



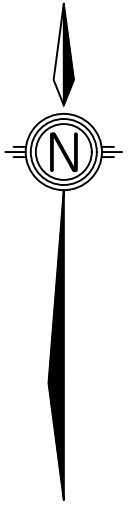
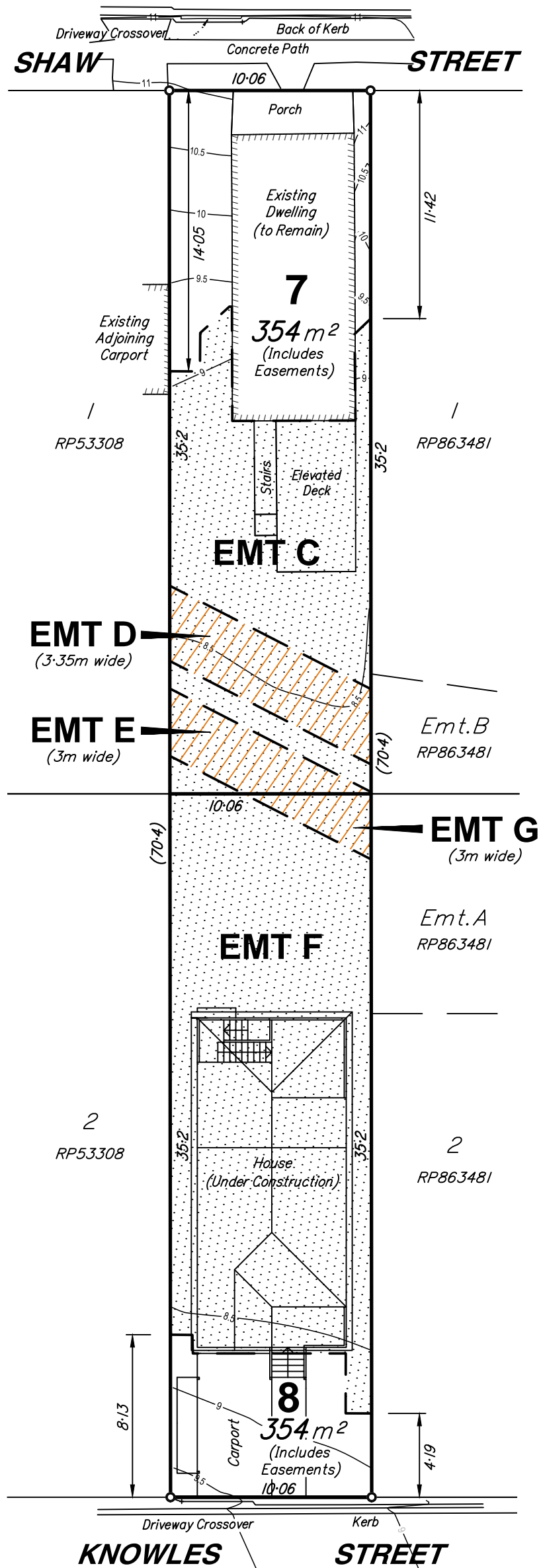
LEGEND

-  Proposed Easements (For Drainage purposes)
-  Proposed Easements (For Overland Flow purposes)

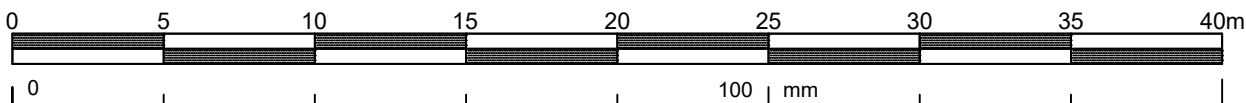
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Dated: 30/10/2020



SCALE 1:250 at A3 - Lengths are in metres



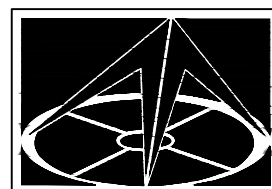
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- NOTES**
- 1) DIMENSIONS AND AREAS ARE APPROXIMATE ONLY AND SUBJECT TO FINAL SURVEY.
 - 2) TOTAL AREA OF SUBDIVISION - 708m²
 - 3) CONTOURS VIDE LAWSON SURVEYS SURFACE DETAIL & CONTOURS SURVEY (REF 19866 DT, DATED 18/03/2020)
 - 4) EASEMENTS FOR OVERLAND FLOW - EMTS C & F- MAYBE RESTRICTED IN HEIGHT

SUBDIVISION PROPOSAL PLAN
Lots 7, 8 and Easements C - E in Lot 7
& Easements F & G in Lot 8
Cancelling Lot 6 on RP19723

LOCATION
22 Shaw Street & 33 Knowles Street
Auchenflower

LAWSON SURVEYS



A.B.N 46 272 949 047
CONSULTING LAND SURVEYORS
9B / 62 BISHOP STREET
KELVIN GROVE QLD 4059
Ph 07 3352 3326 Fax 07 3352 6991
mail@lawsonsurveys.com.au
www.lawsonsurveys.com.au

LEVEL DATUM
AHD - VIDE PSM135598
RL 21.613

LOCAL AUTHORITY
BRISBANE CITY
COUNCIL

DRAWN SSDIG

LOCALITY AUCHENFLOWER

DWG NAME 19866-PROP-B

COUNTY STANLEY

REFERENCE

19866-PROP-B

ISSUE B
DATE 28/07/2020



PROPOSED SUBDIVISION PLAN 1:200 @ A3

EXISTING LOT 6 on RP 19723 708 m²

PROPOSED LOT 7 354 m²
(22 Shaw Street frontage)
Existing Character Commercial Building : GFA 97 m²
Deck + Veranda Area 35 m²
Site Cover 132 m² (37%)

PROPOSED LOT 8 354 m²
(33 Knowles Street frontage)
Proposed Dwelling House: GFA 90 m²
Deck + Veranda Area 62 m²
Site Cover 152 m² (43%)
Note: built form already approved under A005261707

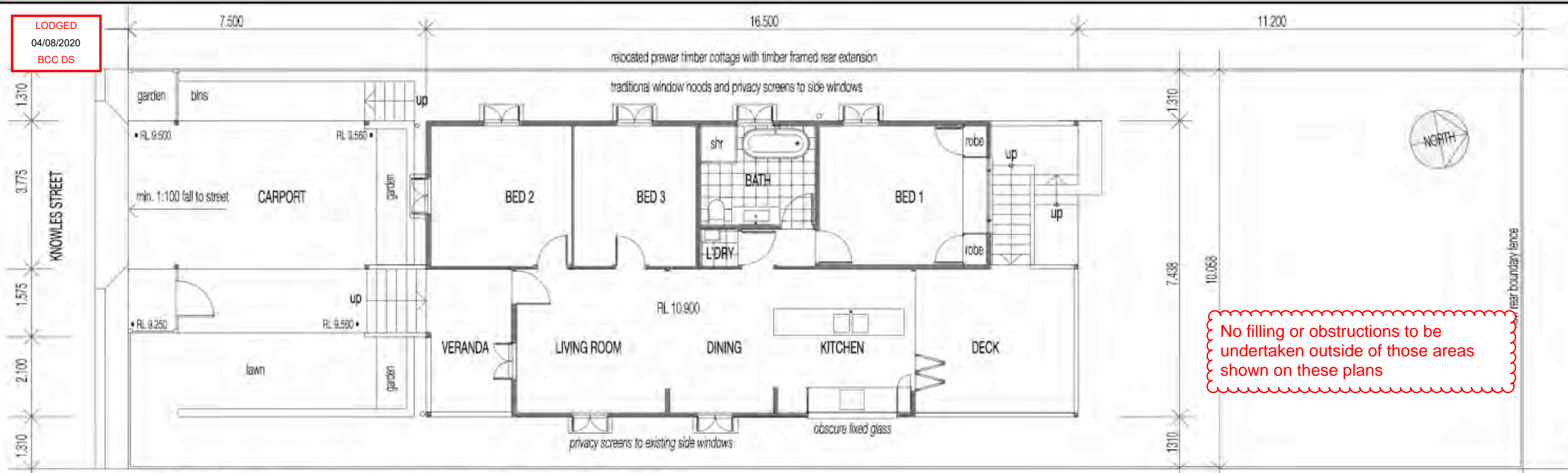
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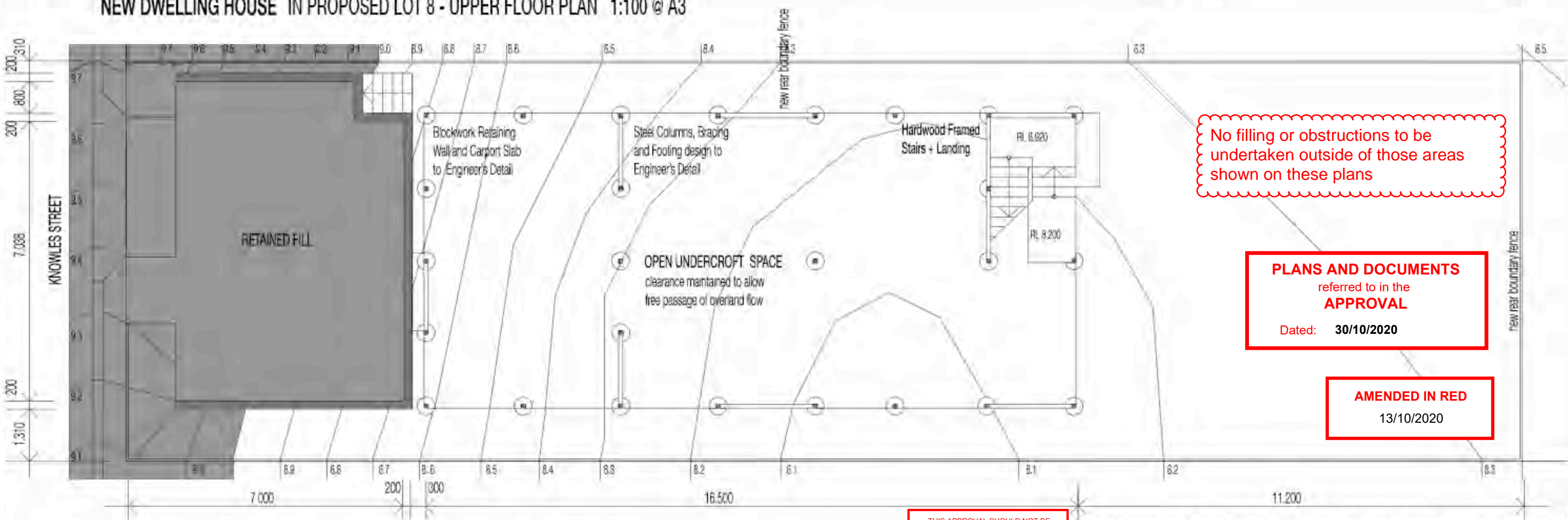
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LODGED
04/08/2020
BCC DS



No filling or obstructions to be undertaken outside of those areas shown on these plans

NEW DWELLING HOUSE IN PROPOSED LOT 8 - UPPER FLOOR PLAN 1:100 @ A3



No filling or obstructions to be undertaken outside of those areas shown on these plans

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AMENDED IN RED
13/10/2020

NEW DWELLING HOUSE IN PROPOSED LOT 8 - UNDERCROFT PLAN 1:100 @ A3

TITLE: Upper Floor Plan - Undercroft Plan

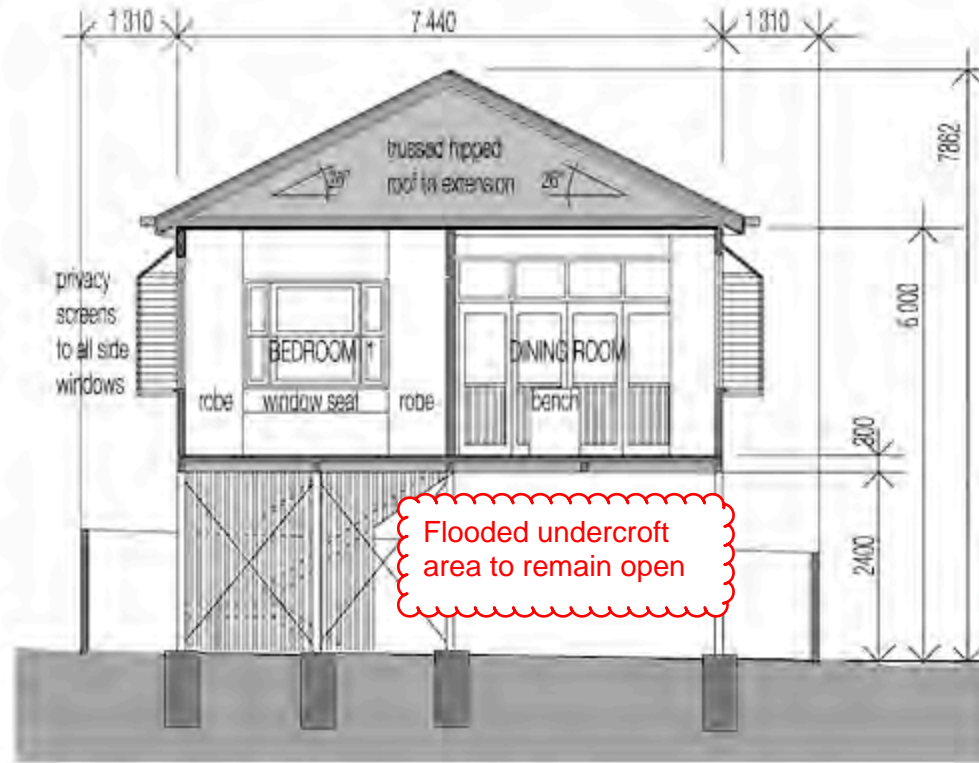
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PROPOSED SUBDIVISION OF LOT 6 ON RP 19723 SHEET 2 of 5
22 SHAW ST / 33 KNOWLES ST AUCHENFLOWER Drawn PRS
PETER SKINNER + ELIZABETH WATSON-BROWN 23 / 07 / 2020



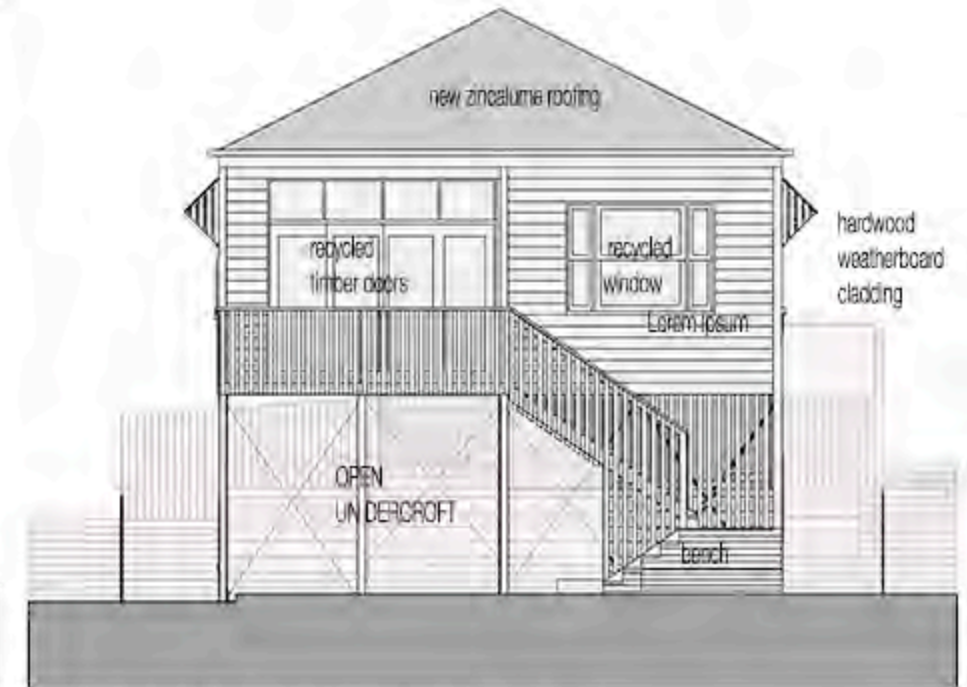
KNOWLES STREET ELEVATION 1:100 @ A3

Relocated and restored prewar timber workers cottage in Knowles streetscape.



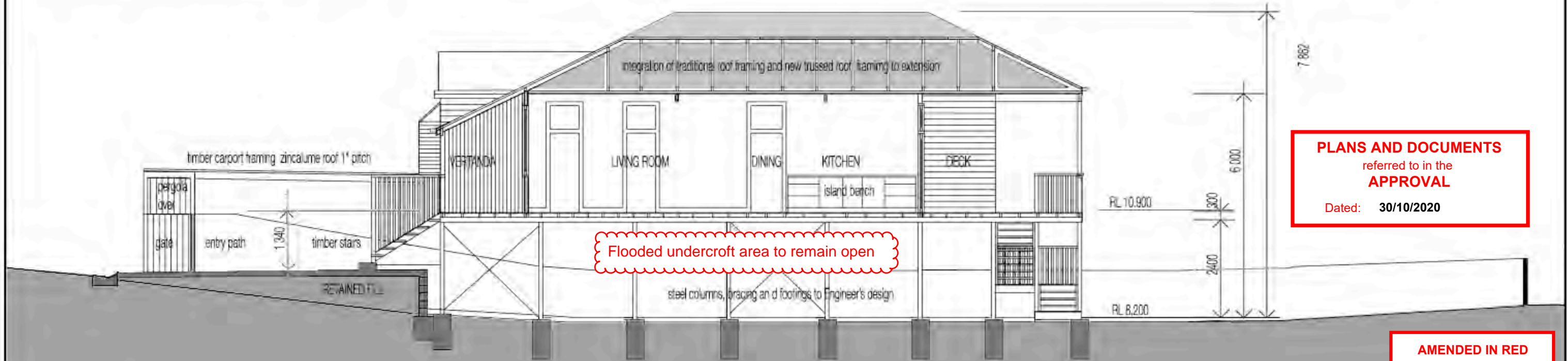
EAST-WEST CROSS-SECTION 1:100 @ A3

Flooded undercroft area to remain open



NORTH (REAR) ELEVATION 1:100 @ A3

New Timber framed Deck and Bedroom extension to rear of relocated Workers Cottage



NORTH-SOUTH LONG SECTION 1:100 @ A3

NEW DWELLING HOUSE ON PROPOSED LOT 8

TITLE: Elevations and Sections

Flooded undercroft area to remain open

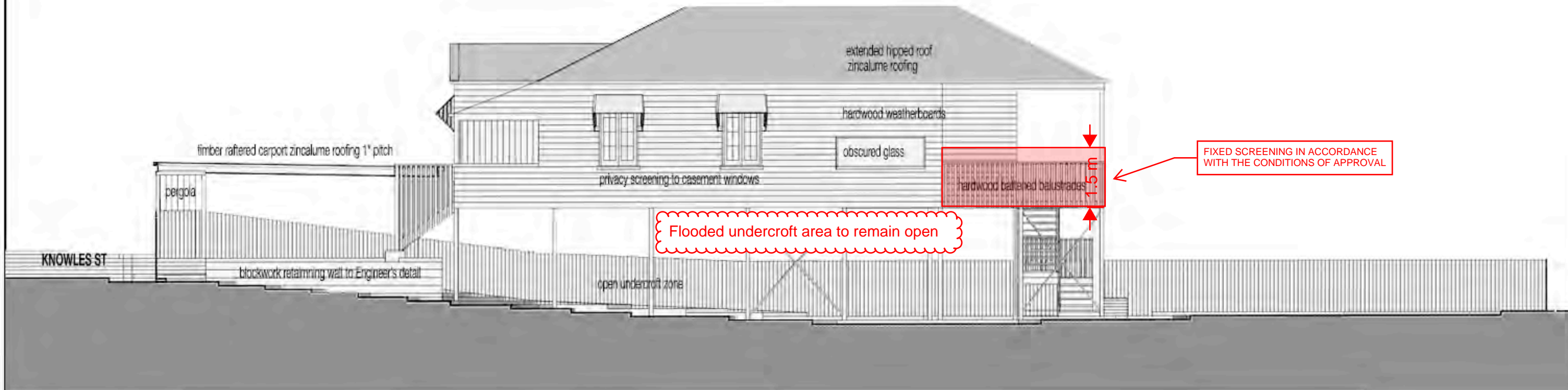
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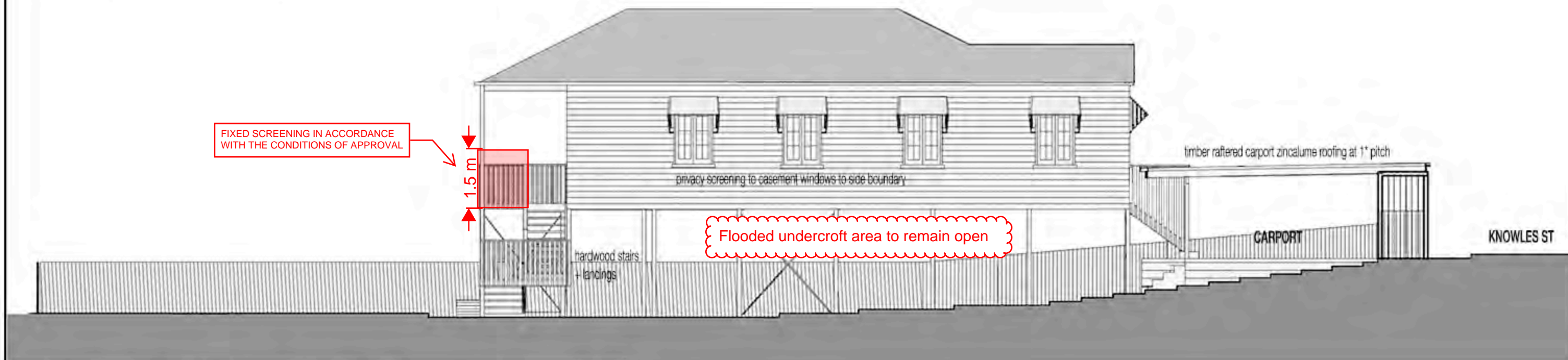
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PROPOSED SUBDIVISION OF LOT 6 ON RP 19723
22 SHAW ST / 33 KNOWLES ST AUCHENFLOWER
PETER SKINNER + ELIZABETH WATSON-BROWN

SHEET 3 of 5
Drawn PRS
23 / 07 / 2020



EAST ELEVATION of NEW DWELLING HOUSE ON PROPOSED LOT 8 (1:100 @ A3)



WEST ELEVATION of NEW DWELLING HOUSE ON PROPOSED LOT 8 (1:100 @ A3)

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THIS APPROVAL SHOULD NOT BE
TAKEN TO CONSTITUTE PERMISSION
TO ENTER NEIGHBOURING
PROPERTIES TO CONSTRUCT
(INCLUDING ASSOCIATED WORKS
SUCH AS DRAINAGE AND EXCAVATION)
ANY BUILT TO BOUNDARY WALL OR
FENCES. PERMISSION MUST BE
OBTAINED FROM RELEVANT
PROPERTY OWNERS.

TITLE: Elevations

AMENDED IN RED

13/10/2020

PROPOSED SUBDIVISION OF LOT 6 ON RP 19723
22 SHAW ST / 33 KNOWLES ST AUCHENFLOWER
PETER SKINNER + ELIZABETH WATSON-BROWN

SHEET 4 of 5
Drawn PRS
23/07/2020