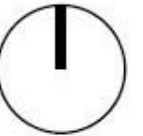


# PROPOSED A BUNGALOW AT REAR ON A LOT

9 FLAX COURT, WERRIBEE 3030



## DRAWING LIST

A100	COVER PAGE
A101	GENERAL NOTE
A200	EXISTING SITE PLAN
A201	PROPOSED SITE PLAN
A300	PROPOSED FLOOR PLAN
A400	ELEVATIONS
A402	PATHWAY ASSESSMENT
A500	WINDOW SCHEDULE
A600	LIGHTING LAYOUT & DETAILS

## AREA SCHEDULE

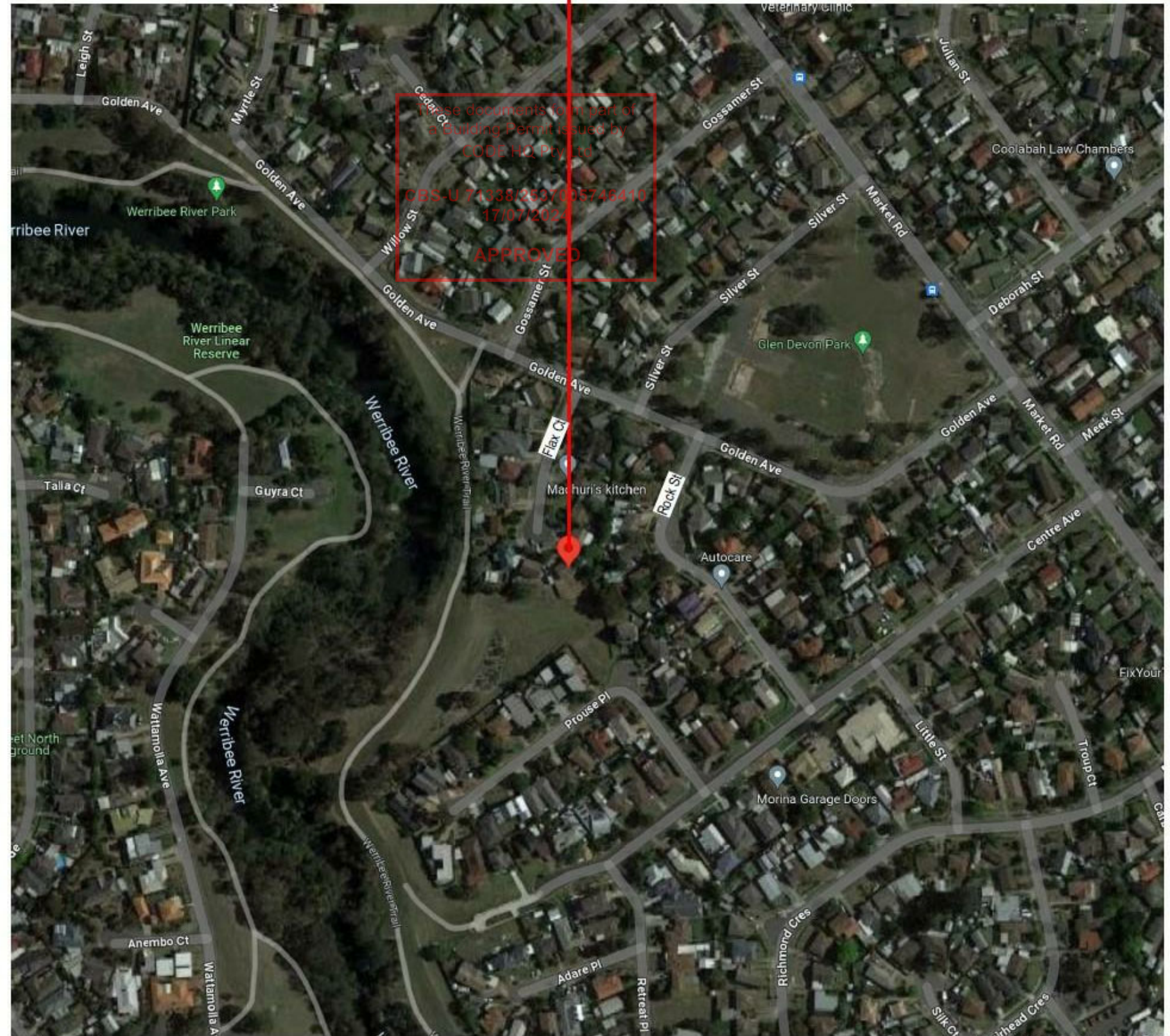
LOT AREA	652m <sup>2</sup>
<b>EXISTING</b>	
DWELLING	78m <sup>2</sup>
TOTAL FLOOR AREA	78m <sup>2</sup>
CONCRETE DRIVEWAY	59m <sup>2</sup>
<b>PROPOSED</b>	
BUNGALOW	59m <sup>2</sup>
TOTAL FLOOR AREA	59m <sup>2</sup>

## SUMMARY

SITE COVERAGE (MAX. 60%)	137m <sup>2</sup>	21%
PERMEABILITY (MIN. 20%)	456m <sup>2</sup>	69%
GARDEN AREA (MIN. 35%)	393m <sup>2</sup>	60%

## GENERAL NOTE

- THIS PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL/ CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS, AND SOIL REPORT
- ALL NEW DOWNPIPES CONNECT TO & DISCHARGE TO EXISTING LPoD
- THE SITE IS UNDER TERMITE ZONE, ENSURE TO USE SELECTED TREATED TIMBER ASA PROTECTION



LOCATION MAP  
NTS

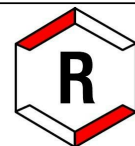
SOURCE: googlemap @2024

CLIENT:  
JINGU KIM

PROJECT NO.:  
24001

PROJECT:  
PROPOSED BUNGALOW AT REAR

ADDRESS:  
9 FLAX COURT, WERRIBEE VIC 3030



**RUBIK SOLUTIONS**  
STRUCTURE | CIVIL | ENERGY

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COVER PAGE

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1:100 @ A3

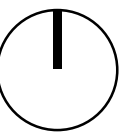
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FEB. 2024

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**GENERAL NOTE:**

PLANS TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS DRAWINGS AND REPORTS. IF ANY DISCREPANCIES PLEASE SEEK CLARIFICATION PRIOR TO CONSTRUCTION

# THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CUSTOMER AND FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE AUTHOR.

ANY OTHER PERSONS WHO USES OR RELIES ON THESE PLANS WITHOUT THE AUTHOR'S WRITTEN CONSENT DOES SO AT OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR SUCH USE AND/OR RELIANCE.

# THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFIRM TO THE BUILDING CODE OF AUSTRALIA, AS CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS, REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

# ALL WORKS SHALL COMPLY WITH NCC (BCA) 2022 AND ALL OTHER APPLICABLE RELEVANT CODES AND STANDARDS INCLUDING BUT NOT TO BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.

A.S. 1288- 2021	GLASS IN BUILDINGS-SELECTION AND INSTALLATION.
A.S. 1562.1- 2018	DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING. PART1 METAL.
A.S. 1684	RESIDENTIAL TIMBER FRAMED CONSTRUCTION.
A.S. 1860.2- 2006	PARTICLEBOARD FLOORING- INSTALLATION.
A.S. 2047- 2014	WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS.
A.S. 2049- 2002	ROOF TILES.
A.S. 2050- 2018	INSTALLATION OF ROOFING TILES.
A.S. 2870- 2011	RESIDENTIAL SLABS AND FOOTINGS CONSTRUCTION.
A.S. 2904- 1995	DAMP PROOF COURSES AND FLASHINGS.
A.S. 3600- 2018	CONCRETE STRUCTURES.
A.S. 3660.1- 2014	PROTECTION OF BUILDING AGAINST SUBTERRANEAN TERMITES-PART 1 NEW BUILDINGS.
A.S. 3700- 2018	MASONRY STRUCTURES.
A.S. 3740-2021	WATER PROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.
A.S. 3786- 2023	SMOKE ALARMS.
A.S. 4100- 2020	STEEL STRUCTURES.
A.S. 4200.2- 2017	PLIABLE BUILDING MEMBRANES AND UNDERLAYS.
A.S.4256.4-2006	PLASTIC ROOF AND WALL CLADDING MATERIALS.

# THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS, AND DRAWINGS, AND SOIL REPORTS.

# FOOTING TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.

# THE BUILDING (OTHER THAN A GLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.

**EAVE GUTTER DESIGN FOR SSD**

ROOF CATCHMENT AREA PER DOWNPIPE	30 m2
EAVE GUTTER LENGTH	10m
NO. OF DOWNPIPE	2
GUTTER TYPE	GUAD GUTTER HI-FRONT 115(QGHF)
SLOTTED	YES (FRONT-FACE SLOTTED GUTTER)
EFF. CROSS- SECTIONAL AREA	5225
DOWNPIPE SIZE	100x50mm or 75mm dia.
GUTTER GRADIENT	≥ 1:500

# SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES.

- 1) ALL ROOMS -WITHIN 500MM VERTICAL OF THE FLOOR .
- 2) BATHROOMS-WITHIN 1500MM VERTICAL FROM THE BATH BASE.
- 3) LAUNDRY-WITHIN 1200MM VERTICAL FROM FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM DOORS.
- 4) DOOR WAY-WITHIN 300MM HORIZONTAL FROM ALL DOORS. SHOWER SCREENS SHALL

GRADE A SAFETY GLASS.  
# WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER WINDOWS TO BE FLASHED BE ALL AROUND.

# STORM WATER SHALL BE TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

# SEWER OR SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY'S REQUIREMENTS.

# FOOTINGS NOT TO BE ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.

# FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S 3700-1998 TABLE 2.2. HOT DIPPED GALV., S/LESS STEEL OR CADMIUM COATED.

# ALL WET AREAS TO COMPLY WITH B.C.A. OR AS 3740 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE A FLOOR LEVEL TO SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

# PROVIDE WALL TIES TO BRICKWORK AT MAXIMUM 5000MM CTRS IN EACH DIRECTIONS AND WITHIN 300MM OF ARTICULATION JOINTS

# SUB FLOOR VENTS TO PROVIDE A RATE OF 7500MM SQ. CLEAR VENTILATION, PER 1000MM RUN OF EXTERNAL MASONRY WALL AND 2200MM SQ, CLEAR VENTILATION PER 1000MM RUN OF INTERNAL DWARF WALLS

# PROVIDE CLEARANCE FROM UNDERSIDE OR BEARER TO FINISHED GROUND LEVEL OF 150MM FOR FLOOR WITH STRIP FLOORING OR 200MM FOR FLOORS WITH PARTICLE BOARD FLOORING.

# THERMAL INSULATION TO BE PROVIDED AS FOLLOWS FOR SLAB CONSTRUCTION FOR TIMBER FRAMED FLOOR ENCLOSED PERIMETER FOR TIMBER FRAMED FLOOR ENCLOSED PERIMETER; AS FOR SLAB FLOOR CONSTRUCTION NOTE R.F.L TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.

**ADDITIONAL NOTES:**

- PROVIDE CONDENSATION MANAGEMENT (SISALATION) IN ACCORDANCE WITH BCA VOL. 2 PART 10.8.1. SISALATION MUST COMPLY WITH AS/NZS 4200.1 AND AS 4200.2, BE VAPOUR PERMEABLE AND BE LOCATED ON THE EXTERIOR SIDE OF THE PRIMARY INSULATION LAYER OF THE EXTERNAL WALL ASSEMBLIES.

- PROVIDE DE-MOUNTABLE HINGES TO THE SANITARY COMPARTMENTS WHERE THERE IS NO CLEAR SPACE OF AT LEAST 1200MM BETWEEN THE EDGE OF THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOOR HINGES.

- THE SOIL LEVEL BELOW THE DWELLING MUST NOT BE LOWER THAN THE SOIL LEVEL SURROUNDING THE DWELLING. THIS ALLOWS FOR ADEQUATE VENTILATION AND TO ENSURE WATER DOES NOT POND UNDERNEATH THE SUB-FLOOR. ALTERNATIVELY A CIVIL ENGINEER MAY DESIGN A SUB-FLOOR DRAINAGE AND VENTILATION SYSTEM.

- THE FINISHED GROUND SURFACE MUST SLOPE MIN. 50MM AWAY FROM THE DWELLING FOR THE FIRST 1M SURROUNDING THE DWELLING.

# STAIR REQUIREMENTS (OTHER THAN SPIRAL STAIRS)  
RISERS-190MM MAXIMUM. 115MM MINIMUM;  
GOING-355MM MAXIMUM, 240MM MINIMUM;  
PRIVATE STAIRS (AND 250MM FOR PUBLIC STAIRS)  
RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.  
PROVIDE NON-SLIP FINISH OR SUITABLE NON SKID STRIP NEAR EDGE OF NOSINGS IN ACCORDANCE WITH AS 4586.  
ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125MM OR USE CLOSED RISES.  
PROVIDE CONTINUOUS HANDRAIL 1000MM MINIMUM.  
HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR MORE ABOVE GROUND LEVEL.  
865MM MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSING AND LANDINGS.  
MAXIMUM OPENING BETWEEN BALUSTERS NOT TO EXCEED 125MM.

IF THE THRESHOLD SILL OF THE DOORWAY IS GREATER THAN 190MM ABOVE THE FINISHED SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF OR 900 WIDE X 900 LONG. WHICHEVER IS GREATER.

# CONCRETE STUMPS:  
- 100MM SQ. UP TO 1400MM LONG (2 NO. H.D. WIRES)  
- 100MM SQ. 1401MM TO 1800MM LONG (2 NO. H.D. WIRES)  
- 125MM SQ. 1801MM TO 3000MM LONG (2 NO. HD WIRES)

NOTE ALL STUMPS EXCEEDING 1200MM ABOVE GROUND TO BE BRACED.  
# THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS.

# THE BUILDER SHALL ENSURE FOR THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.

# LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S 3786. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING, "THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACK UP, AND BE INTERCONNECTED WHERE MORE THAN ONE ALARM INSTALLED.

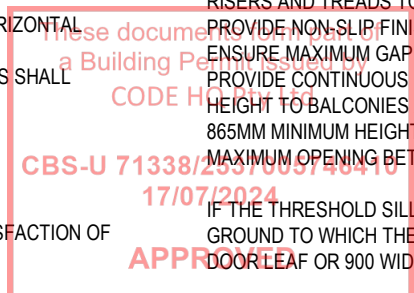
# EXHAUST FAN TO PROVIDE A MINIMUM OF 25 LITRES PER SECOND AIR FLOW.

# LOCATION OF SMOKE ALARMS AND EXHAUST FANS.

# THESE NOTES ARE NEITHER EXHAUSTIVE NOR, SUBSTITUTE FOR REGULATION, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

# THE BUILDER SHALL TAKE FULL RESPONSIBILITY UPON ACCEPTANCE OF THESE PLANS AND SHALL BE RESPONSIBLE FOR CHECKING ALL DIMENSIONS AND SITE LAYOUT CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK.

# DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.



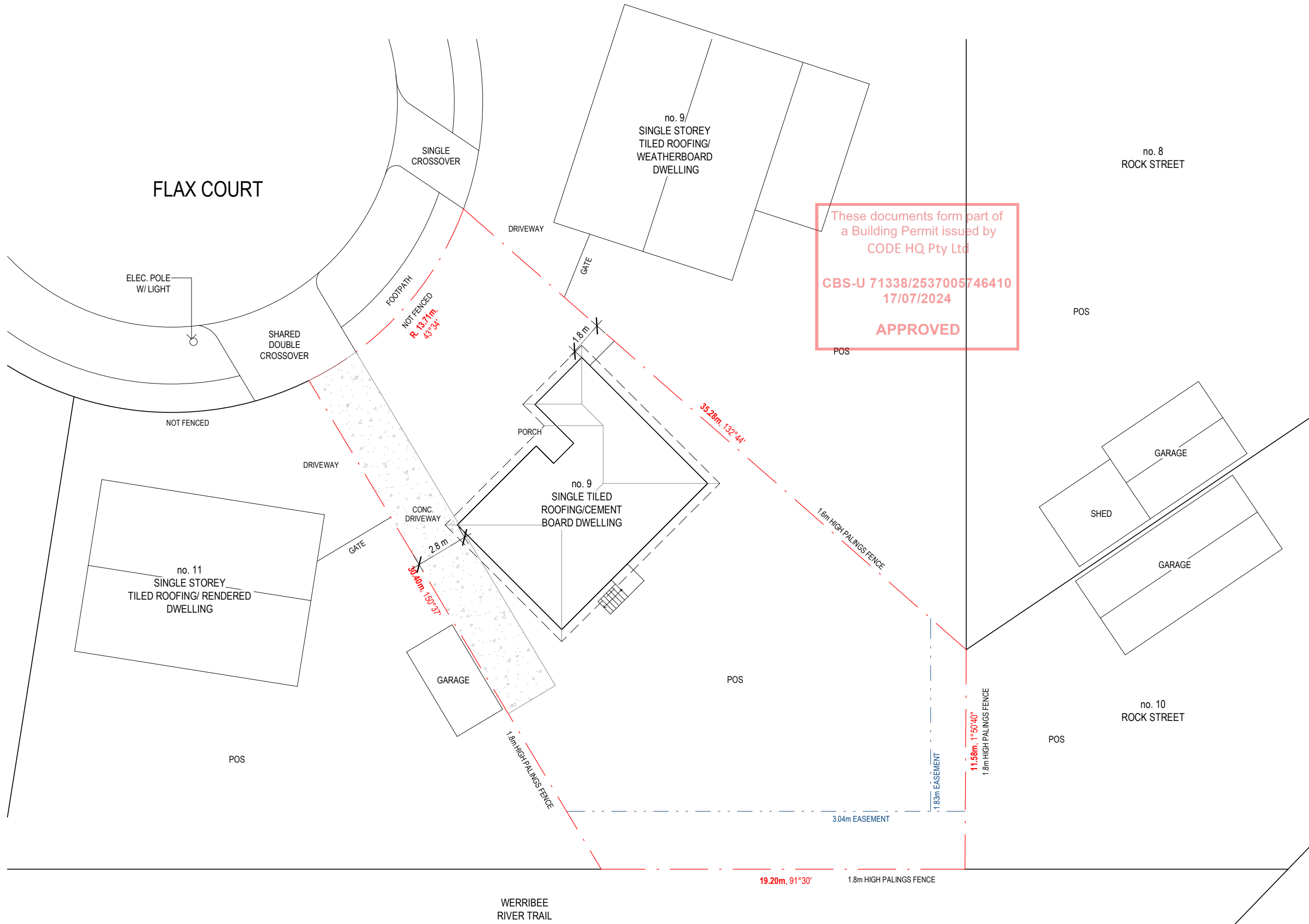
A 05/JUNE/2022 FOR CONSTRUCTION

CLIENT: JINGU KIM	PROJECT: PROPOSED BUNGALOW AT REAR
PROJECT NO.: 24001	ADDRESS: 9 FLAX COURT, WERRIBEE VIC 3030



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DRAWING: GENERAL NOTE	DRAWN: -	SHEET: A101	NORTH:
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a Building Permit issued by  
CODE HQ Pty Ltd

**CBS-U 71338/2537005746410**  
17/07/2024

**APPROVED**

**EXISTING SITE PLAN**

@ 1 : 200

▲ CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING ANY WORK OR PRODUCING ANY SHOP DRAWINGS  
▲ USE FIGURED DIMENSIONS ONLY  
▲ DO NOT SCALE DRAWINGS

CLIENT:  
**JINGU KIM**

PROJECT NO.:  
**24001**

PROJECT:  
**PROPOSED BUNGALOW AT REAR**

ADDRESS:  
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**FEB. 2024**

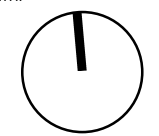
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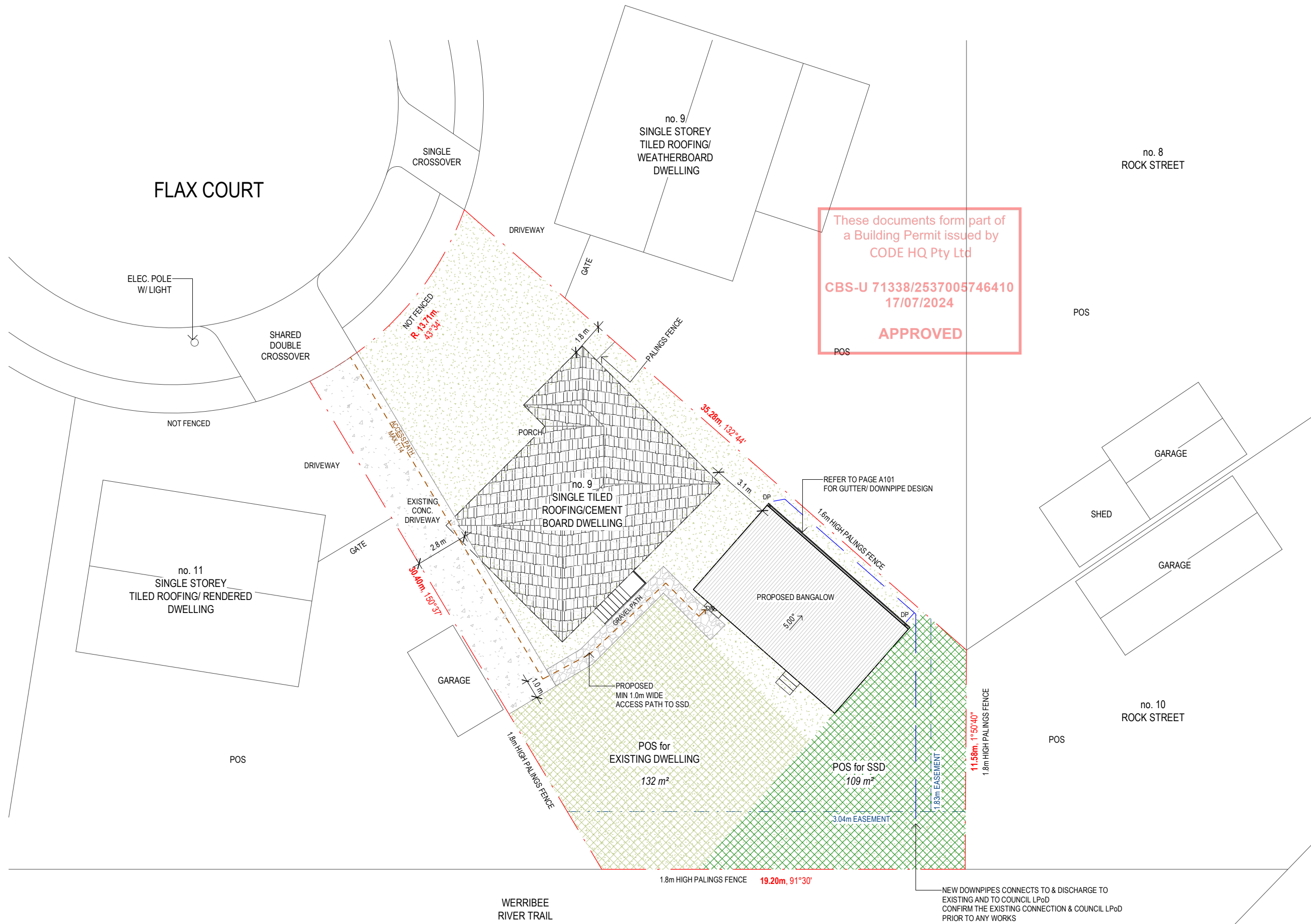
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**PROPOSED SITE PLAN**  
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 ADDRESS:  
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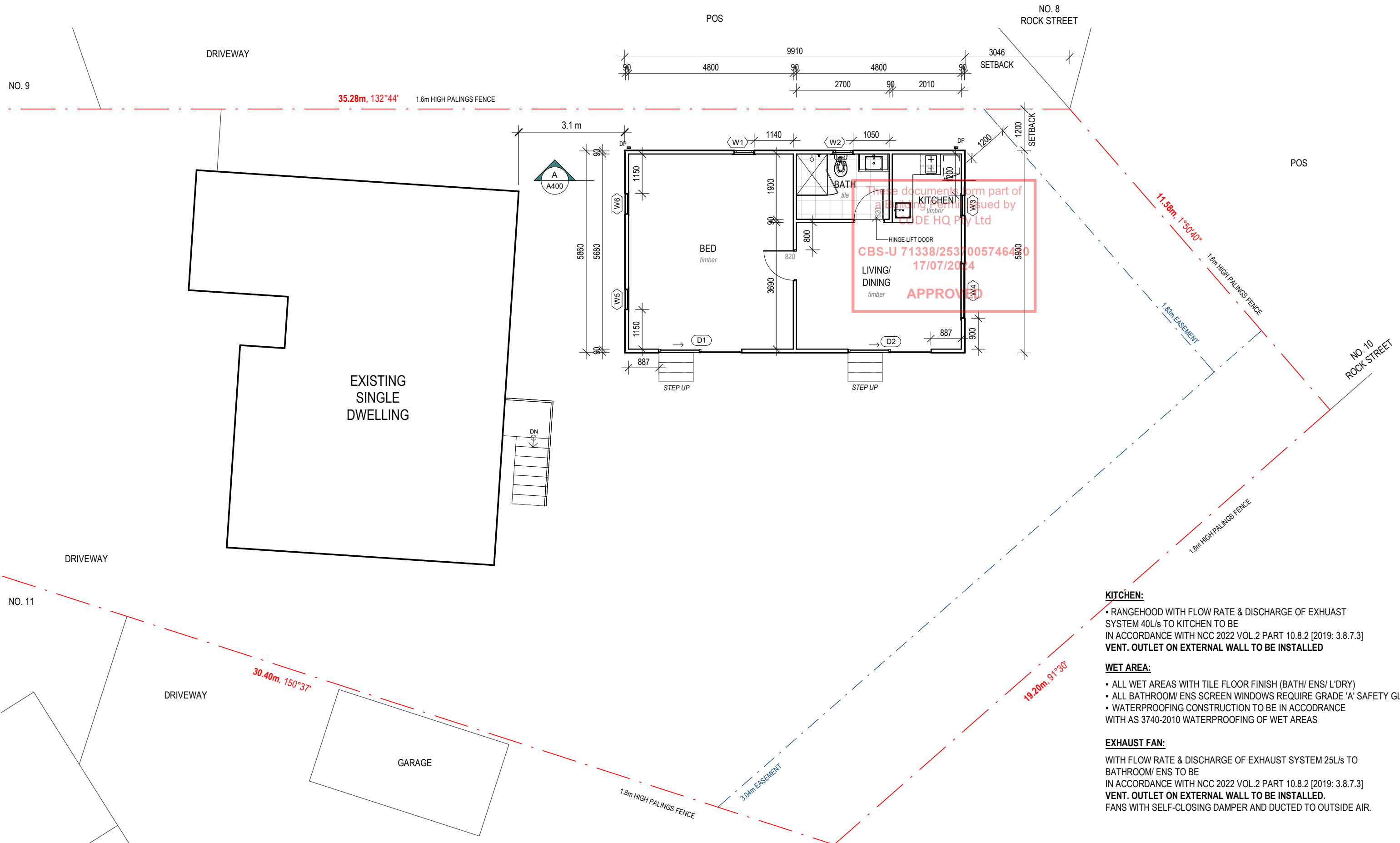
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**PROPOSED SITE PLAN**  
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 DRAWN:  
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 SHEET:  
**A201**

NORTH:



**PROPOSED FLOOR PLAN**  
@ 1:100

- KITCHEN:**
- RANGEHOOD WITH FLOW RATE & DISCHARGE OF EXHAUST SYSTEM 40L/s TO KITCHEN TO BE IN ACCORDANCE WITH NCC 2022 VOL.2 PART 10.8.2 [2019: 3.8.7.3] **VENT. OUTLET ON EXTERNAL WALL TO BE INSTALLED**
- WET AREA:**
- ALL WET AREAS WITH TILE FLOOR FINISH (BATH/ ENS/ L'DRY)
  - ALL BATHROOM/ ENS SCREEN WINDOWS REQUIRE GRADE 'A' SAFETY GLASS
  - WATERPROOFING CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3740-2010 WATERPROOFING OF WET AREAS
- EXHAUST FAN:**
- WITH FLOW RATE & DISCHARGE OF EXHAUST SYSTEM 25L/s TO BATHROOM/ ENS TO BE IN ACCORDANCE WITH NCC 2022 VOL.2 PART 10.8.2 [2019: 3.8.7.3] **VENT. OUTLET ON EXTERNAL WALL TO BE INSTALLED.** FANS WITH SELF-CLOSING DAMPER AND DUCTED TO OUTSIDE AIR.

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PROPOSED FLOOR PLAN

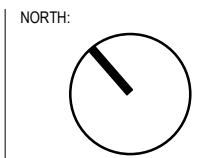
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FEB. 2024

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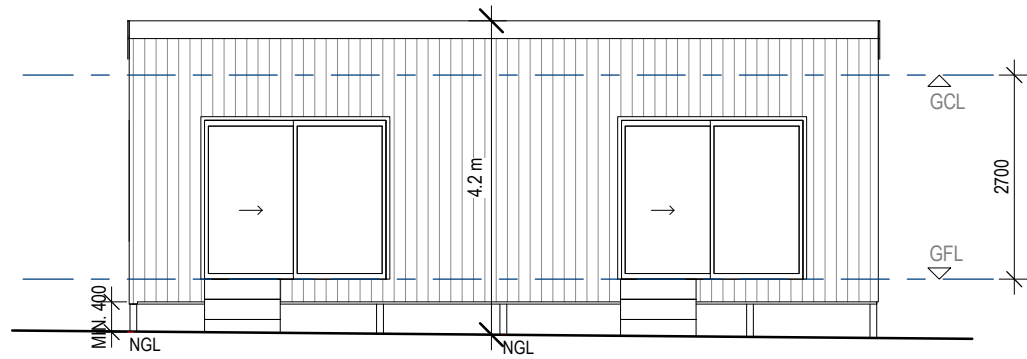
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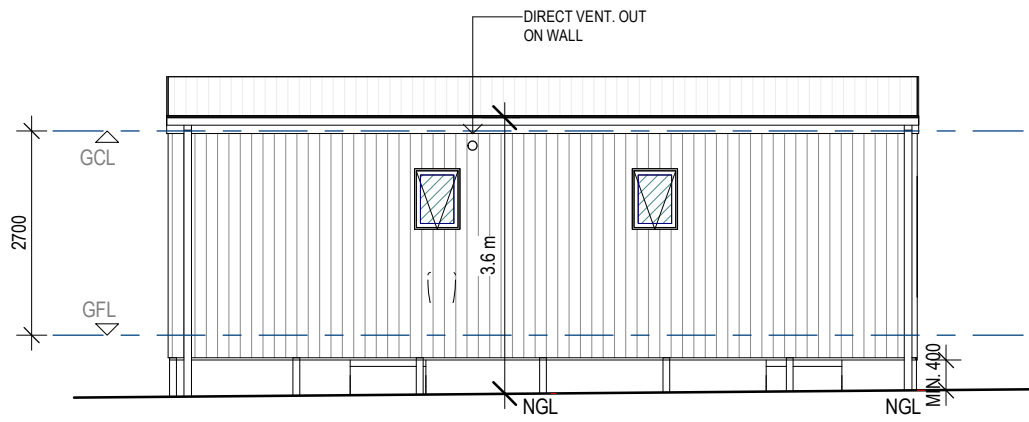
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**NOTE:**

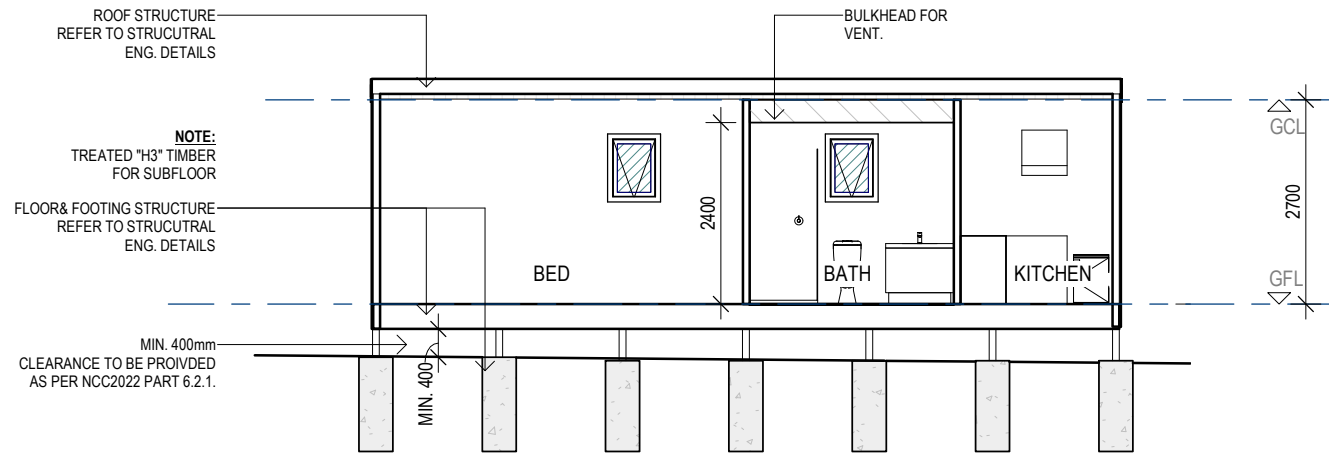
- THE SOIL LEVEL BELOW THE DWELLING MUST NOT BE LOWER THAN THE SOIL LEVEL SURROUNDING THE DWELLING. THIS ALLOWS FOR ADEQUATE VENTILATION AND TO ENSURE WATER DOES NOT POND UNDERNEATH THE SUB-FLOOR.
- THE FINISHED GROUND SURFACE MUST SLOPE MIN. 50MM AWAY FROM THE DWELLING FOR THE FIRST 1M SURROUNDING THE DWELLING
- ENSURE TO PROVIDE MIN. 400mm CLEARANCE IN ACCORDANCE WITH NCC2022 PART 6.2.1. FOR THE PURPOSES OF COMPLYING WITH TERMITE PRONE AREA. THIS SHALL BE BETWEEN THE NGL. AND THE UNDERSIDE OF THE LOWEST HORIZONTAL MEMBER IN THE SUBFLOOR.



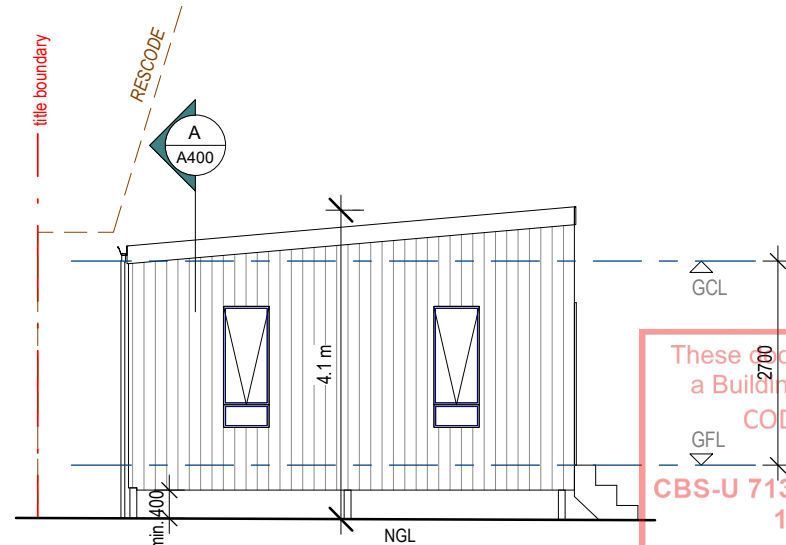
**BUNGALOW\_ SOUTH ELEVATION**  
@ 1:100



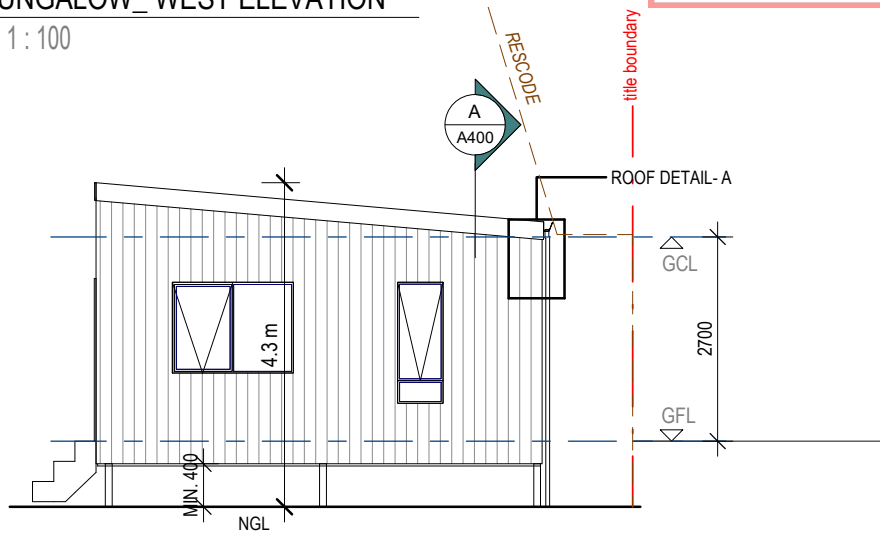
**BUNGALOW\_ NORTH ELEVATION**  
@ 1:100



**SECTION A**  
@ 1:100



**BUNGALOW\_ WEST ELEVATION**  
@ 1:100



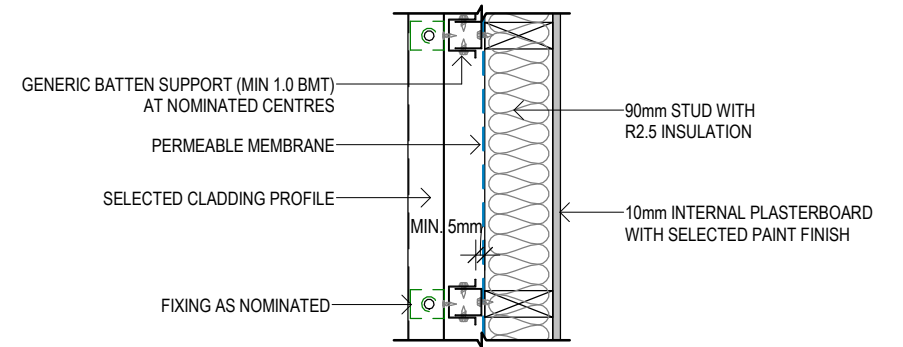
**BUNGALOW\_ EAST ELEVATION**  
@ 1:100

MATERIALITY	
WALL	TREATED H TIMBER FRAME LIGHT-WEIGHT COLORBOND CLADDING PROFILE "Lb.a" COLOUR FINISH "WOODLAND GREY"
ROOFING	COLORBOND CLADDING PROFILE "CUSTOM ORB" COLOUR FINISH "WOODLAND GREY"
FASCIA/ DOWNSPIPE/ GUTTER	COLORBOND COLOUR FINISH "SHALE GREY" OR MATCH WITH BACKGROUND
DOOR/ WINDOW	ALUMINIUM FRAME WITH COLOUR FINISH "BLACK"

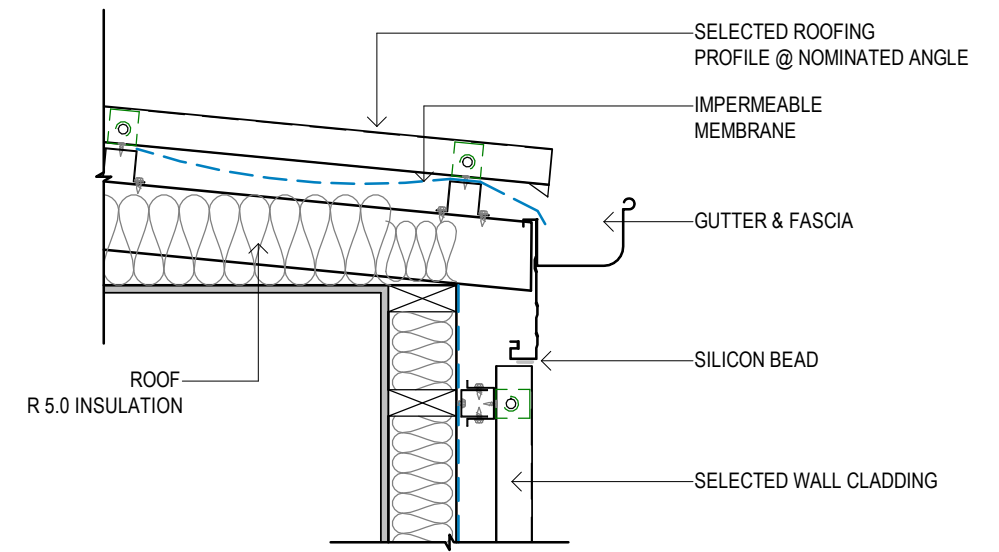


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**LYSAGHT- VERTICAL FIXING**  
FURTHER DETAIL,  
REFER TO 'LYSAGHT-ROOFING& WALLING INSTALLATION MANUAL'



**WALL SYSTEM**  
@ 1:10



**ROOF DETAIL- A**  
@ 1:10

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▲ DO NOT SCALE DRAWINGS

CLIENT:  
**JINGU KIM**  
  
PROJECT NO.:  
**24001**

PROJECT:  
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**9 FLAX COURT, WERRIBEE VIC 3030**



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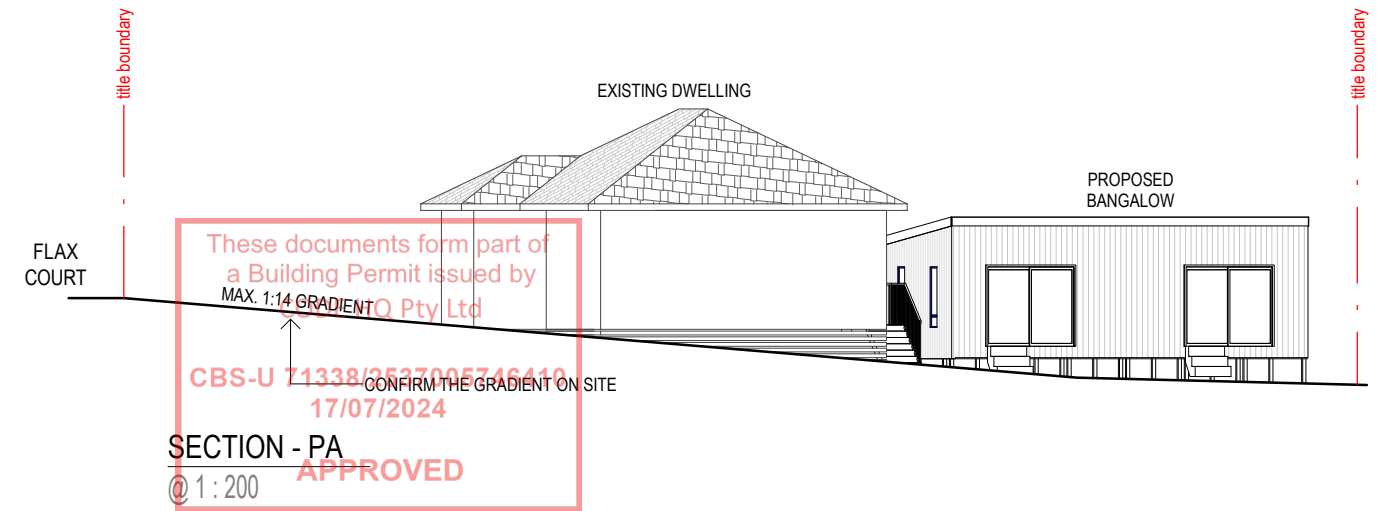
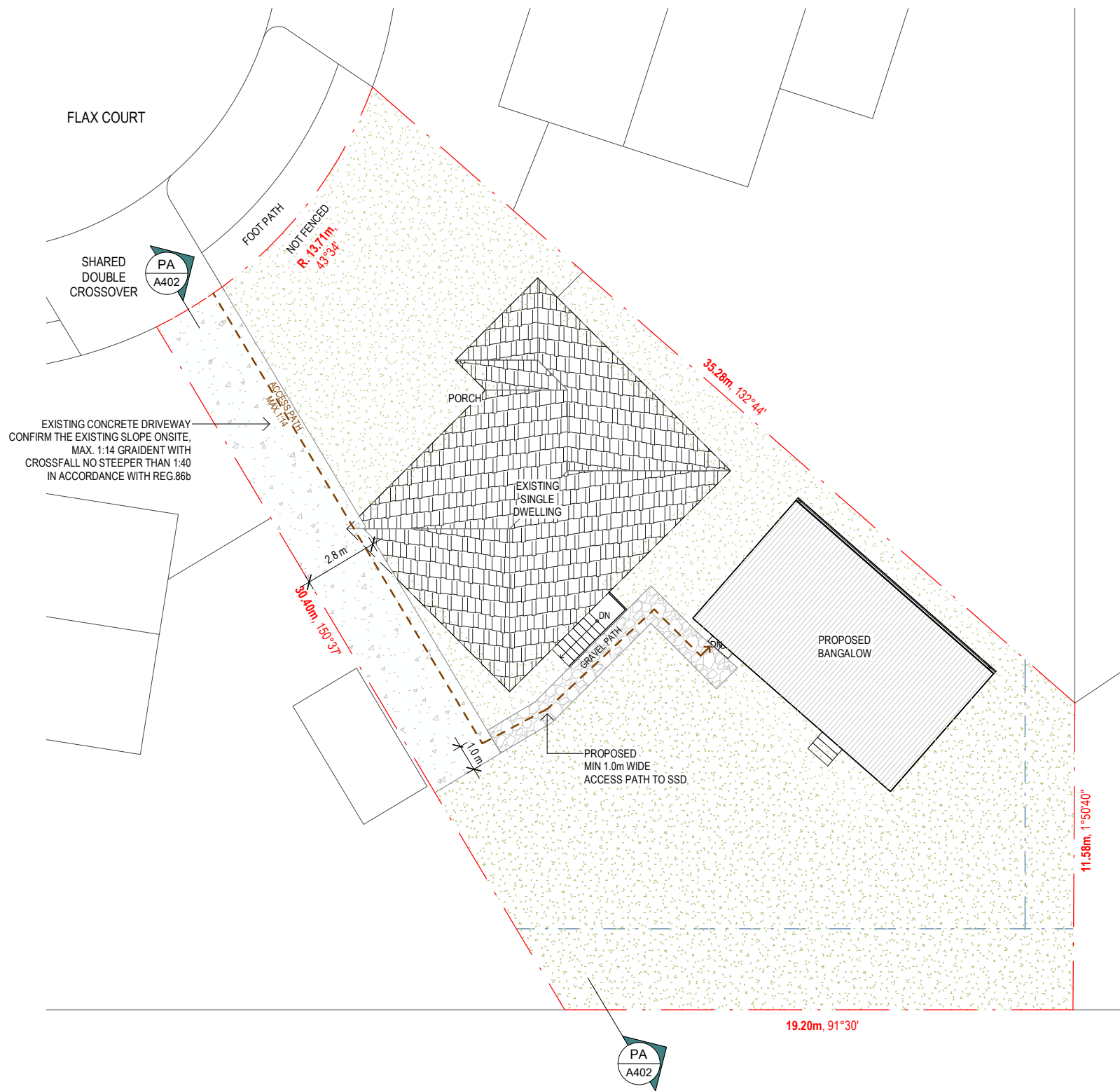
DRAWING:  
**ELEVATIONS**  
  
SCALE:  
**1:100 @ A3**

DATE:  
**FEB. 2024**

DRAWN:  
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CHECK  
-

SHEET:  
**A400**

NORTH:



**PROPOSED SITE PLAN**  
@ 1:200

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PATHWAY ASSESSMENT

SCALE:  
1:100 @ A3

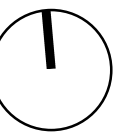
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FEB. 2024

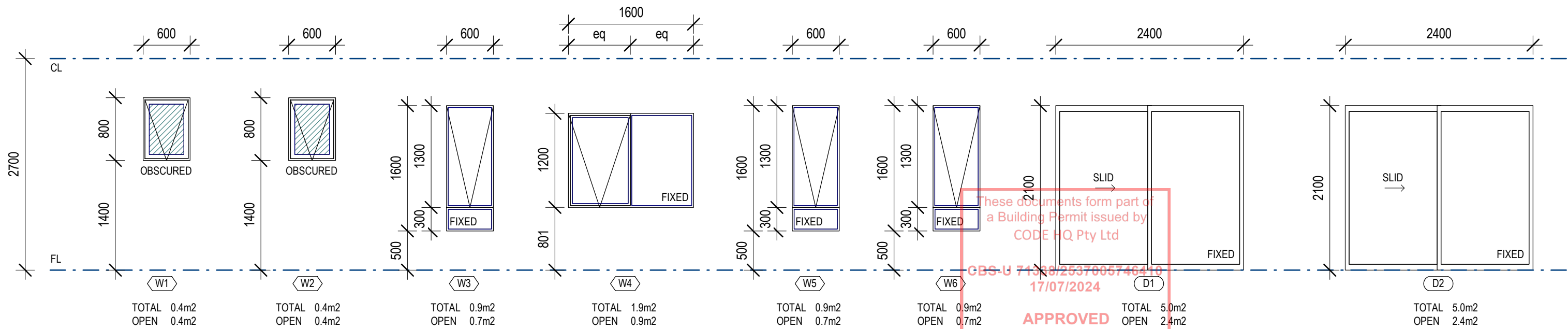
DRAWN:  
-

CHECK  
-

SHEET:  
**A402**

NORTH:





- THIS IS NOMINATED DIMENSIONS ONLY
- BUILDER SHALL MEASURE ON SITE PRIOR TO COMMENCING ORDERING/ WORKS
- ALL WINDOWS WITH ALUMINIUM FRAMES
- ALL GLAZING TO BE COMPLIED WITH SPECIFICATION OF ENERGY RATING REPORT

### WINDOW & DOOR SCHEDULE

@ 1 : 50

### NATURAL LIGHTING/ VENTILATION CALCULATION

AREA	TOTAL GLAZED AREA (min.10%)	TOTAL OPENABLE AREA (min.5%)
BED	27.3m <sup>2</sup>	7.2m <sup>2</sup> (26.4%)
LIVING/ DINING	17.7m <sup>2</sup>	7.1m <sup>2</sup> (40.1%)

MIN. 10% OF NATURAL LIGHTING AND 5% OF VENTILATION PROVIDED

### ENERGY RATING REQUIREMENTS

ROOF	ADDED R 5.0 INSULATION
WALL	ADDED R 2.5 INSULATION
FLOOR	ADDED R 2.5 INSULATION
GLAZING	TOTAL SYSTEM U-VALUE ≤ 3.5 TOTAL SYSTEM SHGC = 0.45 ± 5%

REFER TO ENERGY RATING REPORT FOR FURTHER DETAILS

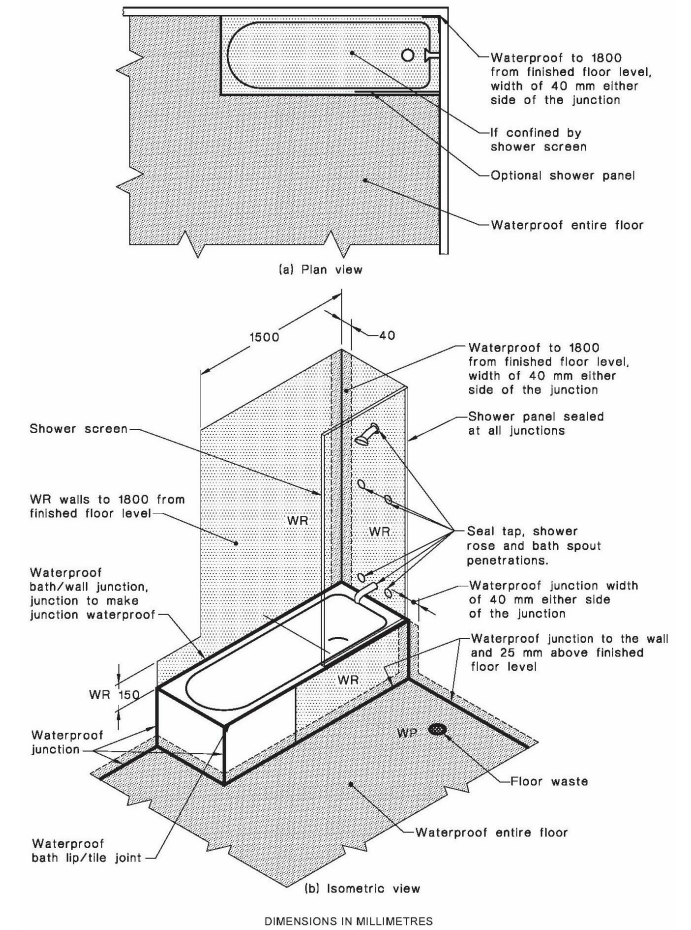
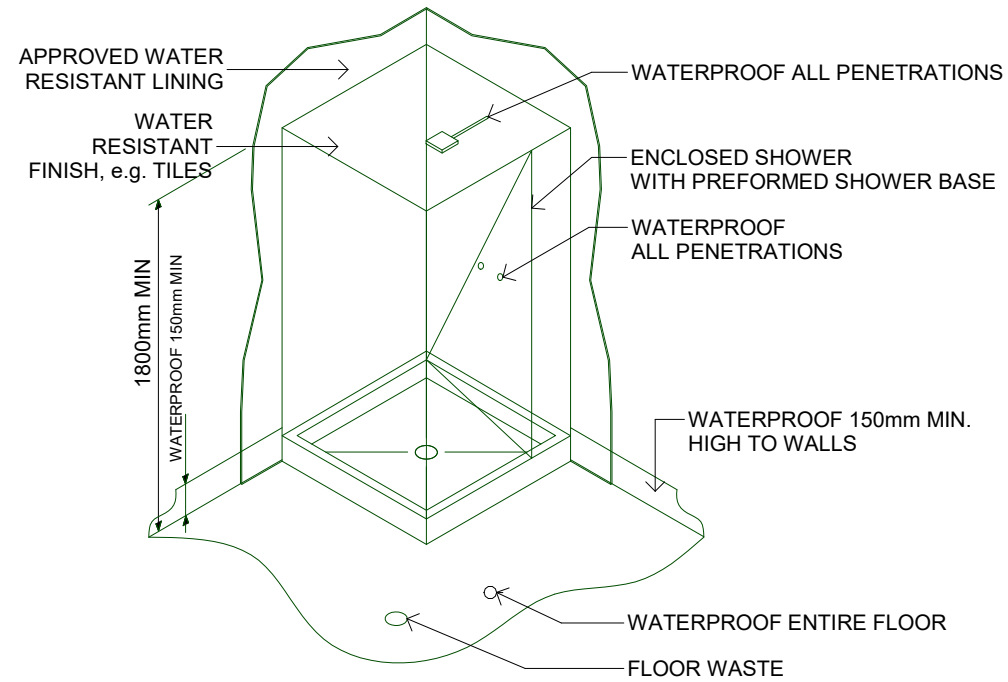


FIGURE 4.2 EXTENT OF TREATMENT FOR WET AREAS—SHOWER AREA—OVER-BATH—UNENCLOSED SHOWER—FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOORING MATERIALS

### AS 3740-2010 WATERPROOFING OF DOMESTIC WET AREAS

A 05/JUNE/2022 FOR CONSTRUCTION

▲ CONTRACTORS MUST VERIFY ALL DIMENSIONS ON THE JOB PRIOR TO COMMENCING ANY WORK OR PRODUCING ANY SHOP DRAWINGS  
▲ USE FIGURED DIMENSIONS ONLY  
▲ DO NOT SCALE DRAWINGS

CLIENT:  
JINGU KIM

PROJECT NO.:  
24001

PROJECT:  
PROPOSED BUNGALOW AT REAR

ADDRESS:  
9 FLAX COURT, WERRIBEE VIC 3030



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DRAWING:  
WINDOW SCHEDULE

SCALE:  
1:100 @ A3

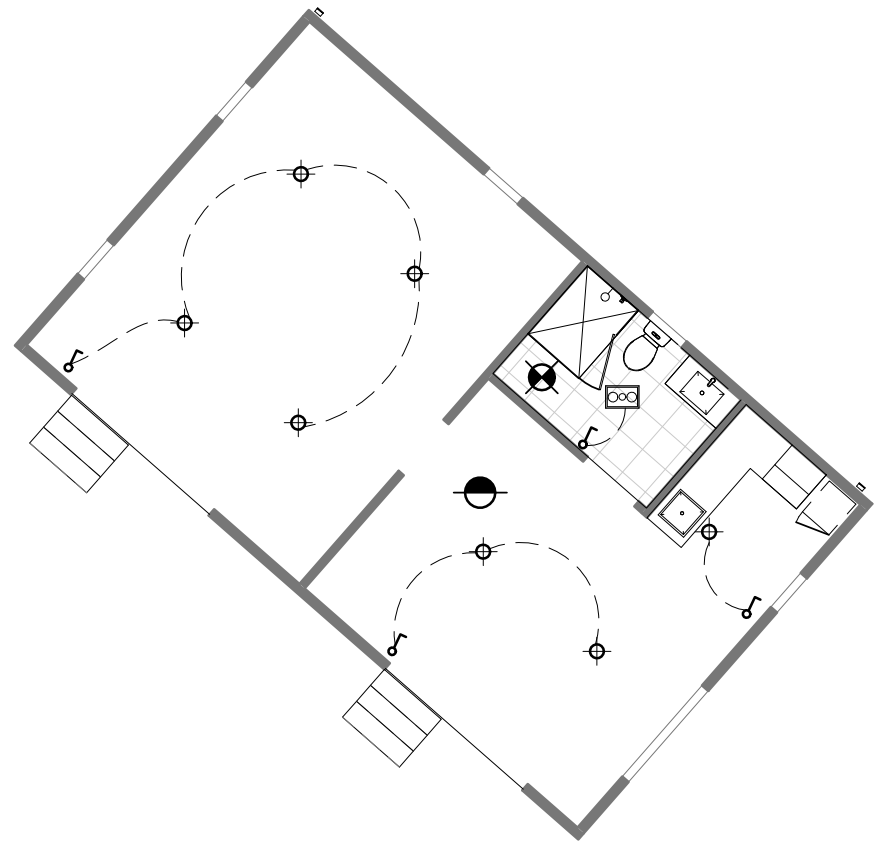
DATE:  
FEB. 2024

DRAWN:  
-

CHECK  
-

SHEET:  
A500

NORTH:



These documents form part of  
 a Building Permit issued by  
 CODE HQ Pty Ltd  
  
**CBS-U 71338/2537005746410**  
**17/07/2024**  
  
**APPROVED**

LEGEND	
	10A 240 VOLT SINGLE ONE WAY LIGHT SWITCH
	10A 240 VOLT SINGLE ONE WAY LIGHT SWITCH (2 GANG)
	15W LED MODULE, 4K SATIN WHITE
	3 in 1 MULTI-FUNCTION EXHAUST FAN HEAT LED LIGHT, 2x275W HEAT LAMP WITH 7W LED CENTRE LIGHT
	ENSURE EXHAUST FAN DISCHARGE DIRECTLY TO OUTDOOR AIR IN ACCORDANCE WITH BCA VOL.2 PART 3.8.7.4.
	CEILING MOUNTED EXHAUST FAN VENTILATION AS PER BCA P3.8.5 REQUIREMENTS
	LIGHT CIRCUIT
	SMOKE ALARMS (COMPLY WITH AS 3786 AND BE HARDWIRED AND ALSO INTERLINKED WHERE MORE THAN ONE SMOKE ALARM IS INSTALLED)

LIGHTING CALCULATION	
BUNGALOW	
PROPOSED INTERNAL FLOOR AREA	59 m <sup>2</sup>
WATTAGE ALLOWABLE (5 watts/ m <sup>2</sup> )	295w
PROPOSED WATTAGE	
7x 15w	105w
1x 7w	7w
	112w
	<b>COMPLY</b>

**LIGHTING LAYOUT**  
@ 1 : 100