

### STORMWATER CALCULATION

LOT 1 CARPORT ROOF AREA =	17.40m <sup>2</sup>
LOT 2 CARPORT ROOF AREA =	17.40m <sup>2</sup>
LOT 3 CARPORT ROOF AREA =	17.40m <sup>2</sup>
LOT 2 ROOF AREA =	124.00m <sup>2</sup>
LOT 3 ROOF AREA =	124.00m <sup>2</sup>
IMPERVIOUS PAVED AREA =	146.20m <sup>2</sup>
TOTAL AREA =	446.40m <sup>2</sup>
<b>TOTAL AREAS x 0.0125 =</b>	<b>5.58m<sup>3</sup></b>
3x1200Øx1200D CONC SOAKWELLS =	4.08m <sup>3</sup>
2x1500Øx1200D CONC SOAKWELLS =	4.20m <sup>3</sup>
<b>TOTAL CAPACITY =</b>	<b>8.28m<sup>3</sup></b>

### PAVED & CONCRETE AREAS

UNIT 1 & 3 DRIVEWAY	98.9
UNIT 2 DRIVEWAY/PATH	77.9
UNIT 2 CROSSOVER	33.9
UNIT 1 CARPORT	17.2
UNIT 2 CARPORT	17.2
UNIT 3 CARPORT	17.2
UNIT 2 PORCH	6.9
UNIT 3 PORCH	6.9
<b>TOTAL</b>	<b>276.1 m<sup>2</sup></b>

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

### SITE PLAN

### ASTUTE SPECIFICATION



PROPOSED RESIDENCE AT:  
**TOWNHOUSE 1  
STRATA LOT 1 (#11) COX  
STREET, MANDURAH**  
CLIENT:  
**Mr C. BARTON &  
Dr J. LINDLEY**

<b>AMENDMENTS:</b>	
Working Drawings	22/11/2024
Scheduling Check / Variation 1	07/03/2025
Signed Variation 1 update	18/03/2025

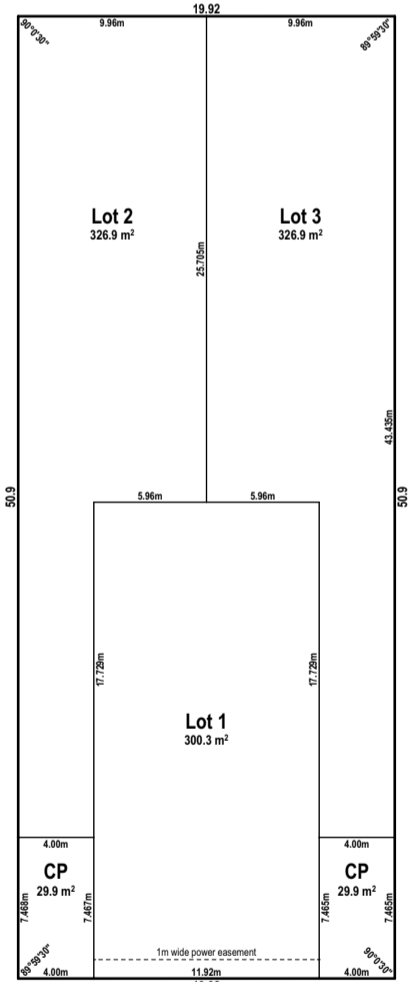
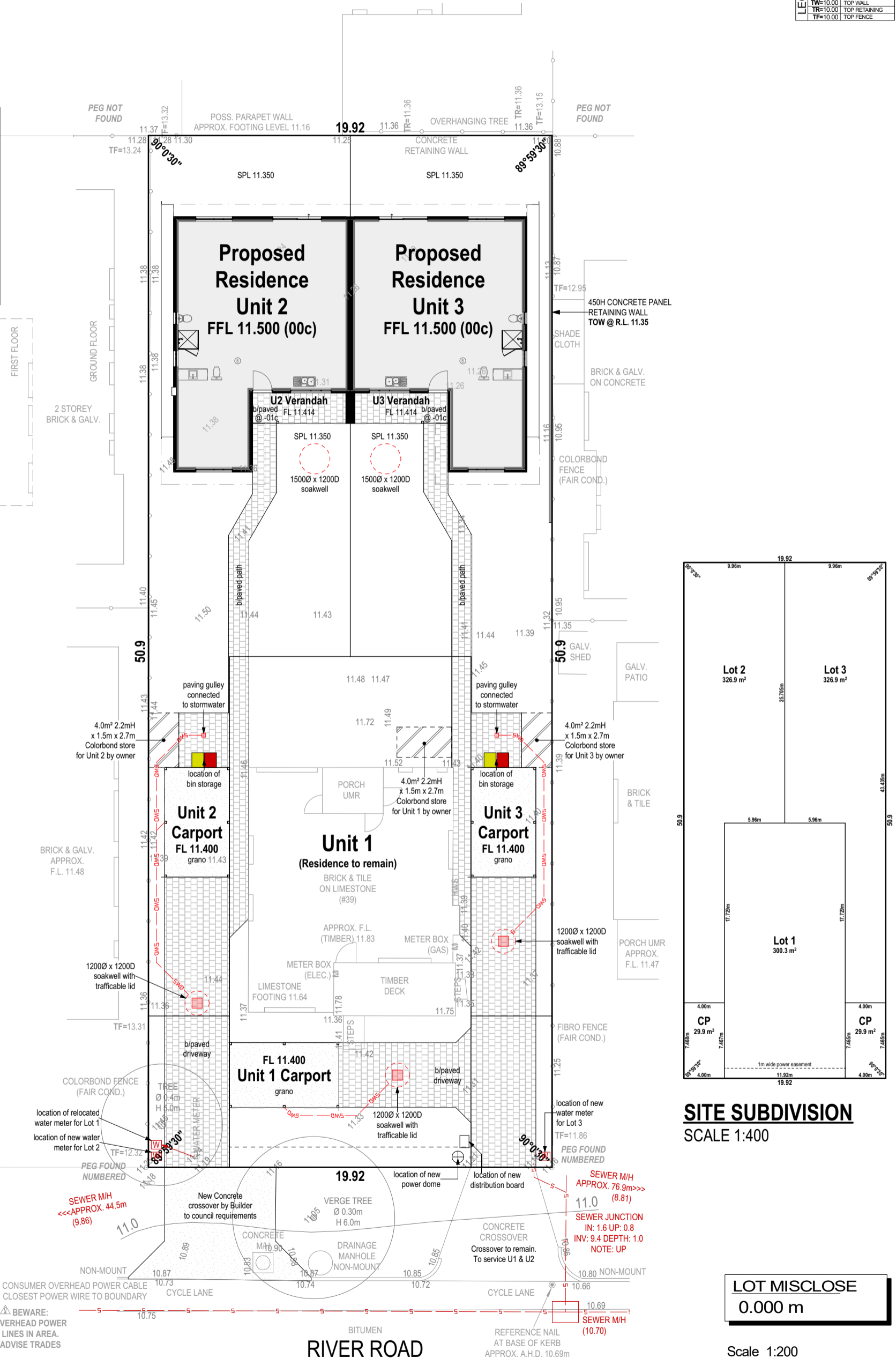
CONTRACT NO:

**A 2105 A**

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**SPECIAL**

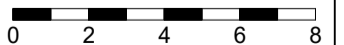
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PUBLISH DATE:	30/10/2025
SCALE:	1:1, 1:200, 1:400
STATUS:	WORKING DRAWINGS
PAGE:	1 OF 13

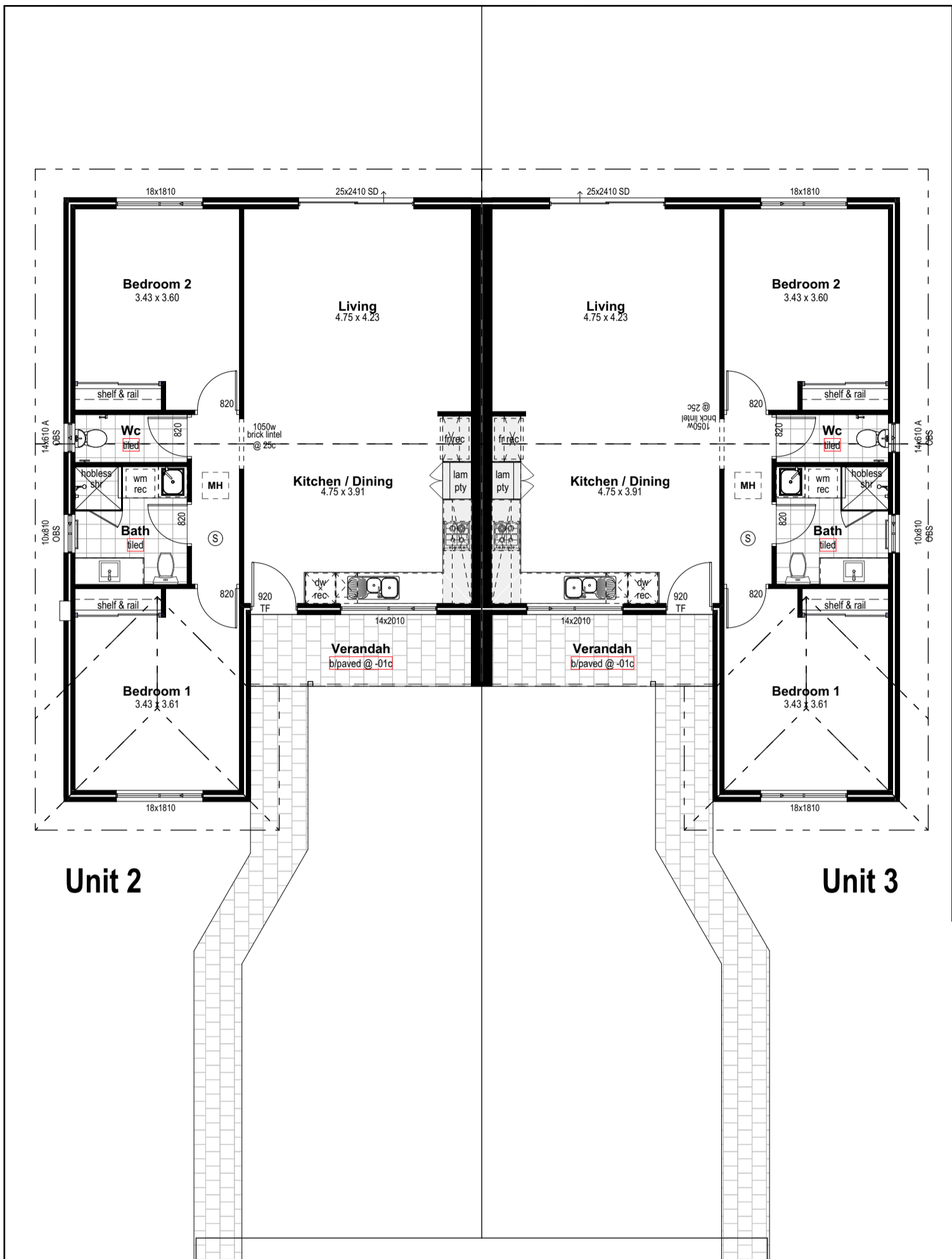
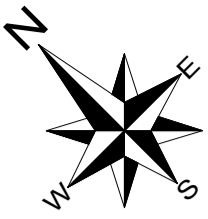


### SITE SUBDIVISION SCALE 1:400

**LOT MISCLOSE  
0.000 m**

Scale 1:200





A2508 Lot 3 - Floor Area			
FLOOR	NAME	AREA	PERIMETER
<b>GROUND FLOOR</b>			
	DWELLING	91.0	45,660.0
	VERANDAH	6.9	12,560.0
		<b>97.9 m<sup>2</sup></b>	<b>58,220.0 mm</b>
A2508 Lot 2 - Floor Area			
FLOOR	NAME	AREA	PERIMETER
<b>GROUND FLOOR</b>			
	DWELLING	91.0	45,660.0
	VERANDAH	6.9	12,560.0
		<b>97.9 m<sup>2</sup></b>	<b>58,220.0 mm</b>



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