

SUBJECT TO AS CONSTRUCTED SEWER INFORMATION  
 SUBJECT TO FLOOD REPORT DETAILS

IT IS THE BUILDERS RESPONSIBILITY TO CONFIRM THE LOCATION AND DEPTH OF THE SEWER, WATER AND STORMWATER INFRASTRUCTURE AND ENSURE FOUNDATION CONSTRUCTION ACHIEVES THE REQUIREMENTS OF THE QUEENSLAND DEVELOPMENT CODE MP 1.4 - BUILD OVER OR NEAR RELEVANT INFRASTRUCTURE.



LEGEND

	Valve		Light Pole
	Storm Water M/H		Sign Post
	Sewer M/H		Power Pole
	Water Meter		gully pit
	Comms Pit		Elect Line
	Elect Box		Sewer Line
	Roof Outlet		Drainage Line
	Fire Hydrant		Gas Line
	Survey Stn		Water Line
			Retaining Wall concrete
			Building
			Platform bank fence

EARTHWORKS

GL 37.68 approx/FFL 37.98 approx

Equal Cut & Fill  
 Unequal Cut & Fill  
 Scraped & Compacted to provide level building pad

NOTES:

When preparing plumbing and drainage plan, position pipes under floor slab to allow for shortest possible run. All dimensions, boundary and setbacks to be verified on site. An identification survey is required to determine accurate dimensions and location of boundaries

CLIENT: \_\_\_\_\_

CLIENT \_\_\_\_\_

CLIENT \_\_\_\_\_

DATE \_\_\_\_\_

BUILDER \_\_\_\_\_

DATE \_\_\_\_\_

NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

BATTER ANGLES

Batter angles are to comply with local government requirements and are to conform as follows:

CLAY BASED SOILS -

- 1 Vertical to 1 Horizontal

SANDY SOILS -

- 1 Vertical to 2 Horizontal

WEATHER ROCK -

- 1 Vertical to 1.5 Horizontal

MASSIVE ROCK -

- Almost Vertical

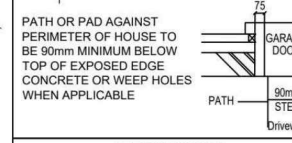
SERVICES NOTE

Services shown hereon have been located where possible by field survey. If not able to be located, services have been plotted from the records of the relevant authorities where available. Prior to any excavation or construction on the site, the relevant authority should be contacted for possible location of further underground services.

FLOOD LEVELS

Spencer Surveys have not performed a flood level search on this property. If required please contact this office for further information.

- SPECIAL BOUNDARY NOTE**
- This plan is a detail survey only and is not intended to show accurate location of property boundaries. Property Boundaries shown are deed dimensions and are positioned by best fit to existing fence lines on site. This survey does not guarantee the location of structures relative to boundaries shown. An identification survey is required to determine accurate dimensions and location of boundaries
- ROOFWATER**
- To Street Channel or Gully
  - To Connection Point
  - To Dispersion Pads
  - To Rubble Pits (Min 6m from house & 1.5m from Bdy)
  - To Water Tanks



RETAINING WALLS

Retaining Walls by Owner  
 Batter Earthworks to Suit

Walls	Max. Height (mm)	Timber	Block	Cut	Fill

NOTE

No work to commence on site or at the builders discretion until retaining walls are complete.

NOTE

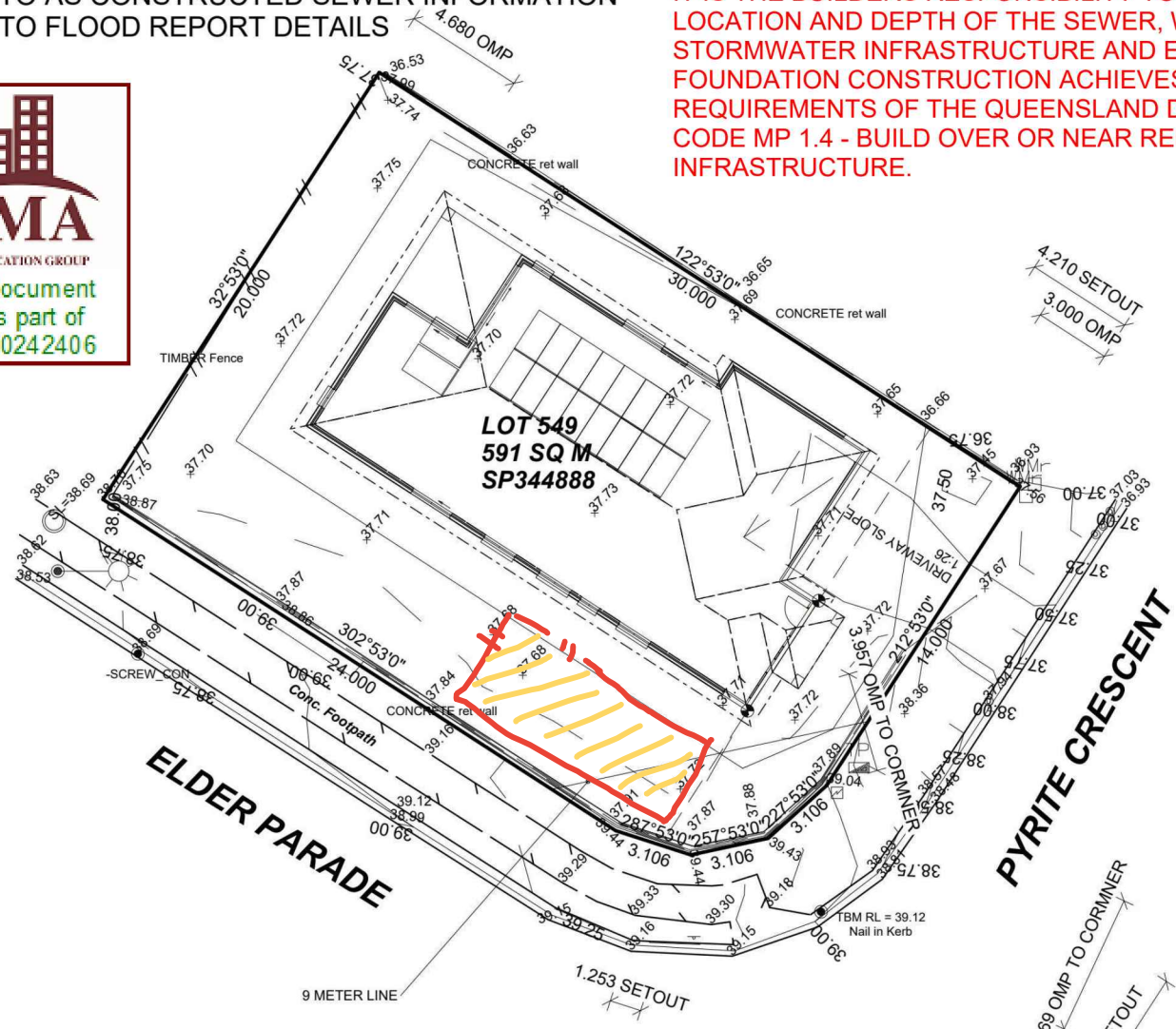
Underground service locations are approximate only and should be verified by local authority prior to construction.

NOTE

Natural surface levels supplied may differ from councils definition of natural surface levels. Please contact us if further clarification is necessary.

NOTE

Sewer Information not provided by Dixon Homes



GRADE SITE AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000MM TO PERIMETER, SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES

ROOF STORMWATER TO BE CONTROLLED ON SITE AND DIRECTED TO KERB & CHANNEL OR OTHER LAWFUL POINT OF DISCHARGE.

SERVICES

Sewerage	yes
Stormwater	yes
Water	yes
Electricity	underground
Telephone	underground
Gas	no
Road	bitumen
Kerb	mountable
Footpath	concrete
Flood Affected	check council
Soil	sandy clay
Grass	yes
Coverage	60%

Scale 1:200 - Lengths are in Metres.

A = Apex Level  
 R = Roof/Eave Level

Datum for Levels ..... AHD  
 Levelled from GNSS.....RL AHD

ISSUE	DESCRIPTION	DATE	SIGNED	ISSUE	DESCRIPTION	DATE	SIGNED
				A	Original	29/01/2025	GG

CLIENT: Dixon Homes

NOTES:

ALL FEATURES AND SERVICES VISIBLE AT TIME OF SURVEY HAVE BEEN LOCATED BY FIELD MEASUREMENT. WHERE SERVICES HAVE BEEN PLOTTED FROM DIMENSIONS TAKEN FROM SERVICE PROVIDERS RECORDS A NOTATION HAS BEEN MADE ON FACE OF PLAN. WHERE ANY CONSTRUCTION WORK IS TO OCCUR NEAR SERVICES EXACT LOCATIONS NEED TO BE DETERMINED TO ENSURE APPROPRIATE CLEARANCES ARE ACHIEVED PRIOR TO EXCAVATION/ CONSTRUCTION. THIS NOTE FORMS AN INTEGRAL PART OF THIS PLAN.

SEE AUTOCAD LAYER HGT-OFF FOR LEVELS THAT ARE NOT SHOWN

Surveyor: GG  
 Datum: AHD

Drawn: GG  
 Checked: GG

Detail Survey

LOT 549 SP344888

TBC Elder Parade, Collingwood Park

Ipswich  
 591 SQ M

Scale in Metres. 200 at A3

**SPENCER**  
 surveys

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COMP FILE 184319DT  
 F.B.

ISSUE: A

Date 29/01/2025 Ref. 186211