

PROPOSED SINGLE STOREY RESIDENCE

DESIGN DEVELOPMENT

for
Drew & Jody Ryder
at
Lot 203 Allmore Road, Robinson

- A01 - EXISTING SITE PLAN - 1:200
- A02 - LOCALITY PLAN (A1) - 1:500
- A03 - PROPOSED SITE PLAN (A1) - 1:200
- A04 - GROUND FLOOR PLAN & ELEVATIONS - 1:100
- A05 - SECTIONS DD - 1:50

NOTES

<p>1 GENERAL</p> <p>1.01.01 STANDARDS ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, USE REFERENCED AUSTRALIAN OR OTHER STANDARDS (INCLUDING AMENDMENTS) WHICH ARE CURRENT ONE MONTH BEFORE THE DATE OF THE CONTRACT EXCEPT WHERE OTHER EDITIONS OR AMENDMENTS ARE REQUIRED.</p> <p>1.01.02 VERIFICATION THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS. THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS.</p> <p>1.01.03 RESPONSIBILITY THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION AND SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT. KEEP THE SITE IN A CLEAN AND TIDY CONDITION THROUGHOUT CONSTRUCTION & AT THE COMPLETION OF WORK REMOVE ALL LITTER & DEBRIS TO THE SATISFACTION OF THE PRINCIPAL.</p> <p>1.01.04 READING THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY OTHER CONSULTANTS REFERRED TO WITHIN INCLUDING STRUCTURAL AND CIVIL ENGINEERING SPECIFICATIONS AND DRAWINGS</p> <p>1.01.05 CONSULTANTS ENGINEERS OR RELEVANT SUB-CONSULTANT DRAWINGS AND SPECIFICATIONS SHALL PRECEED THESE DRAWINGS. REPORT ANY DISCREPANCIES TO THIS OFFICE.</p> <p>1.02.01 TERMITE MANAGEMENT SYSTEM A TERMITE MANAGEMENT SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH AS3660.1</p> <p>1.02.04 CERTIFICATION PROVIDE CERTIFICATION ON COMPLETION AND INSTALL A DURABLE SIGN IN THE METER BOX.</p> <p>2 SITE PREPARATION</p> <p>2.01.01 COMPLIANCE ALL GROUNDWORKS FOR SLABS AND FOOTINGS SHALL COMPLY WITH AS 3798 & AS 2870.</p> <p>2.04.01 ENVIRONMENTAL PROTECTION PROVIDE EROSION, CONTAMINATION, AND SEDIMENTATION PROTECTION OF THE SITE, SURROUNDING AREAS, AND DRAINAGE SYSTEMS. KEEP THE SITE FREE OF WATER AND PREVENT WATER FLOWOVER NEW WORK.</p> <p>2.07.01 SURFACE PREPARATION BEFORE PLACING FILL, COMPACT THE GROUND TO ACHIEVE THE REQUIRED DENSITY.</p> <p>2.08.01 SAND BED LAYER UNDER SLABS. NOMINALLY 50MM THICK ONCE COMPACTED. WET DOWN BEFORE LAYING VAPOUR BARRIER.</p> <p>3 CONCRETE CONSTRUCTION</p> <p>3.01.01 STANDARDS ALL SLABS AND FOOTINGS SHALL BE CONSTRUCTED TO COMPLY WITH THE REQUIREMENTS OF AS 2870 - 2011</p> <p>3.01.02 CONCRETE</p>	<p>SHALL BE IN ACCORDANCE WITH AS 3600. GRADE N25/20. MAINTAIN SLAB THICKNESS & FOOTING DEPTH AT SETDOWNS-REFER DETAILS</p> <p>3.01.07 COMPACTED FILL SHALL NOT EXCEED 400MM IN DEPTH UNLESS IT IS CERTIFIED.</p> <p>3.01.09 SLAB CONCRETE COVER INTERNAL - 30MM. EXTERNAL - 40MM</p> <p>4 TIMBER & STEEL CONSTRUCTION</p> <p>4.01.01 STANDARDS ALL STRUCTURAL STEELWORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 4100 - SSA STEEL STRUCTURAL CODE AND ASSOCIATED AUSTRALIAN STANDARDS. TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 TIMBER FRAMING CONSTRUCTION.</p> <p>4.01.04 TIMBER STRUCTURAL TIMBER SHALL BE MINIMUM MP510 (UNO) IN ACCORDANCE WITH AS 1720.</p> <p>4.04.01 CORROSION PROTECTION OF STEEL MEMBERS CORROSION PROTECTION OF STEEL IN MASONRY CONSTRUCTION TO BE IN ACCORDANCE WITH AS3700 & AS4773. CORROSION PROTECTION OF STEEL IN CONTACT WITH CONCRETE TO BE IN ACCORDANCE WITH AS4100, AS4600 & NASH.</p> <p>4.07.01 TIMBER ROOF TRUSSES INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AS 1720.5</p> <p>5 BRICK CONSTRUCTION</p> <p>5.01.01 MASONRY & ACCESSORIES WORKS TO COMPLY WITH AS3700 MASONRY STRUCTURES OR AS4773 MASONRY FOR SMALL BUILDINGS PARTS 1 & 2.</p> <p>5.02.01 MASONRY USE GP GRADE BRICKS WHERE SURF COAST IS MORE THAN 1KM AND EXP GRADE WHERE SURF COAST IS WITHIN 1KM OR SITE IS SUSCEPTIBLE TO HIGH SALT CONDITIONS.</p> <p>5.06.01 PROVIDE SUITABLE LINTELS OVER OPENINGS. ALL EXTERNAL STEEL LINTELS TO BE HOT DIPPED GALVANISED</p> <p>8 DOORS & WINDOWS</p> <p>8.01.01 STANDARDS ALL WINDOW AND SLIDING DOOR FRAMES, GLAZING, FIXINGS AND INSTALLATION TO BE DESIGNED AND CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH AS 1288 & AS 2047</p> <p>8.01.03 DIMENSIONING DIMENSIONS SHOWN NOMINAL SIZE. THE FABRICATOR SHALL ALLOW FOR TOLERANCES TO THE DOOR AND WINDOW FRAMES.</p> <p>8.01.04 DOORS AND WINDOWS AS SCHEDULED COMPONENTS AND FINISHES AS LISTED</p> <p>16 PLUMBING & DRAINAGE</p> <p>16.01.01 STANDARDS ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING AND DRAINAGE CODE AS/NZS. 3500, THE CONTRACT DOCUMENTS, THE SPECIFICATION, SAA.MP52 AND THE STANDARD DRAWINGS OF THE WATER CORPORATION.</p> <p>16.01.03 CONNECTION POINT CONTRACTOR SHALL LIAISE WITH THE WATER CORPORATION FOR CONNECTIONS TO MAINS SERVICES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL DETERMINE EXACT</p>	<p>LOCATION OF EXISTING SERVICE & ESTABLISH DEPTH OF DRAINAGE CONNECTION POINT TO ENSURE ADEQUATE DEPTH IS AVAILABLE PRIOR TO ANY EXCAVATION OR INSTALLATION OF PIPES.</p> <p>16.01.06 SITE DRAINAGE GROUND ADJACENT TO BUILDING SHALL BE GRADED AWAY TO FALL AT LEAST 50MM OVER 1 METRE WIDTH TO SATISFY BCA CLAUSE 3.1.2.3 - SURFACE WATER DRAINAGE. NOTE HEIGHT REQUIREMENTS FOR ORG AND LOWEST PLUMBING FIXTURE, I.E SHOWER OR FLOORWASTE.</p> <p>16.04.01 MAINS CONNECTION SHALL NOT BE MADE TO EXISTING SEWER UNTIL THE WHOLE OF THE NEW WORKS HAS BEEN INSPECTED, TESTED TO WATER CORPORATIONS REQUIREMENTS</p> <p>21 BAL RATING PLEASE NOTE: THE INFORMATION BELOW IS A BRIEF SUMMARY OF THE CONSTRUCTION REQUIREMENTS AND IS NOT INTENDED AS A DESIGN OR CONSTRUCTION GUIDE. CONSULT THE LATEST STANDARDS AND AMENDMENTS ISSUED FOR THE FULL TECHNICAL DETAILS.</p> <p>21.04 BAL 29</p> <p>0.22 SUB FLOOR SUPPORTS ENCLOSURE BY EXTERNAL WALL OR BY STEEL, BRONZE OR ALUMINIUM MESH. NON COMBUSTIBLE SUPPORTS WHERE THE SUBFLOOR IS UNENCLOSED. NATURALLY FIRE RESISTANT STUMPS OR POSTS ON 75MM METAL STIRRUPS</p> <p>0.23 FLOORS CONCRETE SLAB ON GROUND, ENCLOSURE BY EXTERNAL WALL, METAL MESH AS ABOVE OR FLOORING LESS THAN 400MM ABOVE GROUND LEVEL TO BE NON-COMBUSTIBLE, NATURALLY FIRE RESISTANT TIMBER OR PROTECTED ON THE UNDERSIDE WITH SARKING OR MINERAL WOOL INSULATION</p> <p>0.24 EXTERNAL WALLS NON-COMBUSTIBLE MATERIAL (MASONRY, BRICK VENEER, MUD BRICK, AERATED CONCRETE, CONCRETE), TIMBER FRAMED, STEEL FRAMED WALLS SARKED ON THE OUTSIDE AND CLAD WITH 6MM FIBRE CEMENT SHEETING OR STEEL SHEETING OR BUSHFIRE RESISTANT TIMBER.</p> <p>0.25 EXTERNAL WINDOWS PROTECTED BY BUSHFIRE SHUTTER, COMPLETELY SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR 5MM TOUGHENED GLASS WITH OPENABLE PORTION TO BE METAL SCREENED WITH FRAME OR METAL OR METAL REINFORCED PVC-U OR BUSHFIRE RESISTING TIMBER AND THE PORTION WITHIN 400MM OF GROUND LEVEL SCREENED.</p> <p>0.26 EXTERNAL DOORS PROTECTED BY BUSHFIRE SHUTTER, OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR NON-COMBUSTIBLE MATERIAL OR 35MM SOLID TIMBER FOR 400MM ABOVE THRESHOLD. METAL OR BUSHFIRE RESISTANT TIMBER FRAMED TIGHT-FITTING WITH WEATHER STRIPS AT BASE.</p> <p>0.27 ROOFS NON-COMBUSTIBLE COVERING. ROOF/WALL JUNCTION SEALED. OPENINGS FITTED WITH NON-COMBUSTIBLE EMBER GUARDS. ROOF TO BE FULLY SARKED</p> <p>0.28 VERANDAHS/DECKS ENCLOSED SUB-FLOOR SPACE OR NON-COMBUSTIBLE OR BUSHFIRE RESISTANT TIMBER SUPPORTS. DECKING TO BE NON-COMBUSTIBLE.</p>
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H	08/01/18	ISSUED FOR COMMENTS	CLIENT
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Drawn: KH	Date: 15/4/19	Drawing Number: A00 of A05	Job No.: C-1739-18
Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: DD-1



LEGEND

	Comms pit
	Power dome
	Water meter
	Flushing point
	Hydrant (underground)
	Fence
	Canopy line
	Comms cable
	UG power
	Water pipe

This plan has been prepared by Drew Ryder from a survey conducted on the site. It is based on the information provided to us by the owner of the site. The title boundaries shown herein were verified or marked at the time of the survey. It is the responsibility of the client to ensure that the information provided to us is accurate and complete. We do not warrant the accuracy of the information provided to us, or to persons based on it, without further investigation.

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Harley Dykstra
PLANNING & SURVEY SOLUTIONS

Lot 203 on DP 410295
Allmore Drive Robinson

client: Drew Ryder
drawing no: 21572-01A

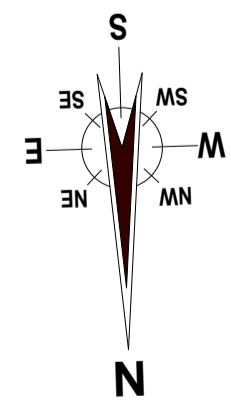
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FVDS 21/05/2018	AE 21/05/2018	
horiz datum	level datum	
ALB94	AHD	
scale at A1	all distances are in metres	
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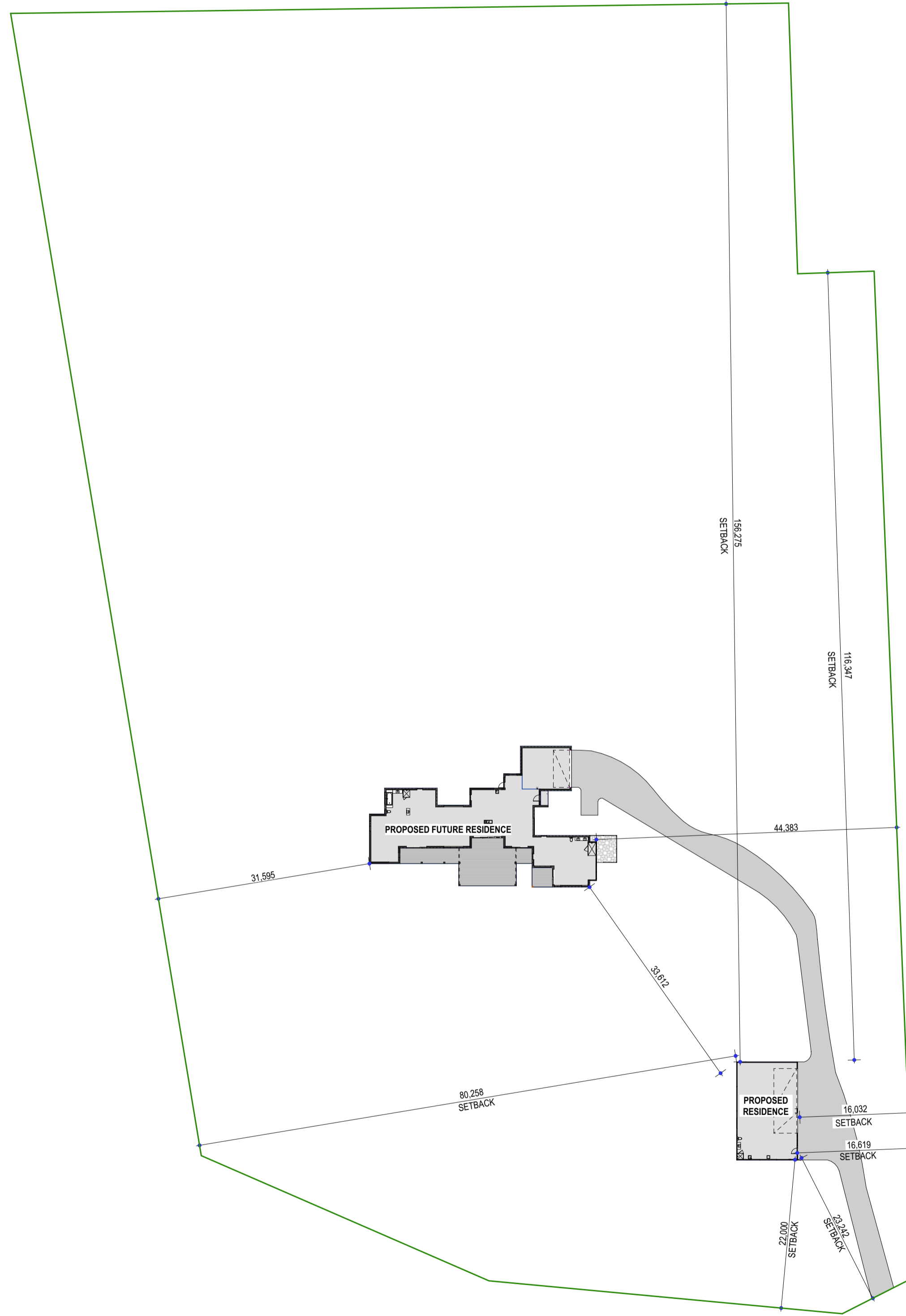
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rev	details	approved	date	rev	details
A	Original drawing	FV	21/05/2018		



012345678910



PROPOSED LOCALITY PLAN
Scale 1:500

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Fax: 9443 1444
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Project:
Proposed Single Storey Residence

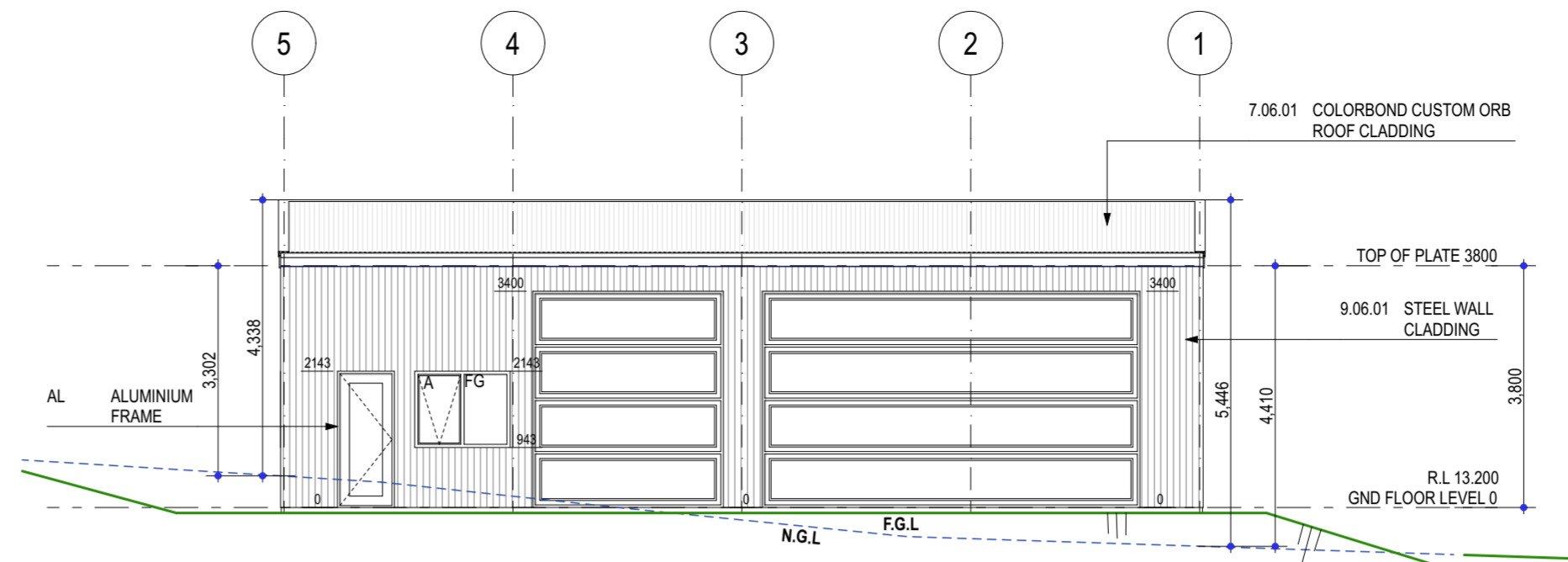
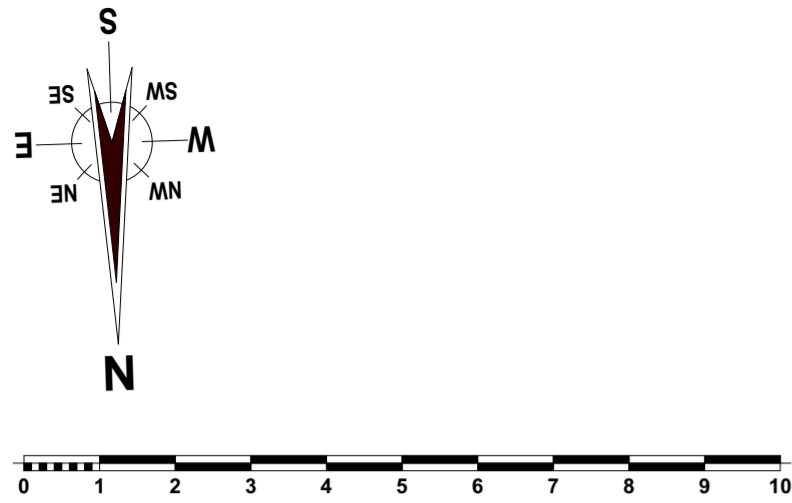
Client:
Drew & Jody Ryder

Address:
Lot 203 Allmore Road, Robinson

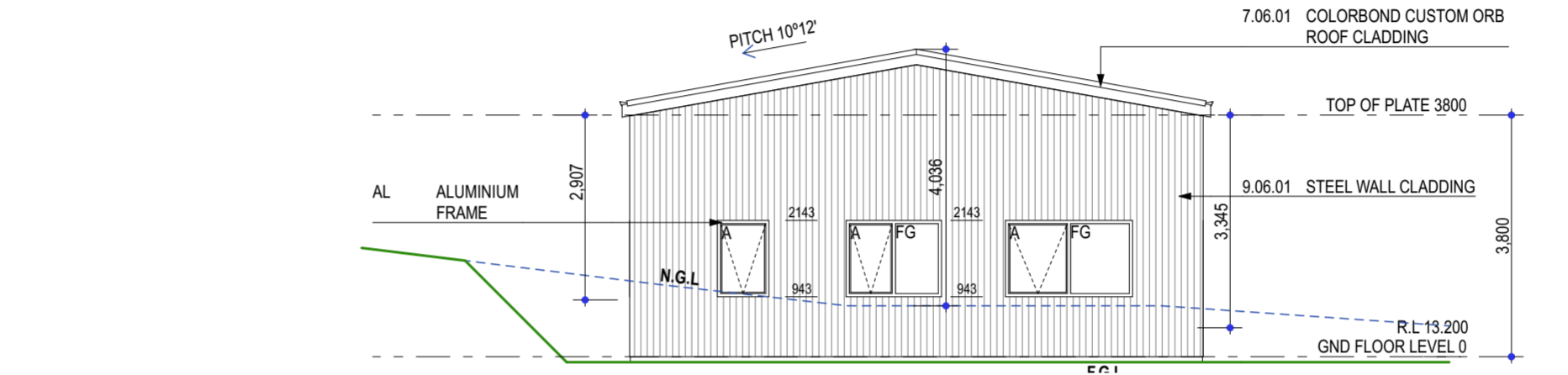
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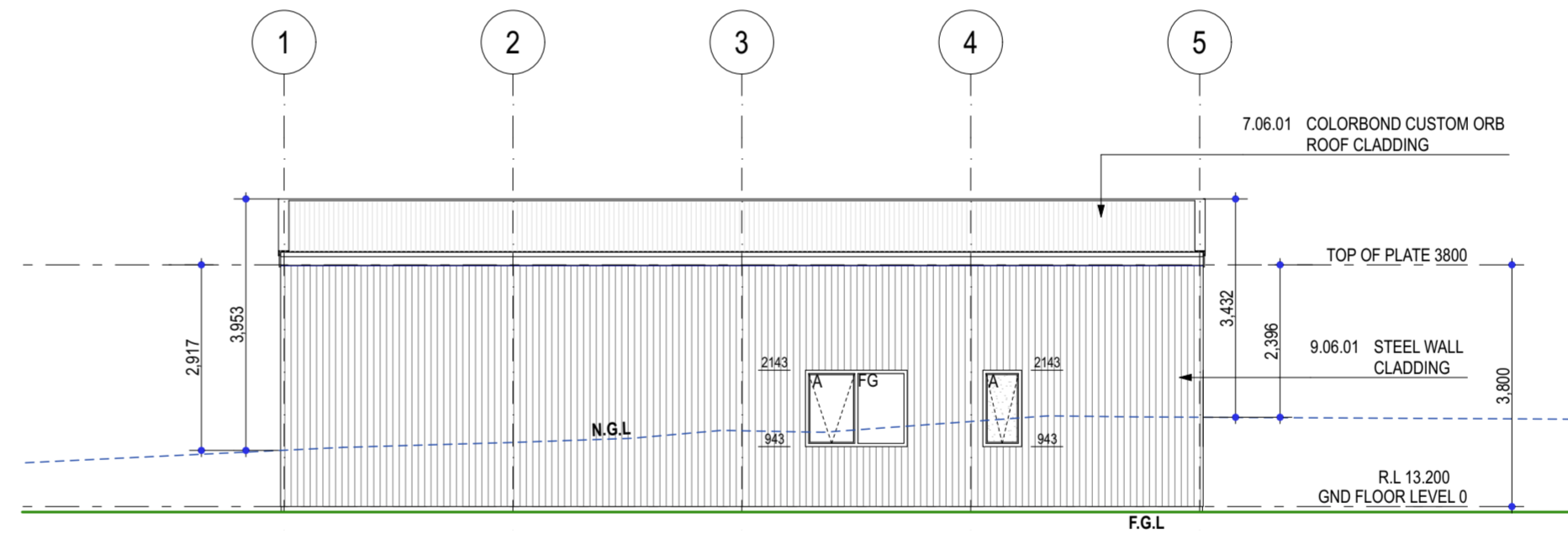
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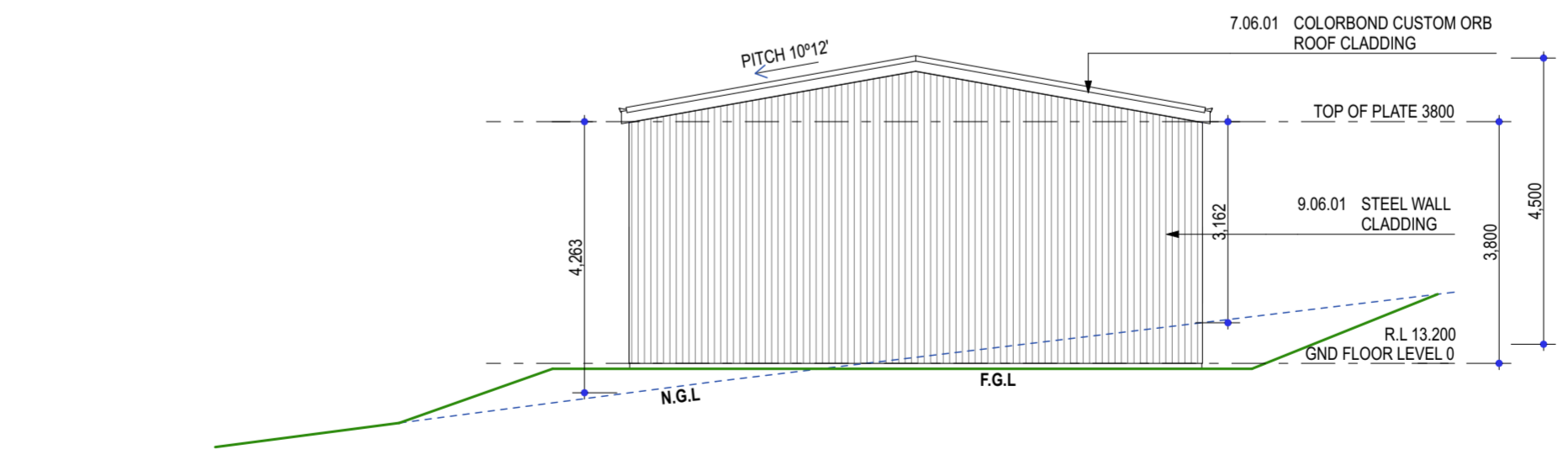
E05 **ELEVATION 05 - WEST**
Scale 1:100



E06 **ELEVATION 06 - NORTH**
Scale 1:100



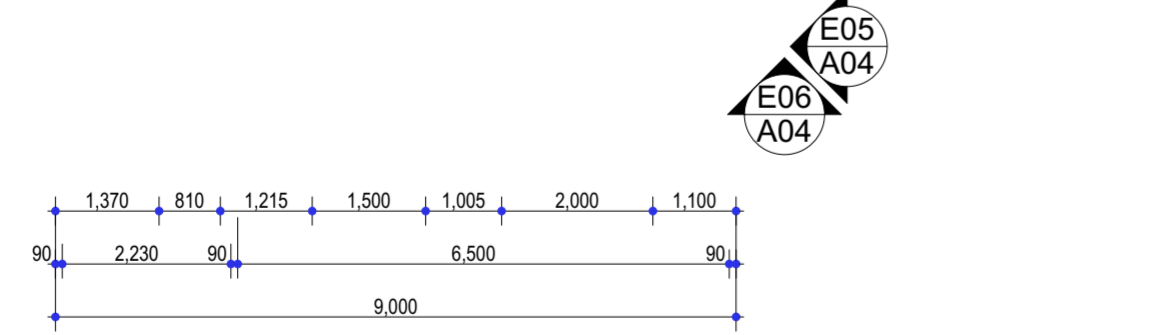
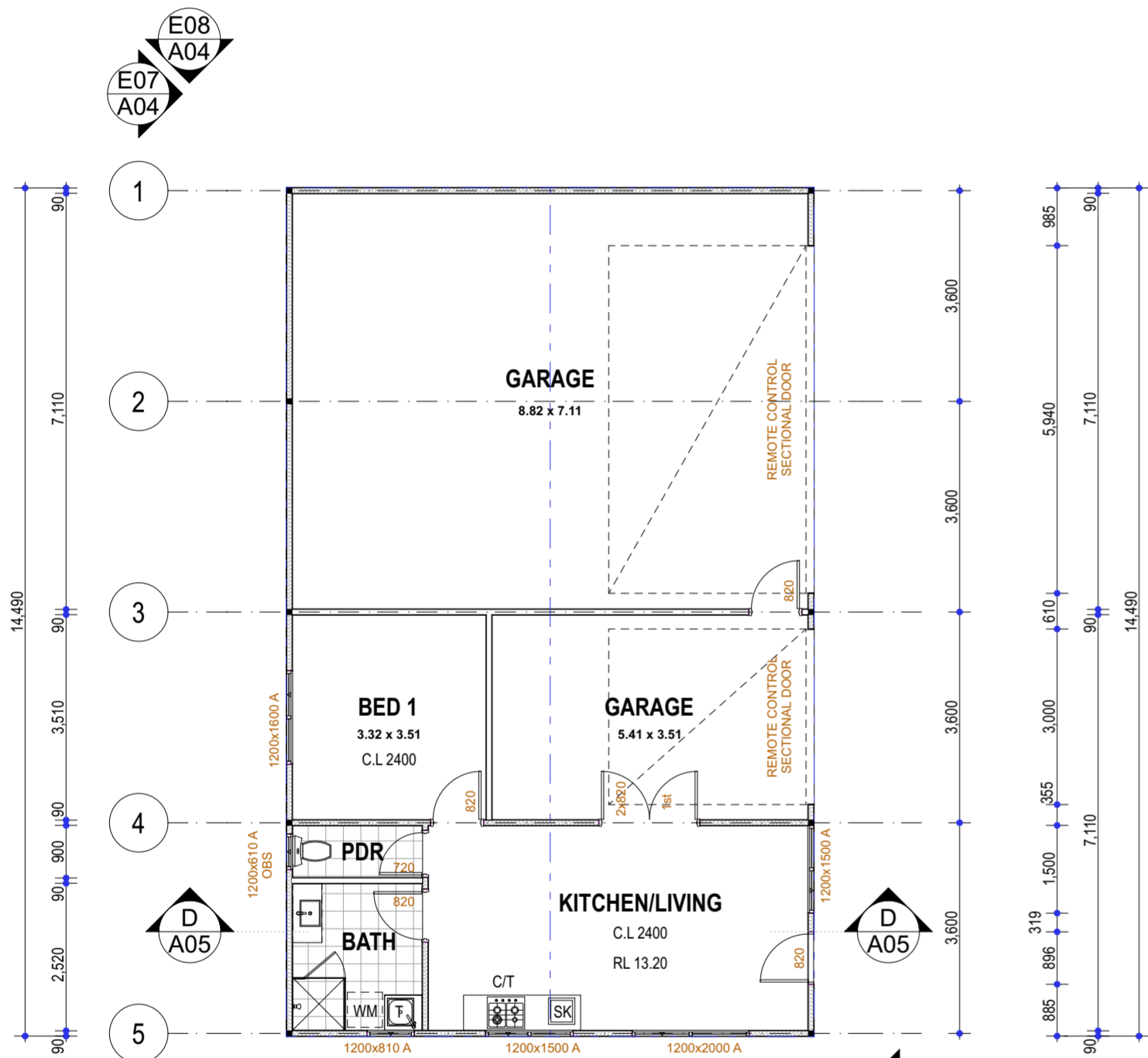
E07 **ELEVATION 07 - EAST**
Scale 1:100



E08 **ELEVATION 08 - SOUTH**
Scale 1:100

NOTES

7	ROOFING
7.06.01	COLORBOND CUSTOM ORB ROOF CLADDING ON 70x45 TIMBER ROOF BATTENS @ MAX 900CTS. INSTALLED TO MANUFACTURERS INSTRUCTIONS. PROVIDE PROPRIETARY CAPPINGS AND FLASHINGS AS REQUIRED.
8	DOORS & WINDOWS
AL	ALUMINIUM FRAME P/COATED ANOTEC NETURAL PEARL
FG	FIXED GLASS
9	CLADDING & LINING
9.06.01	STEEL WALL CLADDING COLORBOND CUSTOM ORB WALL CLADDING. VERTICAL INSTALLATION TO MANUFACTURERS INSTRUCTIONS
16	PLUMBING & DRAINAGE
SK	SINK
T	TROUGH
C/T	COOK TOP
WM	WASHING MACHINE SPACE



PROPOSED GROUND FLOOR PLAN
Scale 1:100

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Albany Office:
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listen. interpret. create.
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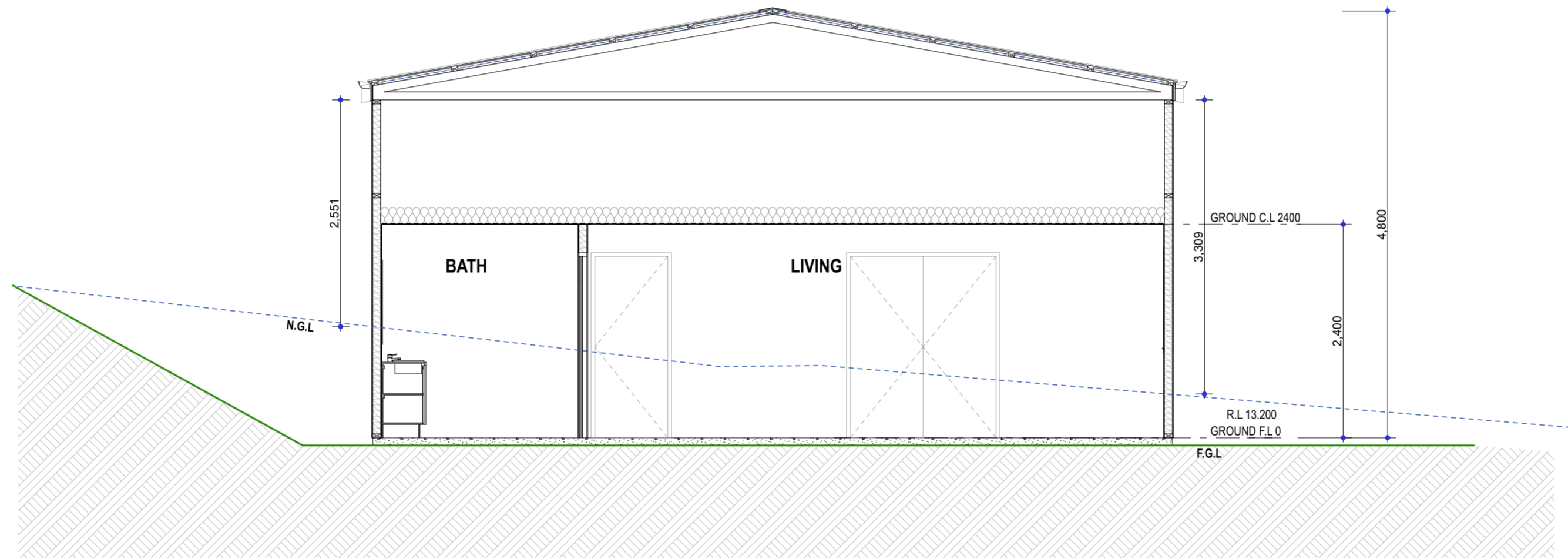
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XX	AS SHOWN		DD-1

EE NOTE: -
 - ANTICON 60 UNDERNEATH METAL ROOF
 - R2.0 BULK INSULATION TO LIVING AREA
 - R4.0 BULK INSULATION TO CEILING (LIVING AREA)
 - LOW E HIGH SHGC GLAZING TO KITCHEN/LIVING AND BED 1



D

SECTION D
 Scale 1:50

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