

# APPLICATION

# DEVELOPMENT APPLICATION CONSTRUCTION CERTIFICATE

## PROPOSAL

ABOVE GROUND SWIMMING POOL/POOL DECK/  
DETACHED GARAGE/RETAINING WALL

REF: 21021

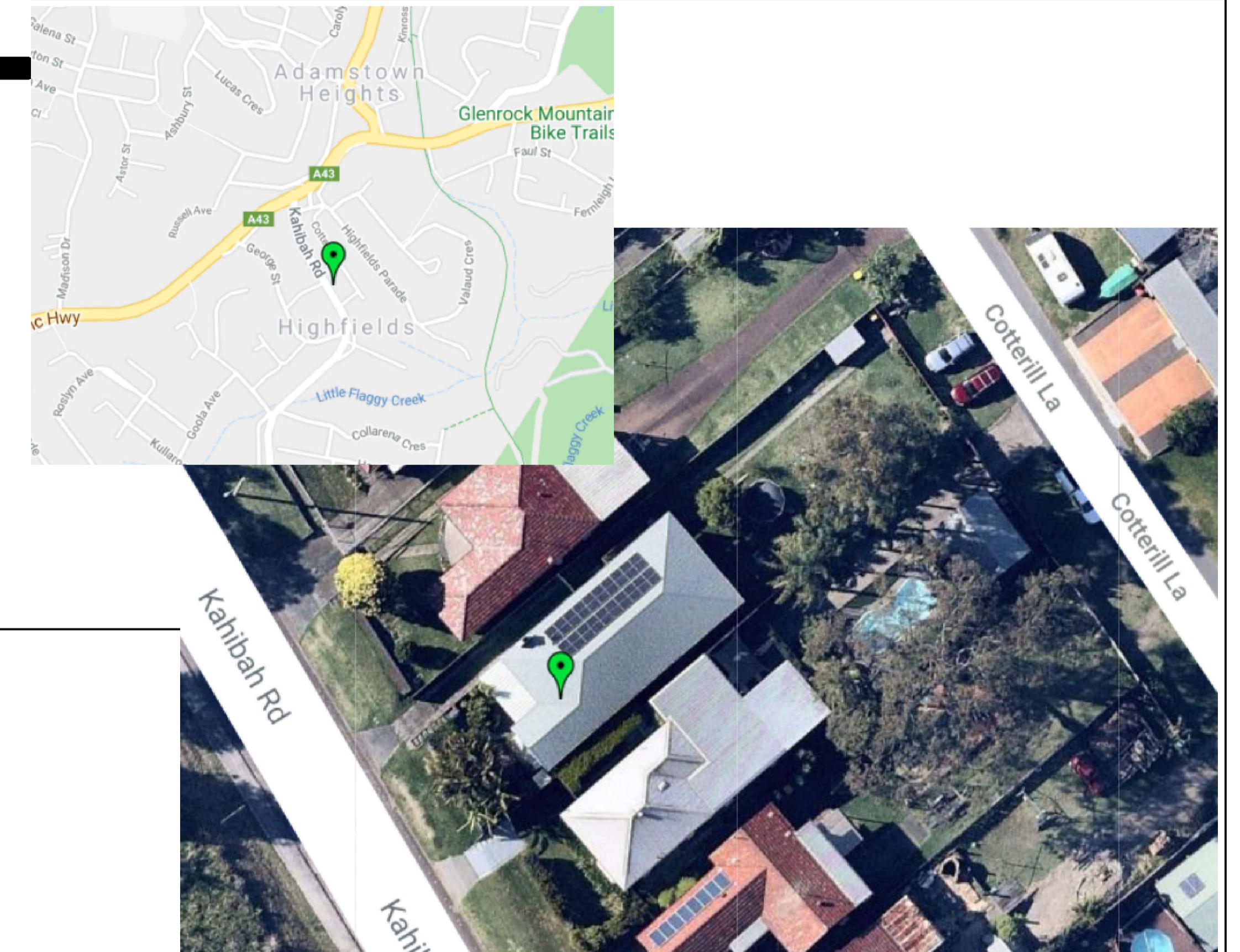
VER: DRAFT - Issue 2

Date: 16/02/2022

# T O N E R R E S I D E N C E

LOT 188  
SECTION N/A  
DEPOSITED PLAN 18348  
ADDRESS 32 KAHIBAH ROAD  
HIGHFIELDS NSW 2289

## LOCATION MAP



## SITE DATA

### LAKE MACQUARIE CITY COUNCIL

LEP - Lake Macquarie 2014  
DCP - Lake Macquarie DCP 2014  
Acceptable Solutions - N/A  
Zoning - R2 Low Density Residential  
Precinct - N/A  
Height Limit - 8.5m (Proposed: <8.5m)  
Site Coverage - 50% (Proposed: 50%)

### ENVIRONMENTAL

Acid Sulfate Soils - N/A  
Bushfire Prone Land - N/A  
Flood Prone Land - N/A  
Geotechnical Zone - Geo 2/4/6  
Mine Subsidence Area - N/A

SITE AREA - ~648.5m<sup>2</sup>

### EXISTING STRUCTURES

Dwelling Footprint - ~187.5m<sup>2</sup>

### PROPOSAL

Pool Deck/Area - 45.5m<sup>2</sup>  
Detached Garage - 36m<sup>2</sup>/Roof - 43.5m<sup>2</sup>  
Swimming Pool - 23,000L  
Retaining Walls - REINFORCED CONCRETE BLOCKS

### DRAWING LIST (A3 DRAWINGS)

| ARCHITECTURAL                 |       |
|-------------------------------|-------|
| SITE PLAN/ANALYSIS (EXISTING) | SHT 1 |
| SITE PLAN/ANALYSIS (PROPOSED) | SHT 2 |
| FLOOR/ROOF PLANS (GARAGE)     | SHT 3 |
| SECTION                       | SHT 4 |
| FLOOR PLAN (POOL DECK/AREA)   | SHT 5 |
| ELEVATIONS                    | SHT 6 |
| ELEVATIONS                    | SHT 7 |
| STRUCTURAL                    |       |
| SEPARATE                      |       |

## ARCHITECTURAL DESIGN & ENGINEERING

24 HANOVER ROAD, CAMERON PARK NSW 2285

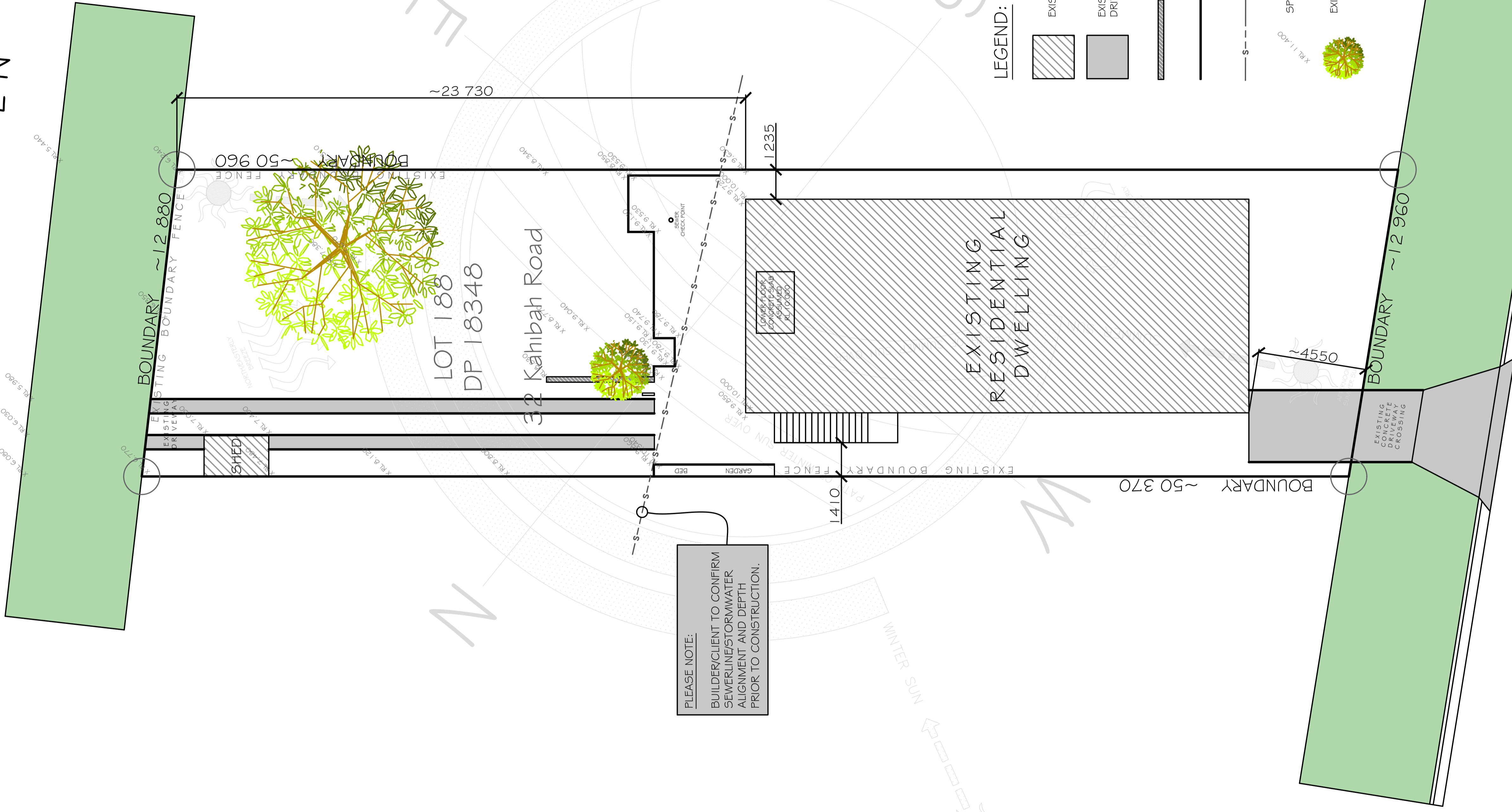
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lakazdesigns@hotmail.com  
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**GENERAL NOTES**

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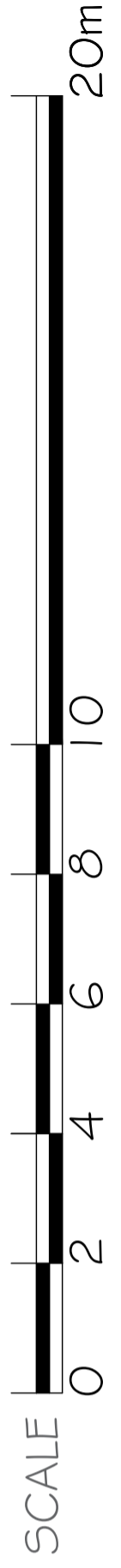
COTTERILL LN



**LEGEND:**

- EXISTING STRUCTURES
- EXISTING CONCRETE DRIVEWAY
- EXISTING BRICKWORK RETAINING WALL
- EXISTING TREATED PINE RETAINING WALL
- INDICATIVE SEWERLINE (TO BE CONFIRMED ON SITE)
- SPOT LEVEL
- EXISTING TREES

SCALE 1:200



KAHIBAH ROAD

**SITE PLAN**  
existing



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| DRAFTER  | DRAFTING CHECK | AMENDMENTS | DATE |
| J.B.   |                |            |      |
| DESIGNED   | DESIGN REVIEW  |            |      |
| R.B.   |                |            |      |

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| 1:200 (A3)   | FEB 2022 | 21021      | 1/7    | 2           |

THE OWNER'S ATTENTION IS DRAWN TO C.S.I.R.O. PAMPHLET "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE". THE OWNER SHOULD COMPLY WITH THE RECOMMENDATIONS OF THIS PAMPHLET. THE SITE ABOUT THE BUILDING PERIMETER AND ALL SERVICE TRENCHES ARE TO BE GRADED TO DRAIN AWAY FROM THE BUILDING PERIMETER.



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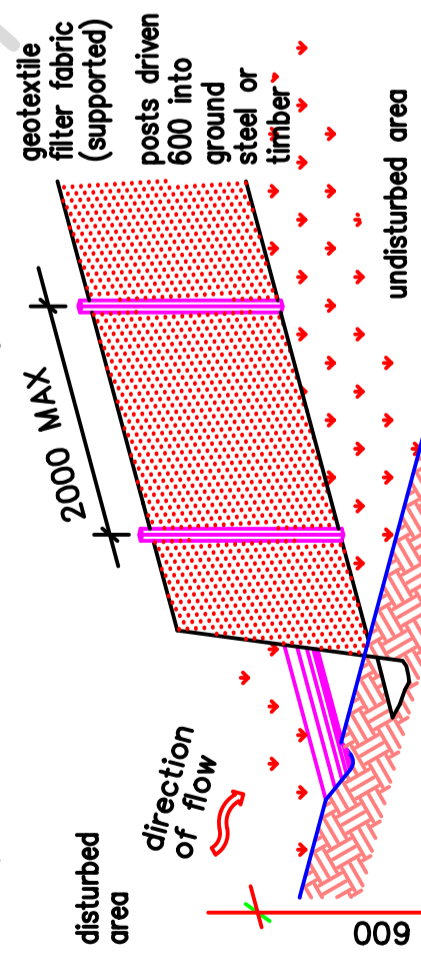
## STORMWATER DRAINAGE

- PLUMBING AND DRAINAGE WORK CARRIED OUT IN ACCORDANCE WITH WATER, SEWERAGE AND DRAINAGE REQUIREMENTS OF LOCAL COUNCIL.
- ALL WORK TO BE IN ACCORDANCE WITH A53500.3.
- ALL STORMWATER PIPES TO BE UPVC UNLESS NOTED OTHERWISE.
- UPVC TO CONFORM TO AS1260.
- ALL PIPES TO BE LAID WITH A MINIMUM GRADE OF 1 IN 100.
- MINIMUM COVER TO STORMWATER PIPES TO BE AS FOLLOWS U.N.O.:
- TRAFFICABLE AREAS - 450mm
- LANDSCAPED AREAS - 300mm
- PIPES ARE TO BE CONCRETE ENCASED IF MINIMUM COVERS CANNOT BE ACHIEVED IN TRAFFICABLE AREAS, REFER TO CLAUSE 3.8 A53500.3.
- ALTERNATIVELY USE UPVC SEWER GRADE PIPES UNDER ROAD AND BUILDINGS.
- AGG. DRAINS TO ALL LANDSCAPED AREAS AND RETAINING WALLS TO BE CONNECTED INTO STORMWATER SYSTEM.
- ALL EXISTING SERVICES TO BE LOCATED PRIOR TO COMMENCEMENT OF WORK.
- ANY FOOTPATHS, KERB AND GUTTER OR ROADWAY DISTURBED BY WORKS ARE TO BE REINSTATED TO CURRENT COUNCIL REQUIREMENTS.
- THIS PLAN TO BE READ IN CONJUNCTION WITH STANDARD SPECIFICATIONS.

## SEDIMENT CONTROL

Install sediment control structures in locations indicated on this drawing and as otherwise required to control sediment during all excavations and whilst areas of the site are exposed to erosion. review control measures and maintain structures during construction.

If additional measures are required for erosion and control or by council requirements, refer to "urban erosion and sediment control" guidelines prepared by the department of conservation and land management.



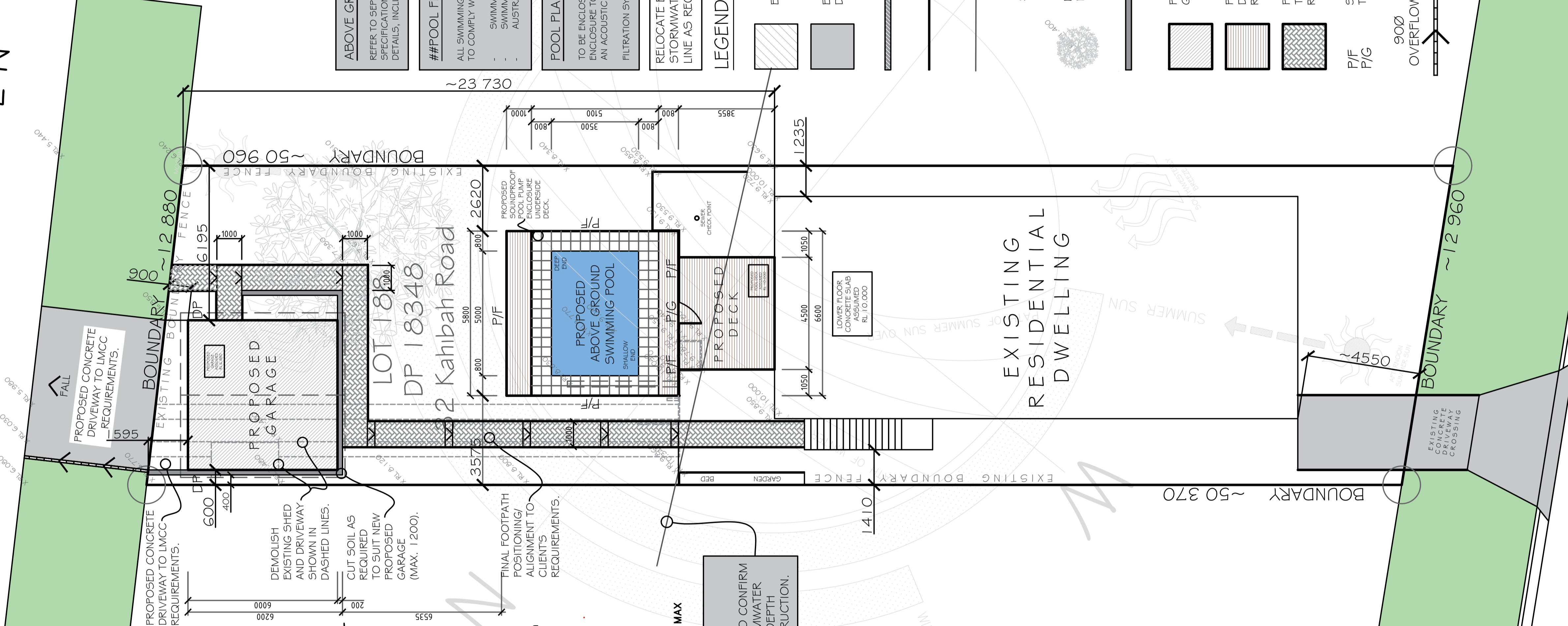
**SEDIMENT FENCE DETAIL**  
 SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 80M MAX

**PLEASE NOTE:**  
 BUILDER/CLIENT TO CONFIRM SEWERLINE/STORMWATER ALIGNMENT AND DEPTH PRIOR TO CONSTRUCTION.

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## COTTERILL LN



**ABOVE GROUND SWIMMING POOL**  
 REFER TO SEPARATE MANUFACTURER'S SPECIFICATIONS FOR SWIMMING POOL INSTALLATION DETAILS, INCLUDING RETAINING SOIL REQUIREMENTS.

**##POOL FENCING##**  
 ALL SWIMMING POOL FENCING/GATE/WINDOW TO COMPLY WITH:  
 SWIMMING POOLS ACT 2018  
 SWIMMING POOLS REGULATION 2018  
 AUSTRALIAN STANDARD AS1926 - E01.2

**POOL PLANT/EQUIPMENT**  
 TO BE ENCLOSED IN A SOUND PROOF/ABSORBING ENCLOSURE TO MINIMISE NOISE SUCH AS: AN ACOUSTIC BOX FILTER ENCLOSURE OR SIMILAR. FILTRATION SYSTEM TO COMPLY WITH AS1926.3.

**RELOCATE EXISTING STORMWATER LINE AS REQUIRED.**

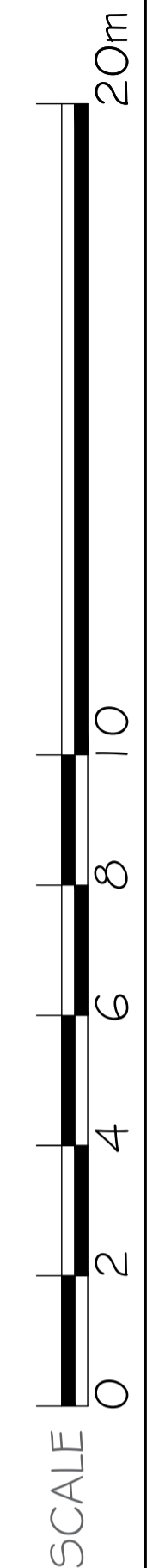
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- EXISTING CONCRETE DRIVEWAY
- EXISTING BRICKWORK RETAINING WALL
- EXISTING TREATED PINE RETAINING WALL
- INDICATIVE SEWERLINE (TO BE CONFIRMED ON SITE)
- SPOT LEVEL
- EXISTING TREES TO BE CUTBACK
- PROPOSED BESSER BLOCKS RETAINING WALL
- PROPOSED DETACHED GARAGE
- PROPOSED TIMBER DECKING TO CLIENT'S REQUIREMENTS.
- PROPOSED FOOTPATH TO CLIENT'S REQUIREMENTS.
- SELECTED POOL FENCE/GATE TO CLIENT'S DETAILS.
- 900 OVERFLOW
- PROPOSED STORMWATER OVERFLOE DIRECTED TO EXISTING LANE STORMWATER SYSTEM.

# KAHIBAH ROAD

## SITE PLAN

Proposed SCALE 1:200



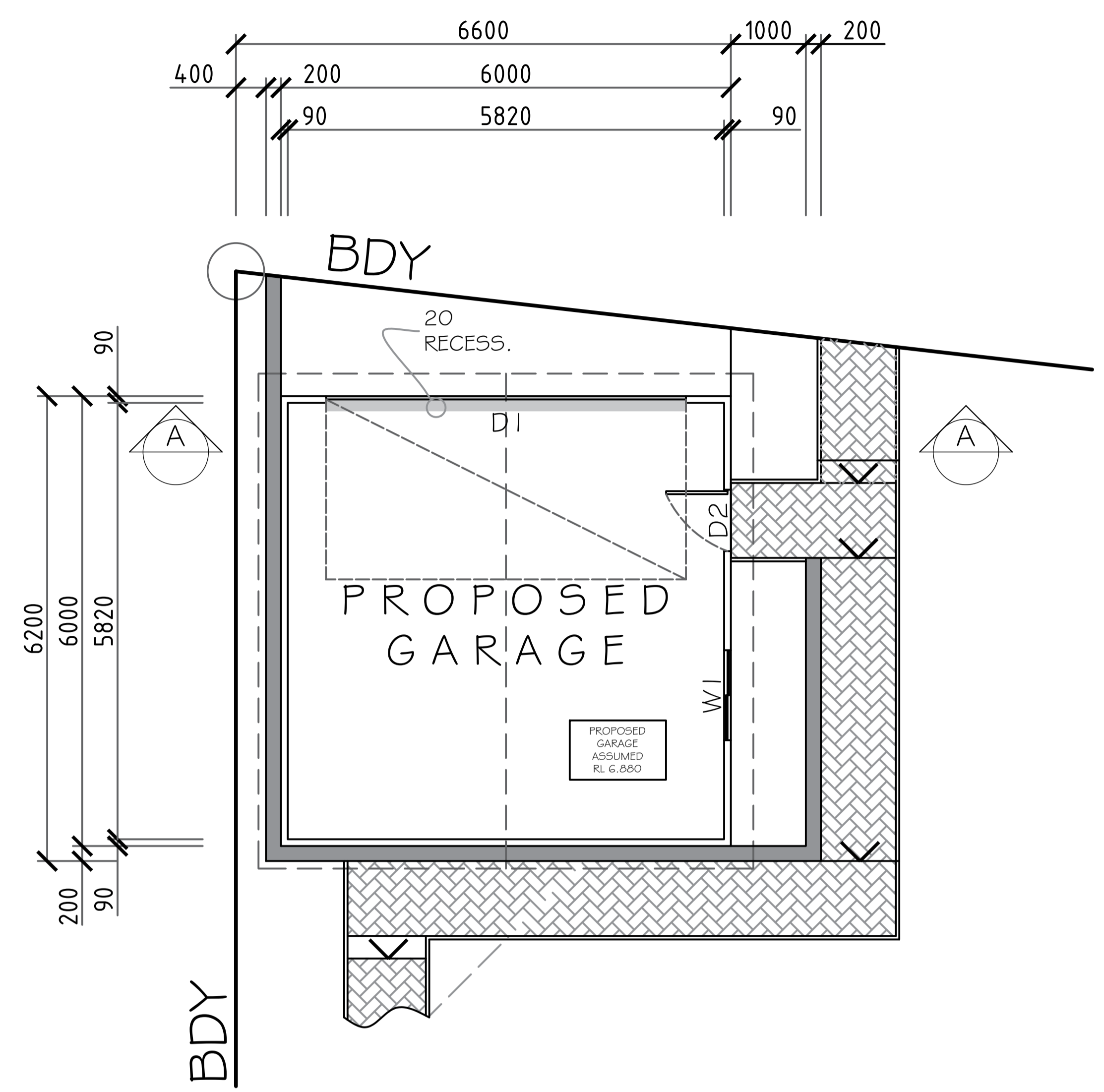
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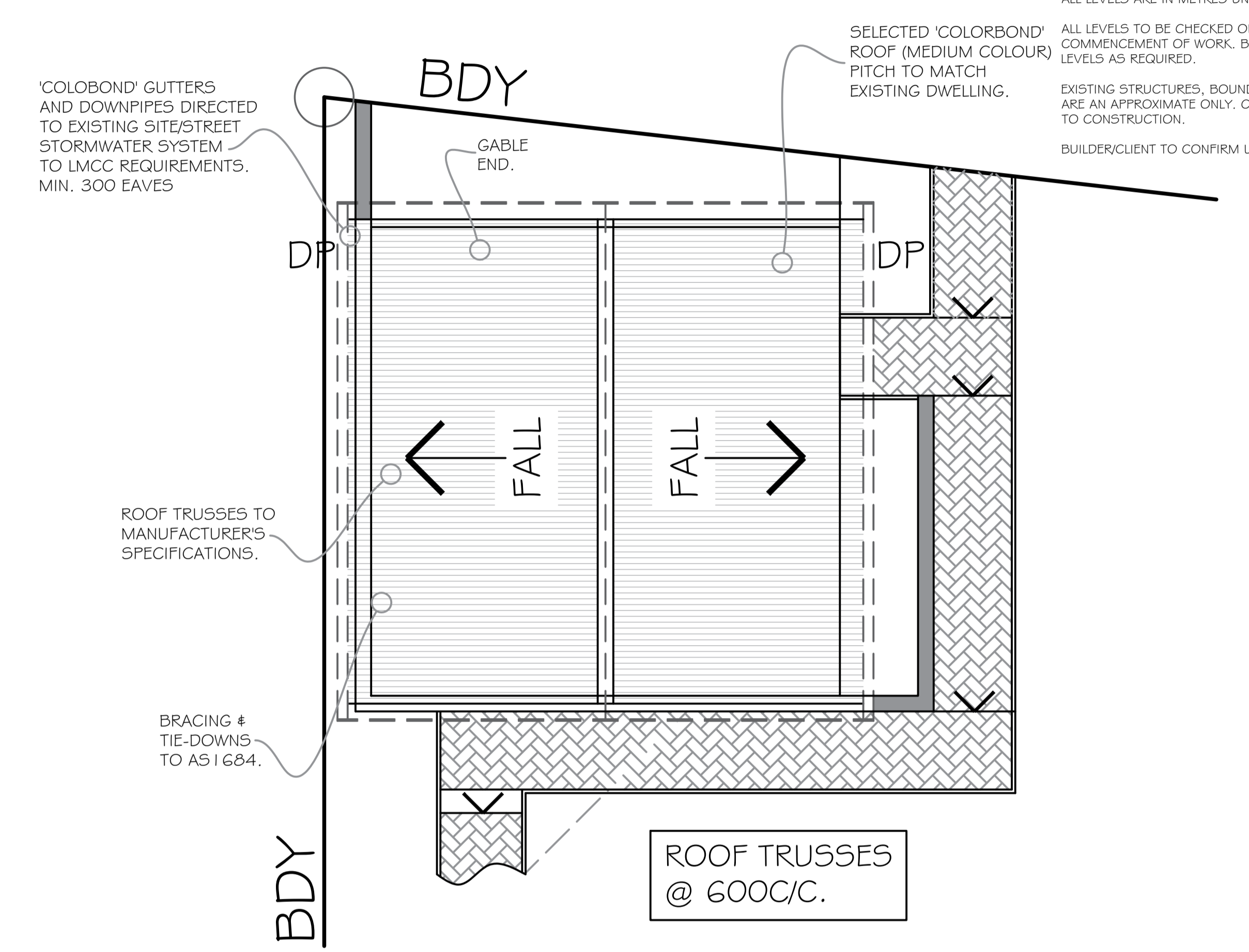
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### FLOOR PLAN

GARAGE SCALE 1:100



### ROOF PLAN

GARAGE SCALE 1:100

| REF | H(nom) x W(nom) | TYPE  |
|-----|-----------------|---|
| D1  | 2400 X 4800 (1) | SELECTED PANELIFT COLORBOND GARAGE DOOR (12mm WEATHERLIP) |
| D2  | 2100 X 820 (1)  | SELECTED WEATHERPROOF EXTERNAL GARAGE ENTRY DOOR          |
| W1  | 900 X 1200 (1)  | SELECTED PC ALUMN. FRAMED SINGLE SLIDER WINDOW            |

### DOOR/WINDOW SCHEDULE

NOMINAL SIZES ONLY.  
 CONFIRM WITH MANUFACTURERS SPECIFICATIONS.  
 OBSCURED GLASS WHERE REQUIRED.  
 ALL WINDOWS TO HAVE FLY SCREENS.  
 ALL GLAZING TO COMPLY WITH SAA SAFETY REQUIREMENTS.  
 ALL DOOR HARDWARE AND FITTINGS TO COMPLY WITH BCA REQUIREMENTS AND AS SELECTED.



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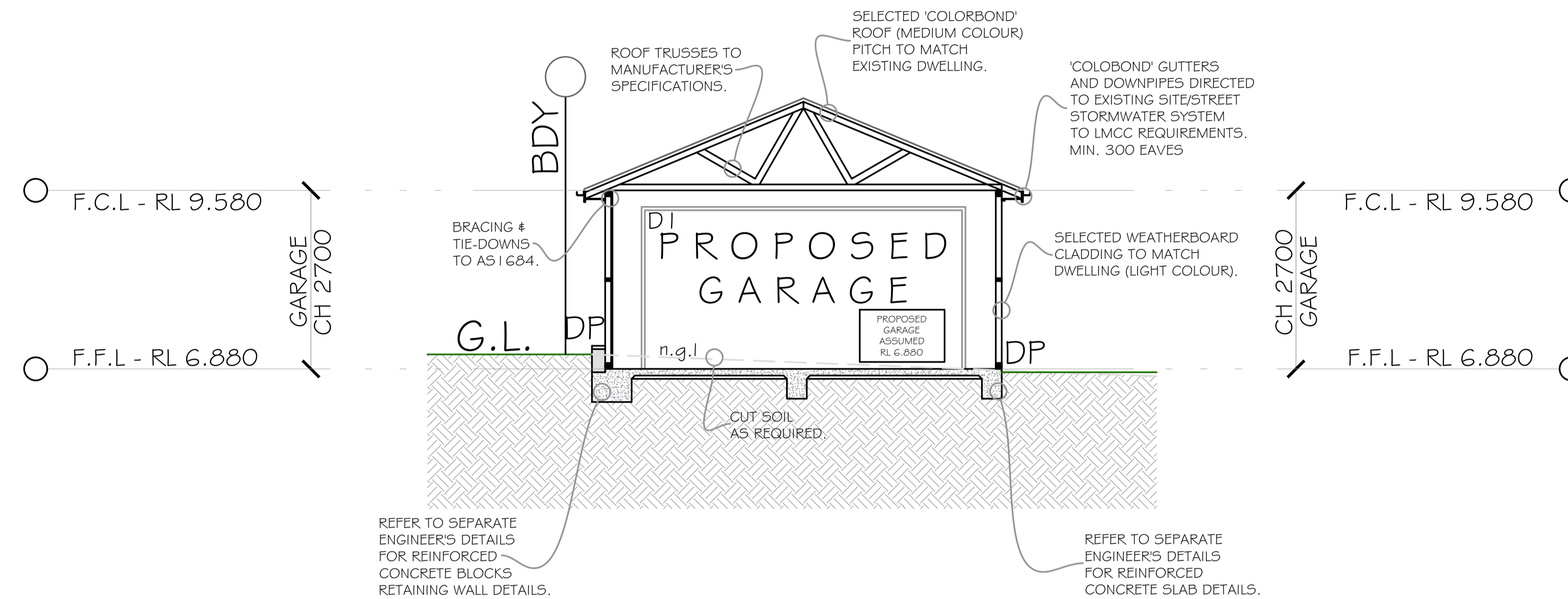
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## SECTION A-A

GARAGE SCALE 1:100



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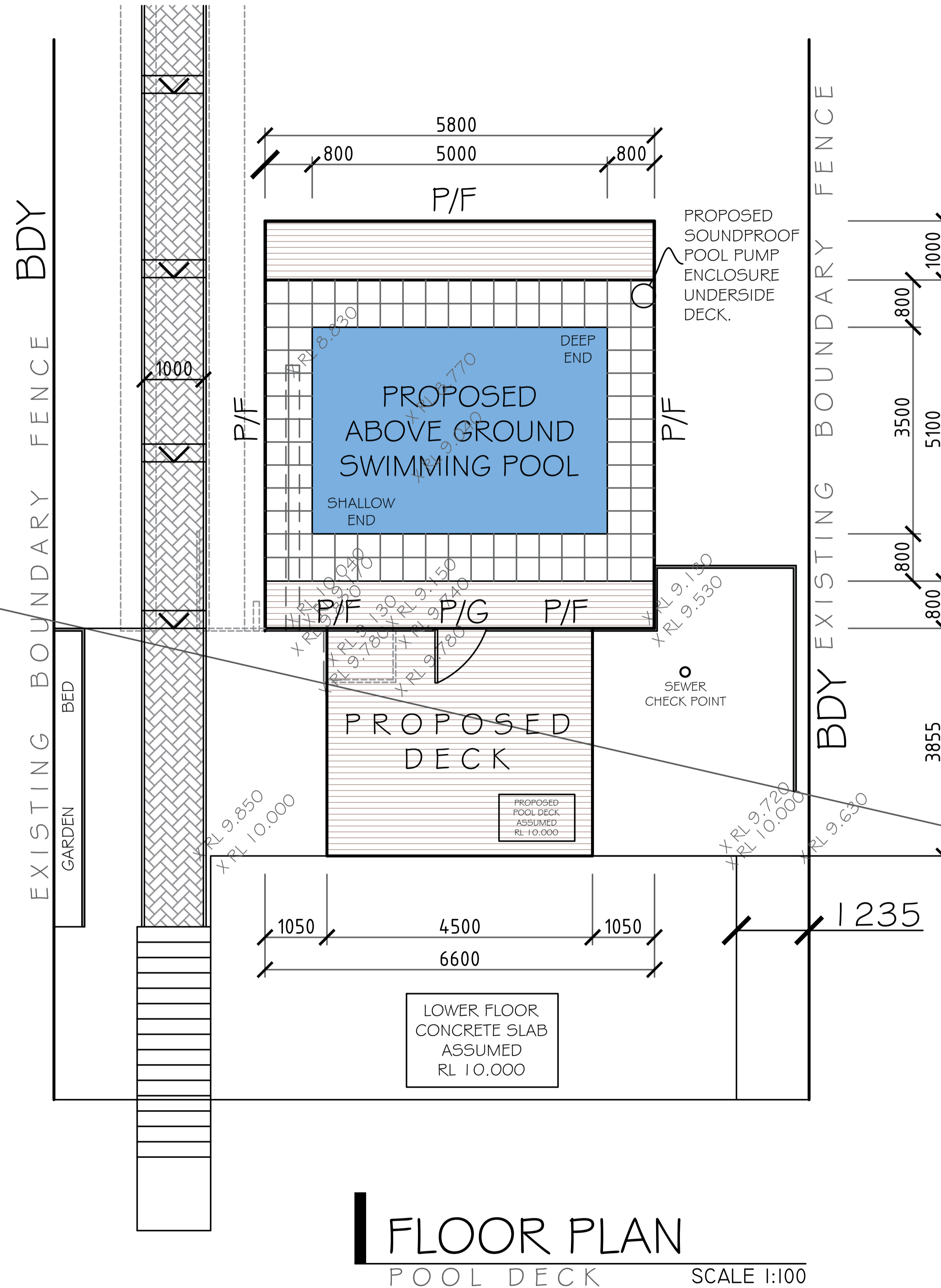
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## FLOOR PLAN

POOL DECK SCALE 1:100

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**##POOL FENCING##**  
ALL SWIMMING POOL FENCING/GATE/WINDOW TO COMPLY WITH:  
- SWIMMING POOLS ACT 2018  
- SWIMMING POOLS REGULATION 2018  
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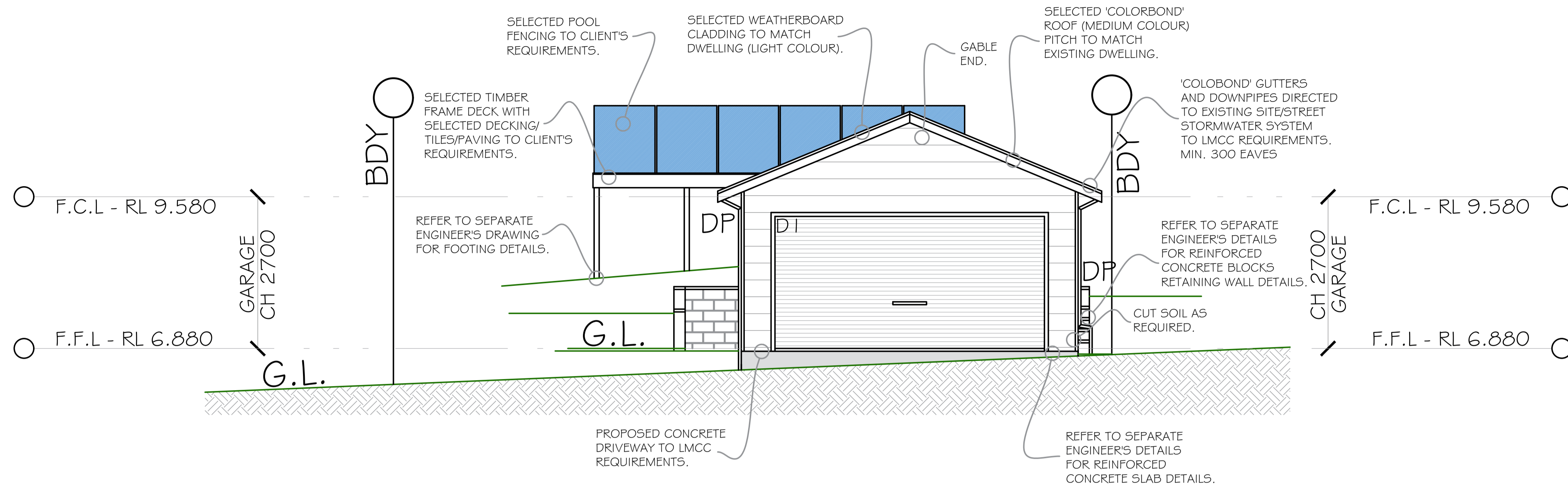
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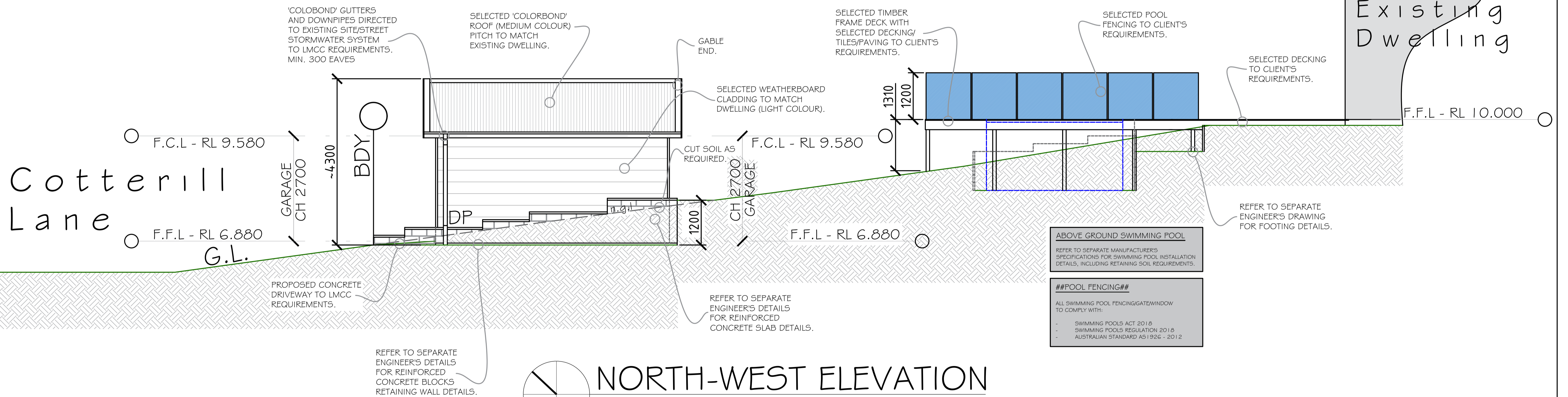
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**\*\*MATERIALS TO BE ORDERED ARE ONLY TO BE ORDERED FROM A BUILDER'S OR APPLICABLE PRODUCT MANUFACTURER'S SEPARATE SITE CONFIRMED MATERIALS LIST.\*\***  
**\*\*PLANS ARE NOT INTENDED TO BE THE ABSOLUTE MEDIUM FOR CONSTRUCTION INFORMATION ACCURACY DUE TO EXISTING BUILDINGS DISCREPANCIES AND EXISTING BUILDINGS HIDDEN CHARACTERISTICS.\*\***  
 ALL LEVELS ARE IN METRES UNLESS NOTED OTHERWISE.  
 ALL LEVELS TO BE CHECKED ON SITE BY BUILDER PRIOR TO COMMENCEMENT OF WORK. BUILDER/CLIENT MAY ADJUST FLOOR LEVELS AS REQUIRED.  
 EXISTING STRUCTURES, BOUNDARY DIMENSIONS AND SETBACKS ARE AN APPROXIMATE ONLY. CLIENT/BUILDER TO CONFIRM PRIOR TO CONSTRUCTION.  
 BUILDER/CLIENT TO CONFIRM UTILITIES LOCATION.



### NORTH-EAST ELEVATION

SCALE 1:100



### NORTH-WEST ELEVATION

SCALE 1:100

Cotterill Lane

Existing Dwelling

**ABOVE GROUND SWIMMING POOL**  
 REFER TO SEPARATE MANUFACTURER'S SPECIFICATIONS FOR SWIMMING POOL INSTALLATION DETAILS, INCLUDING RETAINING SOIL REQUIREMENTS.

**##POOL FENCING##**  
 ALL SWIMMING POOL FENCING/GATE/WINDOW TO COMPLY WITH:  
 - SWIMMING POOLS ACT 2016  
 - SWIMMING POOLS REGULATION 2016  
 - AUSTRALIAN STANDARD AS1926 - 2012



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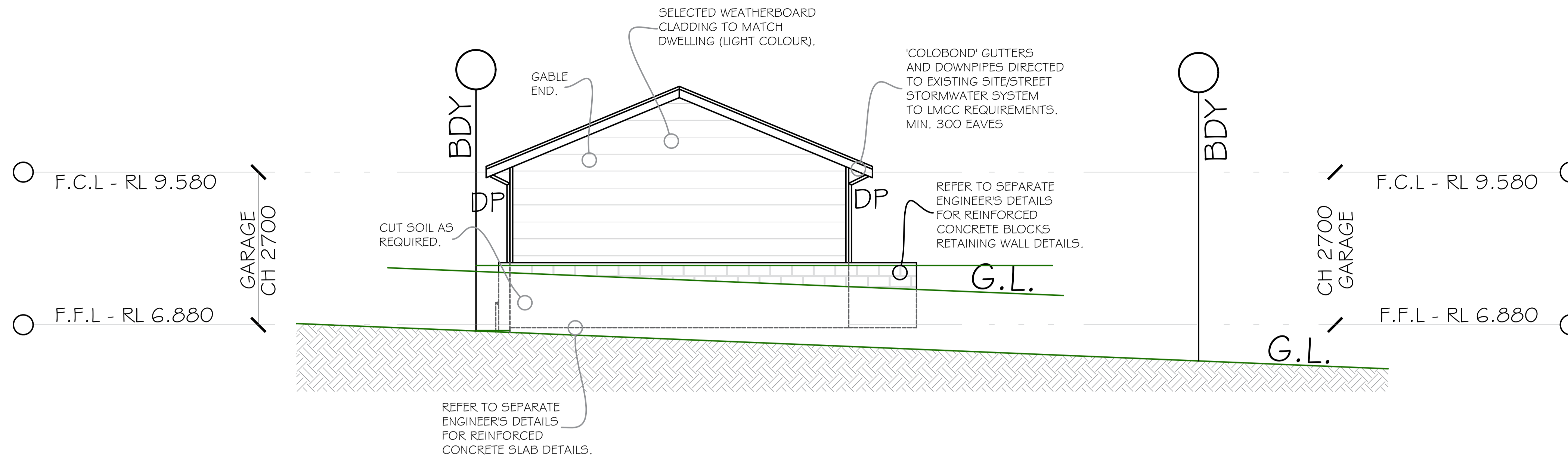
|  |                |            |      |
|--|----------------|------------|------|
| CLIENT<br><b>TONER</b>   |                |            |      |
| PROJECT<br>ABOVE GROUND SWIMMING POOL/POOL DECK/DETACHED GARAGE/RETAINING WALL |                |            |      |
| DRAFTER<br>J.B.  | DRAFTING CHECK | AMENDMENTS | DATE |
| DESIGNED<br>R.B.   | DESIGN REVIEW  |            |      |

|  |                  |                     |                  |
|--|------------------|---------------------|------------------|
| TITLE<br><b>DEVELOPMENT APPLICATION CONSTRUCTION CERTIFICATE</b> |                  |                     |                  |
| LOT 188 DP 18348<br>32 KAHIBAH ROAD HIGHFIELDS NSW               |                  |                     |                  |
| SCALE<br>1:100 (A3)  | DATE<br>FEB 2022 | DRAWING No<br>21021 | SHT No<br>6/7    |
|  |                  |                     | DRAFT ISSUE<br>2 |

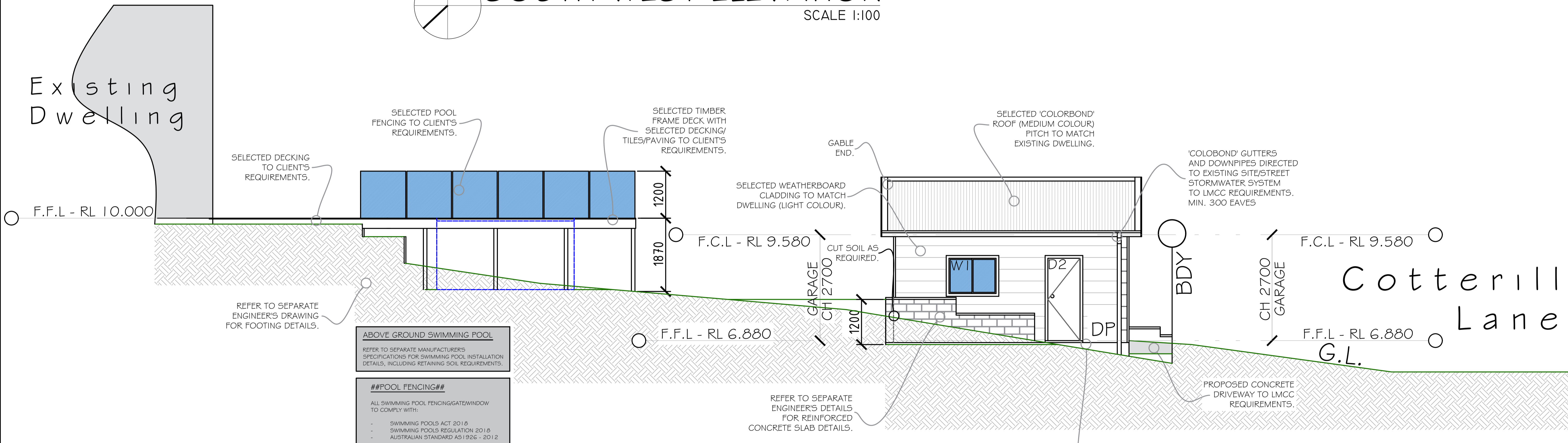
THE OWNER'S ATTENTION IS DRAWN TO C.S.I.R.O. PAMPHLET "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE". THE OWNER SHOULD COMPLY WITH THE RECOMMENDATIONS OF THIS PAMPHLET. THE SITE ABOUT THE BUILDING PERIMETER AND ALL SERVICE TRENCHES ARE TO BE GRADED TO DRAIN AWAY FROM THE BUILDING PERIMETER.

### GENERAL NOTES

ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.  
 ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY BUILDER PRIOR TO WORK.  
 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.  
**\*\*MATERIALS ARE UNDER NO CIRCUMSTANCES TO BE ORDERED DIRECT OFF PLANS\*\***  
**\*\*MATERIALS TO BE ORDERED ARE ONLY TO BE ORDERED FROM A BUILDER'S OR APPLICABLE PRODUCT MANUFACTURER'S SEPARATE SITE CONFIRMED MATERIALS LIST.\*\***  
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 BUILDER/CLIENT TO CONFIRM UTILITIES LOCATION.



**SOUTH-WEST ELEVATION**  
 SCALE 1:100



**SOUTH-EAST ELEVATION**  
 SCALE 1:100

**ABOVE GROUND SWIMMING POOL**  
 REFER TO SEPARATE MANUFACTURER'S SPECIFICATIONS FOR SWIMMING POOL INSTALLATION DETAILS, INCLUDING RETAINING SOIL REQUIREMENTS.

**##POOL FENCING##**  
 ALL SWIMMING POOL FENCING/GATE/WINDOW TO COMPLY WITH:  
 - SWIMMING POOLS ACT 2018  
 - SWIMMING POOLS REGULATION 2018  
 - AUSTRALIAN STANDARD AS1926 - 2012

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|   |                       |                   |             |
|---|-----------------------|-------------------|-------------|
| <b>CLIENT</b><br>TONER  |                       |                   |             |
| <b>PROJECT</b><br>ABOVE GROUND SWIMMING POOL/POOL DECK/DETACHED GARAGE/RETAINING WALL |                       |                   |             |
| <b>DRAFTER</b><br>J.B.  | <b>DRAFTING CHECK</b> | <b>AMENDMENTS</b> | <b>DATE</b> |
| <b>DESIGNED</b><br>R.B.   | <b>DESIGN REVIEW</b>  |                   |             |

|   |                         |                            |                      |                         |
|---|-------------------------|----------------------------|----------------------|-------------------------|
| <b>TITLE</b><br>DEVELOPMENT APPLICATION<br>CONSTRUCTION CERTIFICATE |                         |                            |                      |                         |
| LOT 188 DP 18348<br>32 KAHIBAH ROAD HIGHFIELDS NSW                  |                         |                            |                      |                         |
| <b>SCALE</b><br>1:100 (A3)  | <b>DATE</b><br>FEB 2022 | <b>DRAWING No</b><br>21021 | <b>SHT No</b><br>7/7 | <b>DRAFT ISSUE</b><br>2 |

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