

02  
01 Locality Map  
NTS

**Area Ratios: Property Size = 987.4 m<sup>2</sup>**

	Proposed Steel Frame Shed = 104m <sup>2</sup> (10.53%)
	Existing - Dwelling Approx. = 270m <sup>2</sup> (27.34%)
	Free space Approx. = 613.4m <sup>2</sup> (62.12%)
Total Site Coverage Approx. = 374m <sup>2</sup> (37.88%)	

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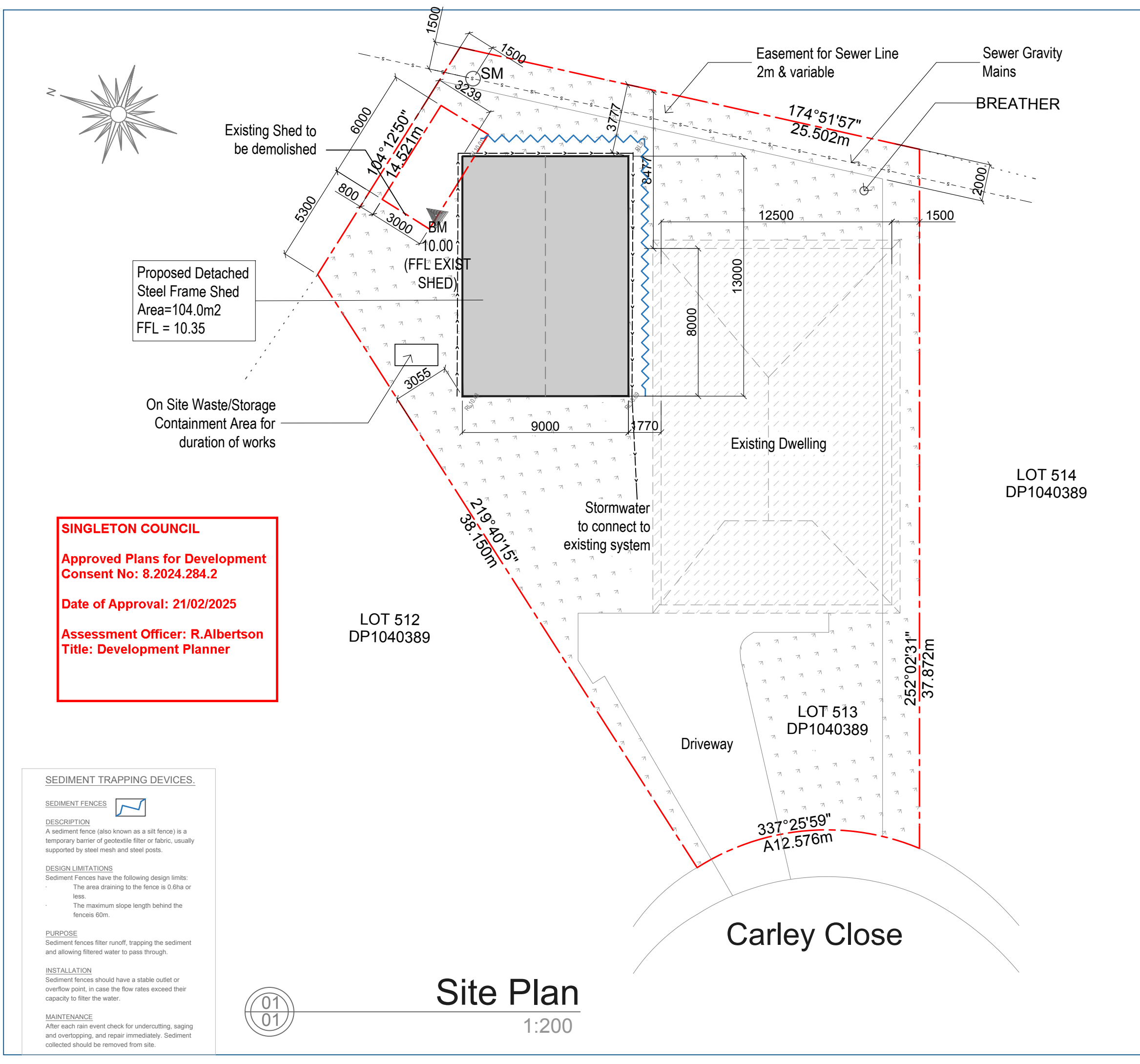
**Proposed:** Detached Steel Frame Shed  
**Client:** Kym/Amanda Buttifant  
**Address:** 3 Carley Close Hunterview  
 Lot 513 / DP1040389  
**Council:** Singleton Council

Plan: **Site Plan**

Drawn:	RP
Date:	May 2024
Scale:	1:200 @ A3
Job No:	240527

01  
05

**Note:** Plans to be printed on A3 to be too scale. Do not scale off plans. All dimensions to be checked and verified on site.



**SINGLETON COUNCIL**

**Approved Plans for Development Consent No: 8.2024.284.2**

**Date of Approval: 21/02/2025**

**Assessment Officer: R.Albertson**  
**Title: Development Planner**

**SEDIMENT TRAPPING DEVICES.**

**SEDIMENT FENCES**

**DESCRIPTION**  
A sediment fence (also known as a silt fence) is a temporary barrier of geotextile filter or fabric, usually supported by steel mesh and steel posts.

**DESIGN LIMITATIONS**  
Sediment Fences have the following design limits:  
 - The area draining to the fence is 0.6ha or less.  
 - The maximum slope length behind the fence is 60m.

**PURPOSE**  
Sediment fences filter runoff, trapping the sediment and allowing filtered water to pass through.

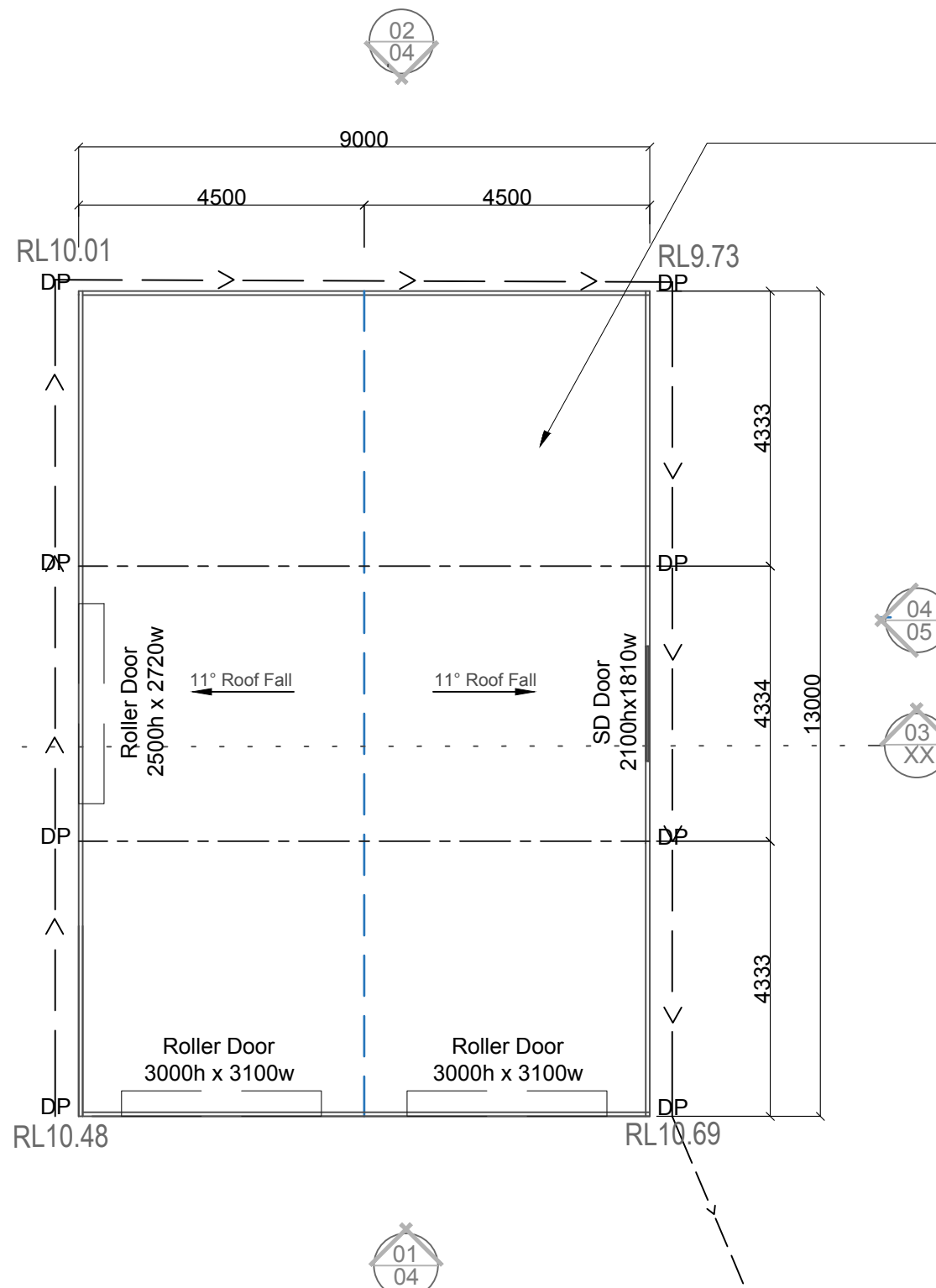
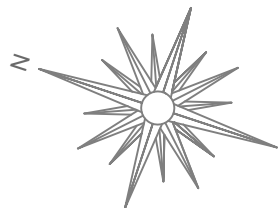
**INSTALLATION**  
Sediment fences should have a stable outlet or overflow point, in case the flow rates exceed their capacity to filter the water.

**MAINTENANCE**  
After each rain event check for undercutting, sagging and overtopping, and repair immediately. Sediment collected should be removed from site.

01  
01

**Site Plan**  
1:200





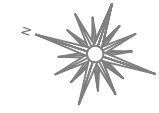
Proposed Detached  
Steel Frame Shed  
Area = 104m<sup>2</sup>  
FFL = 10.35

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Plan: Floor Plan / Concept Drainage Plan



Drawn:	RP	Sheet :	02 05
Date:	May 2024	of :	
Scale:	1:100 @ A3		
Job No:	240527		

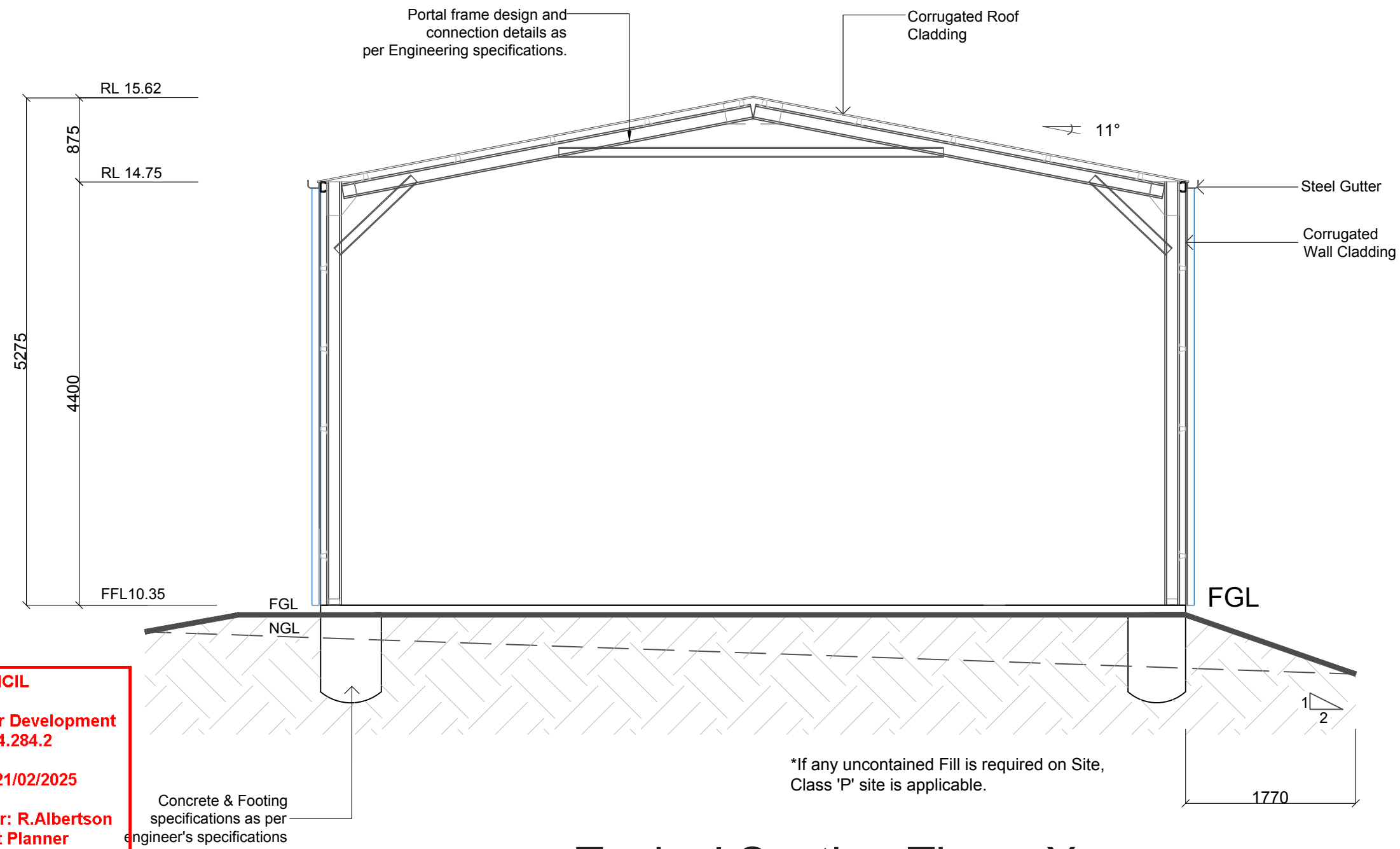
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# Floor Plan & Storm Water Concept - Shed 1

1:100

Supplied By:



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Title: Development Planner



# Typical Section Thru - X

1:50

All works to be completed in accordance with the performance requirements of the National Construction Code (NCC) 2022 Volume 2

Detached Portal Frame Sheds

**Part H1 Structure (dealt with in Engineering)**

- H1P1 Structural reliability and resistance
- H1P2 Buildings in flood areas
- H1D2 Structural provisions
- H1D3 Site preparation
- H1D4 Footings and slabs
- H1D6 Framing
- H1D7 Roof and wall cladding
- H1D8 Glazing
- H1D9 Earthquake areas
- H1D10 Flood hazard areas
- H1D11 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- H1D12 Piled footings

**Part H2 Damp and weatherproofing (dealt with in Engineering)**

- H2P1 Rainwater management
- H2P2 Weatherproofing
- H2P4 Drainage from swimming pools
- H2D2 Drainage

**Part H3 Fire safety (dealt with in Engineering)**

- H3D1 Deemed-to-Satisfy Provisions
- H3D2 Fire hazard properties and non-combustible building elements
- H3D3 Fire separation of external walls

**Part H4 Health and amenity**

- H4P1 Wet areas
- H4P2 Room heights

**Part H5 Safe movement and access**

- H5P1 Movement to and within a building

**Part H7 Ancillary provisions and additional construction requirements (dealt with in Engineering)**

- H7P1 Swimming pool access
- H7P2 Swimming pool reticulation systems
- H7P5 Buildings in bushfire prone areas

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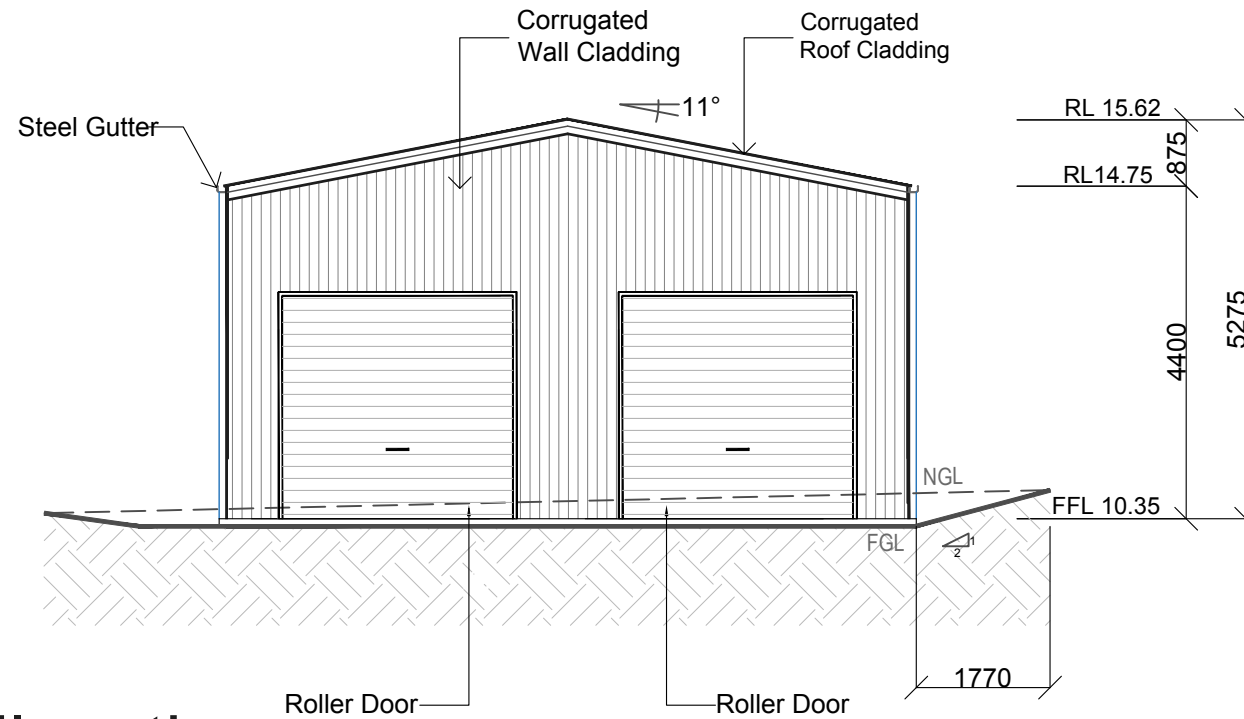
Plan: **Section**

Drawn: RP  
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 Job No: 240527

Of: **03**  
**05**

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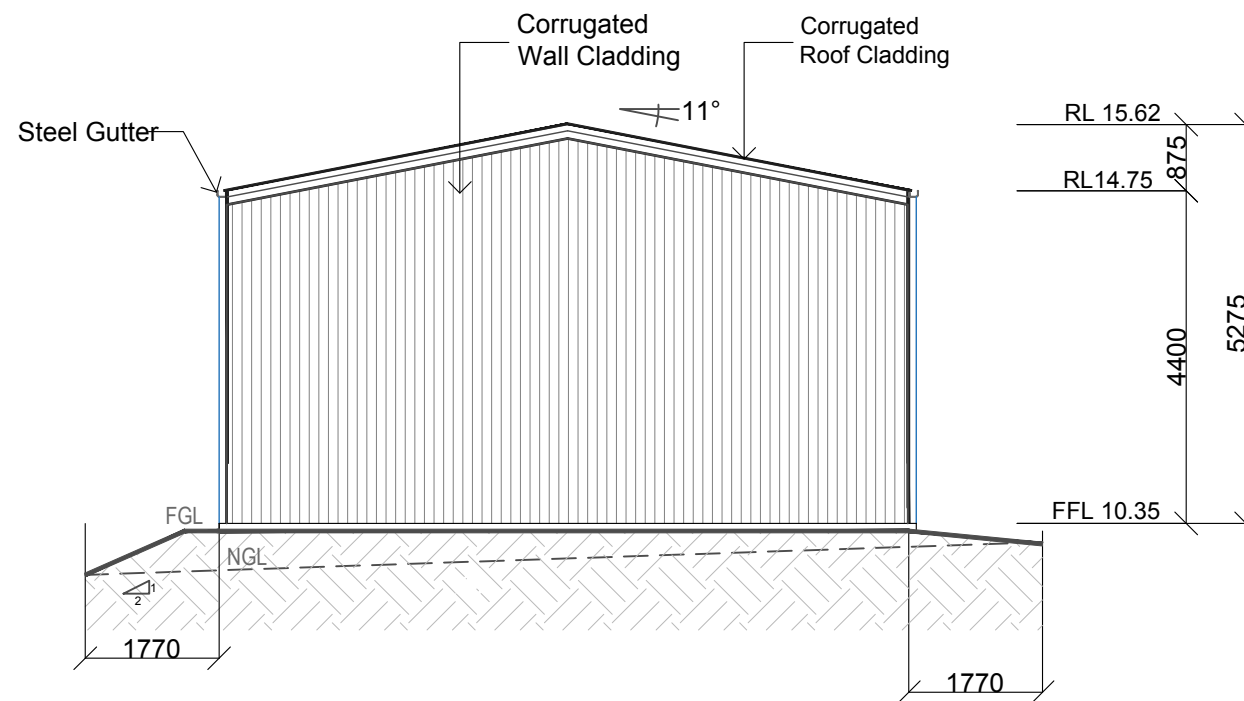
Supplied By:



# West Elevation

1:100







01  
04



# East Elevation

1:100

02  
04

-  - Roof Cladding / TBC
-  - Wall Cladding / TBC
-  - Roller Doors / TBC
-  - Flashings / TBC
-  - Windows / TBC
-  - PA Doors / TBC

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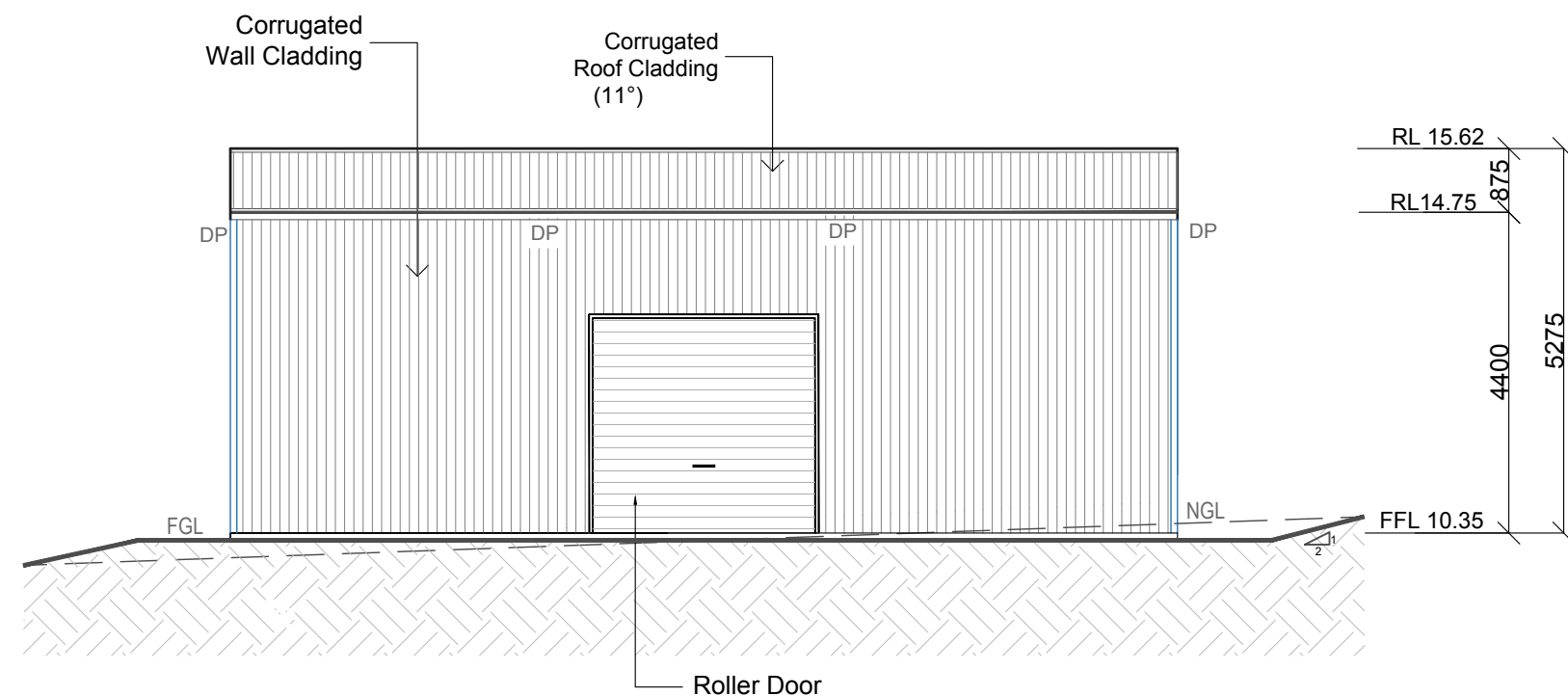
**Plan:** Elevations

<b>Drawn:</b>	RP
<b>Date:</b>	May 2024
<b>Scale:</b>	1:100 @ A3
<b>Job No:</b>	240527

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 Of : **04**  
**05**

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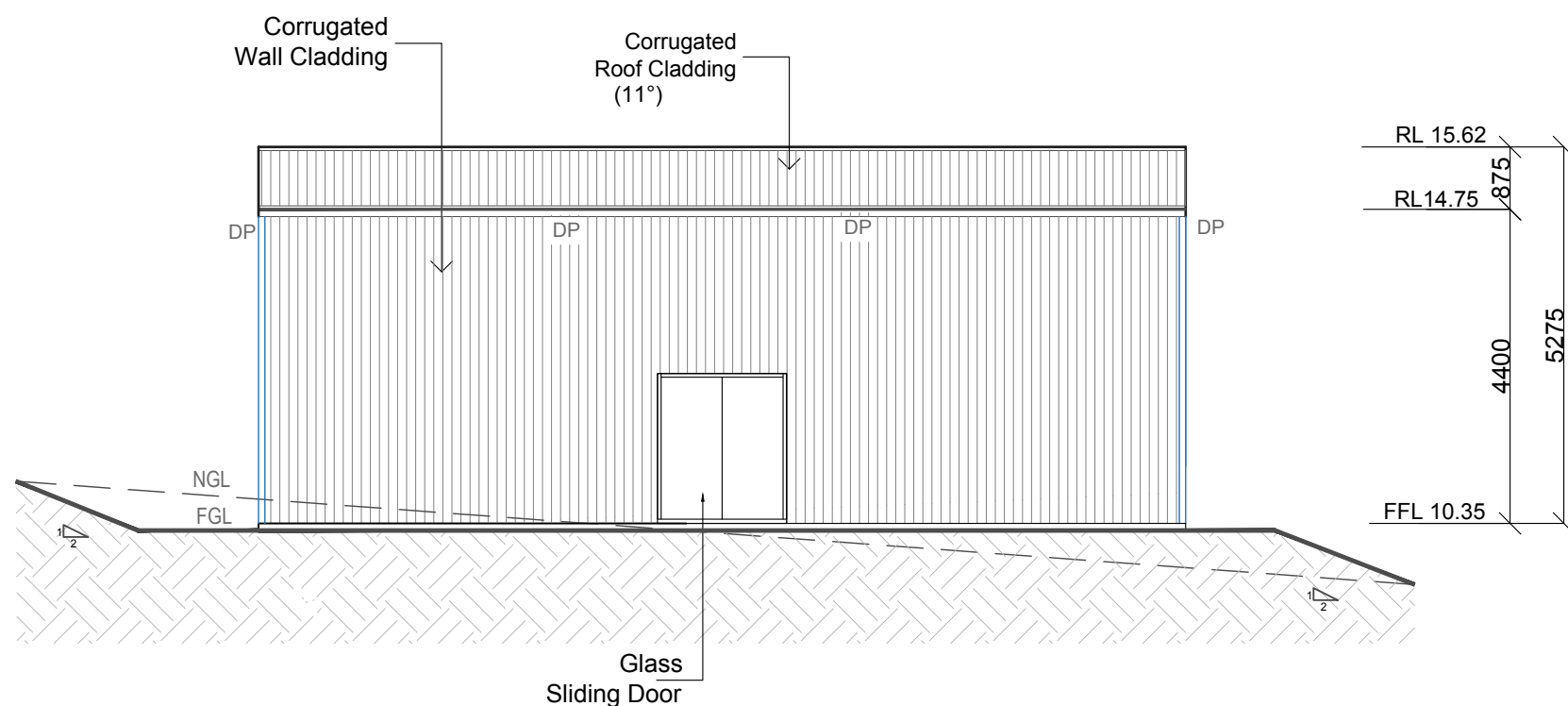


# North Elevation

03  
05

1:100

- Roof Cladding / TBC
- Wall Cladding / TBC
- Roller Doors / TBC
- Flashings / TBC
- Windows / TBC
- PA Doors / TBC



# South Elevation

04  
05

1:100



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**Plan:** Elevations

Drawn:	RP
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Scale:	1:100 @ A3
Job No:	240527

Sheet :  
Of : **05**  
**05**

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