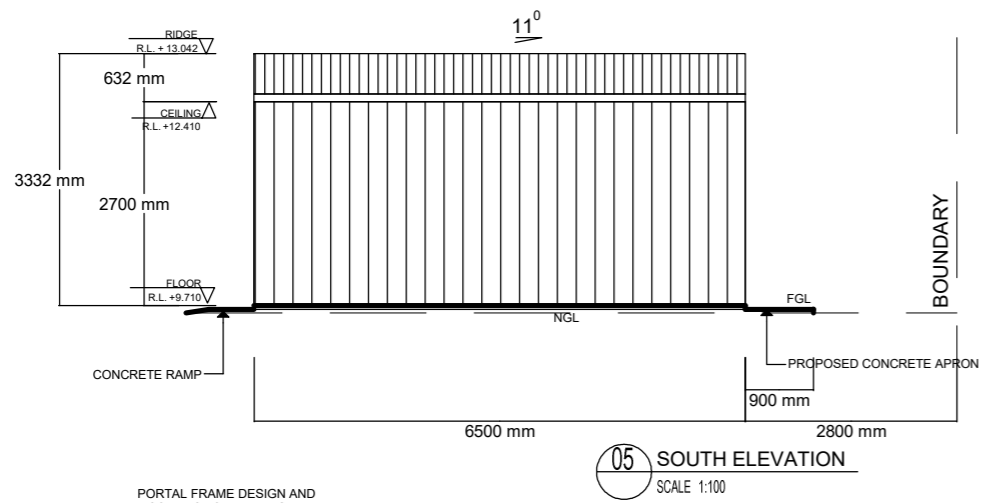
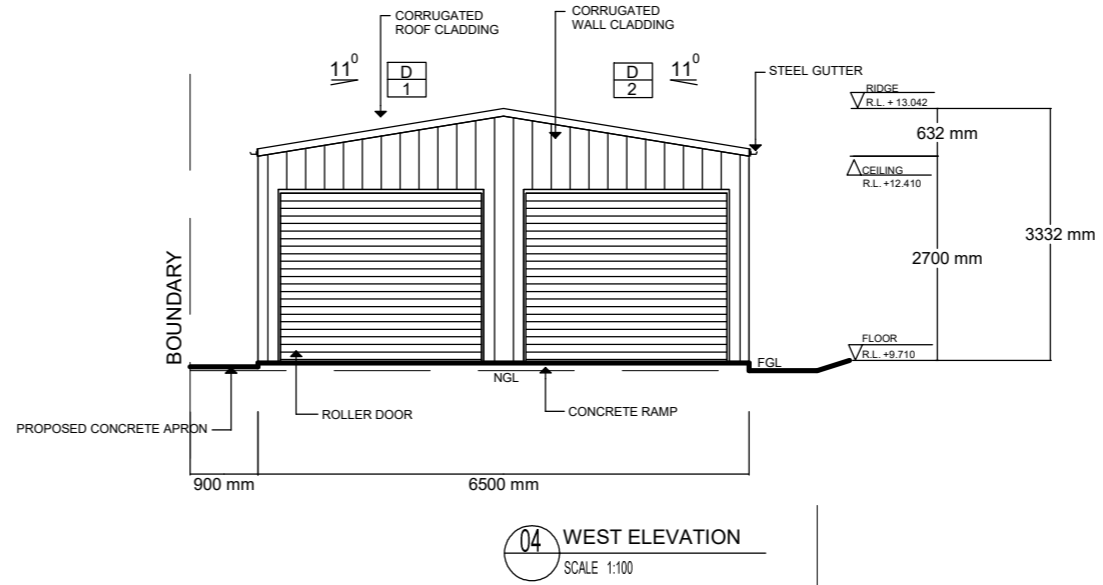
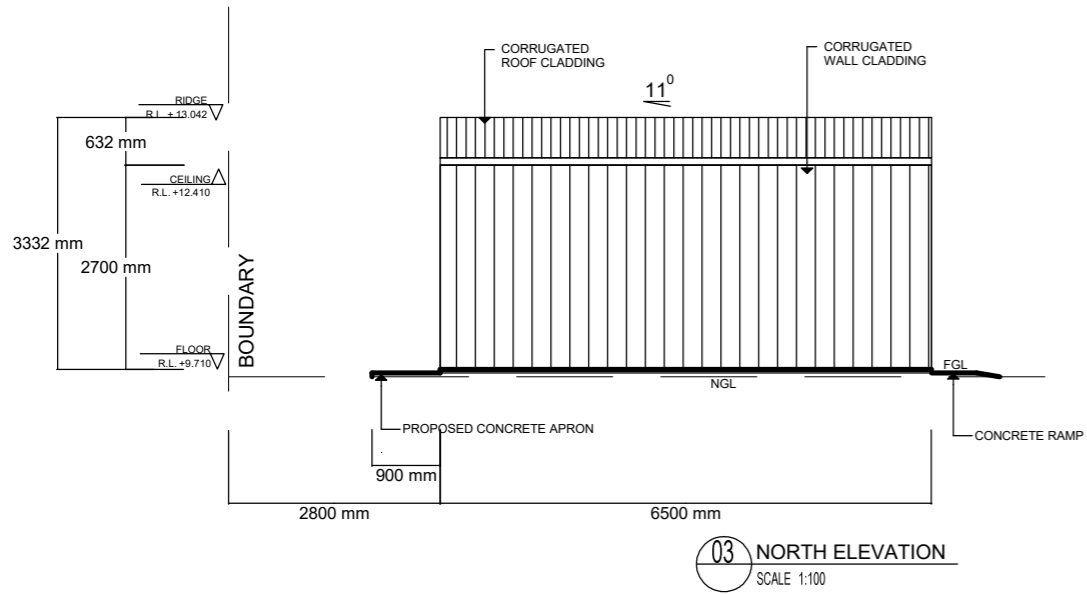
Revision:	Date:	Drawn:	Date:
210121 - 02	10.07.24	J.T.P.	July 2024
210121 - 03	23.09.24		1:100 @ A3
		Job No:	210121





Sheet: **02**
Of: **03**




Note: Plans to be printed on A3 to be too scale. Do not scale off plans. All dimensions to be checked and verified on site.

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NOTES:

All work to be carried out strictly in accordance with the BCA, Australian standards and all relevant Statutory Authorities. All levels, dimensions, areas etc. to be verified by the builder prior to preparation of any contracts and the commencement of any building works. Any discrepancies are to be brought to the attention of the client prior to commencement of any building works. Where engineering details are required they take preference over these drawings. Levels shown are approximate and may vary plus or minus 200mm. Do not scale this drawing use figured dimensions. **Drawn by: Stephen Tooley (DC1814)** Date: 1/09/2025 Stormwater to be discharged to Local Authority Regulations and guidelines. All existing services to be located by builder prior to commencement of any building works.



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Proposed: Proposed Steel Frame Shed
Client: Neil and Jessica De Jesus
Address: 51 Kirby Street, Rydalmere NSW 2116 Lot 247/ DP 15173
Plan: ELEVATIONS & SECTION A - A



Revision:	Date:	Drawn:	J.T.P.
210121 - 02	10.07.24	Date:	July 2024
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Sheet: **03** of **03**

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