

## GENERAL NOTES (NCC 2019 BCA Vol 2)

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, NATIONAL CONSTRUCTION CODE SERIES 2019, THE BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.  
 - UNLESS OTHERWISE SPECIFIED THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE SERIES 2019 BUILDING CODE OF AUSTRALIA VOLUME 2  
 - ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE A PERFORMANCE SOLUTION IS PROPOSED THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION, IT FIRST MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.  
 - GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE & THICKNESS SO AS TO COMPLY WITH;

- BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND  
 - BCA VOL 1 PART B1.4 FOR CLASS 2 TO 9 BUILDINGS  
 - WATERPROOFING OF WET AREAS, BEING BATHROOMS, SHOWERS, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2010: WATERPROOFING OF DOMESTIC WET AREAS.

### SUSTAINABILITY MEASURES FOR NEW CLASS 1 BUILDINGS.

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.

### SITE BUSHFIRE ATTACK ASSESSMENT.

REFERENCE DOCUMENT AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS.  
 - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/ DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.  
 - SITE PLAN MEASUREMENTS IN MILLIMETRES - ALL OTHER MEASUREMENTS IN MILLIMETRES U.N.O.  
 - FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
 - THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.  
 - THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

### SITE CLASSIFICATION

SITE CLASSIFICATION AS CLASS:	<b>CLASS 'P'</b>
REFER TO SOIL REPORT NO:	<b>JDTMG20-0786.1</b>
BY:	<b>DTM GEOCIVIL CONSULTING</b>

### STORMWATER

90mm Ø (UPTO 250m2) OR 100mm Ø (OVER 250m2) CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO THE LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 900MM C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN  
 - 100MM UNDER SOIL  
 - 50MM UNDER PAVED OR CONCRETE AREAS  
 - 100MM UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS  
 - 75MM UNDER REINFORCED CONCRETE DRIVEWAYS

### AUTHORITIES/CONSULTANTS

MUNICIPALITY NAME:	<b>CARDINIA SHIRE COUNCIL</b>
SEWAGE AUTHORITY:	<b>S.E. WATER</b>
CONSULTING STRUCTURAL ENGINEER:	<b>TBC</b>
GEOTECHNICAL ENGINEER:	<b>DTM GEOCIVIL CONSULTING</b>
THERMAL PERFORMANCE ASSESSOR:	<b>TBC</b>

- STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:  
 - RISERS (R) 190MM MAXIMUM AND 115MM MINIMUM  
 - GOING (G) 355MM MAXIMUM AND 240MM MINIMUM  
 - 2R + 1G = 700MM MAXIMUM AND 550MM MINIMUM  
 - WITH LESS THAN 125MM MAXIMUM GAP BETWEEN OPEN TREADS  
 - ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS, OR A NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.  
 - PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:  
 - 1000MM MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND  
 - 865MM MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND  
 - VERTICAL WITH LESS THAN 125MM GAP BETWEEN, AND  
 - ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150MM AND 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000MM ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.  
 - WIRE BARRIER CONSTRUCTION TO COMPLY WITH NCC 2019 BCA PART 3.9.2.3 FOR CLASS 1 AND 10 BUILDINGS AND NCC 2019 BCA VOLUME 1 PART D2.16 FOR OTHER CLASSES OF BUILDINGS.  
 - TOP OF HAND RAILS TO BE 865MM MINIMUM ABOVE STAIR NOSING AND FLOOR SURFACE OF RAMPS.  
 - WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZE MAY VARY ACCORDING TO MANUFACTURER. WINDOWS TO BE FLASHED ALL AROUND.  
 - WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA THE AREA TO UNDERSIDE OF BUILDING AND PERIMETER IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.  
 - CONCRETE STUMPS: UP TO 1400MM LONG TO BE 100MM X 100MM (1 NO. H.D. WIRE) 1401MM TO 1800MM LONG TO BE 100MM X 100MM (2 NO. H.D. WIRES) 1801MM TO 3000MM LONG TO BE 125MM X 125MM (2 NO. H.D. WIRES)  
 100MM X 100MM STUMPS EXCEEDING 1200MM ABOVE GROUND LEVEL TO BE BRACED WHERE NO PERIMETER BASE BRICKWORK PROVIDED.  
 - BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS4773.1-2015 MASONRY IN SMALL BUILDINGS PART 1:DESIGN  
 - EXTERNAL WALL TO BE PROVIDED WITH AS 4200.1 COMPLIANT VAPOUR PERMEABLE MEMBRANES INSTALLED IN ACCORDANCE WITH AS 4200.2  
 - ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.  
 - INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.  
 EXHAUST SYSTEMS INSTALLED IN A KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF 25 L/S FOR A BATHROOM OR SANITARY COMPARTMENT AND 40 L/S FOR A KITCHEN OR LAUNDRY AND MUST BE DISCHARGED DIRECTLY OR VIA A SHAFT OR DUCT TO OUTDOOR AIR.  
 - THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNES, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.  
 - THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT OF HARGREAVES DESIGN GROUP ('THE DESIGNER') FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNER'S WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/ OR RELIANCE.  
 - A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.

- THE CLIENT AND/OR THE CLIENT'S BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF HARGREAVES DESIGN GROUP EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO HARGREAVES DESIGN GROUP.  
 - THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.  
 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT. ALL MEASUREMENTS IN MILLIMETRES UNLESS NOTED OTHERWISE.  
 FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.  
 THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS. THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.  
 INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.

### BUSHFIRE ATTACK LEVEL:- (BAL)

#### BAL-N/A

THERE IS INSUFFICIENT RISK TO WARRANT SPECIFIC CONSTRUCTION REQUIREMENTS

#### ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

### WIND SPEED ASSESSMENT:

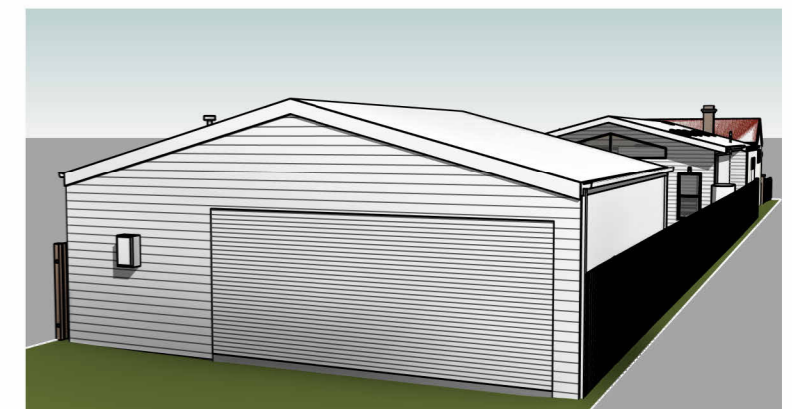
MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N1 - 28m/s**

### IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

ISSUE	AMENDMENT DETAILS
<b>A</b>	GARAGE AS PER NICK EMAIL 19/05/22 GS - 15/06/22
<b>B</b>	TOWN PLANNING SUBMISSION GS - 04/08/22
<b>C</b>	GARAGE AMENDMENTS AS PER MEETING 10/09/24 GS - 02/10/24
<b>D</b>	AMENDMENTS AS PER CLIENT EMAIL 07/10/24 & 08/10/24 GS - 09/10/24
<b>E</b>	RESPONSE TO RFI 07/11/24 GS - 07/11/24
<b>F</b>	AMENDMENTS AS PER CLIENT EMAIL 28/11/24 GS - 05/12/24
<b>G</b>	
<b>H</b>	
<b>I</b>	
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<b>U</b>	
<b>V</b>	



**3D ADAMSOM STREET**

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proposed: **GARAGE**

for: **NICK FOGARTY**

address: **54 WOODS STREET,  
BEACONSFIELD 3807**

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drawing: **GENERAL NOTES**

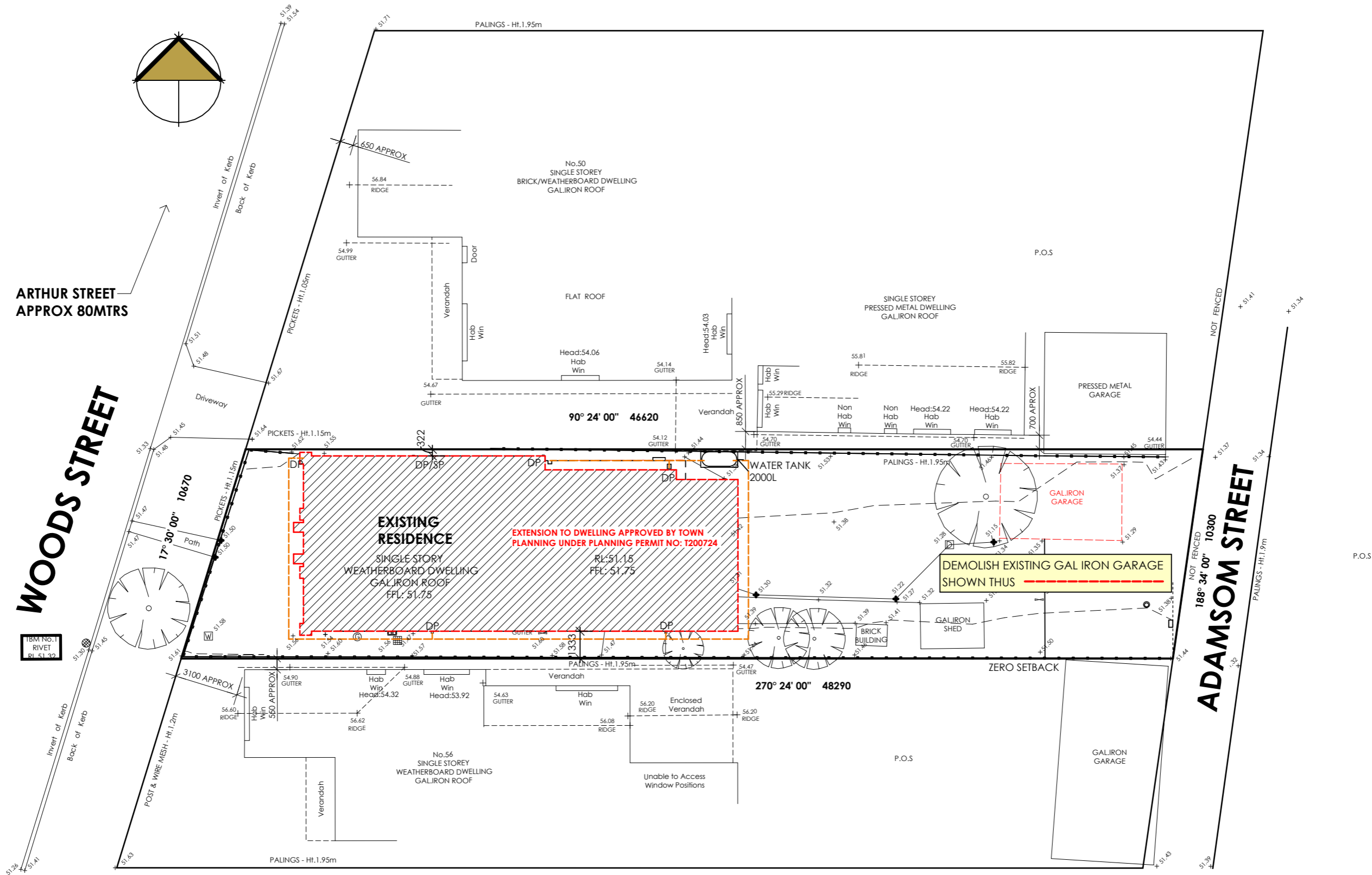
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sheet: **1** of **6**

issue: **F**

date: **05/12/2024**

job no.: **2003608**



ARTHUR STREET  
APPROX 80MTRS

WOODS STREET

ADAMSON STREET

IBM NO.1  
RIVET  
RL: 51.32



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**HARGREAVES**  
DESIGN GROUP

proposed: **GARAGE**

for: **NICK FOGARTY**  
drawing: **EXISTING SITE PLAN**

address: **54 WOODS STREET,  
BEACONSFIELD 3807**

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# SITE ANALYSIS

**GARDEN AREA REQ'D FOR GRZ & NRZ ZONES ONLY:**  
 400 - 500m<sup>2</sup> = 25% | 501 - 650m<sup>2</sup> = 30% | 650m<sup>2</sup>+ = 35%

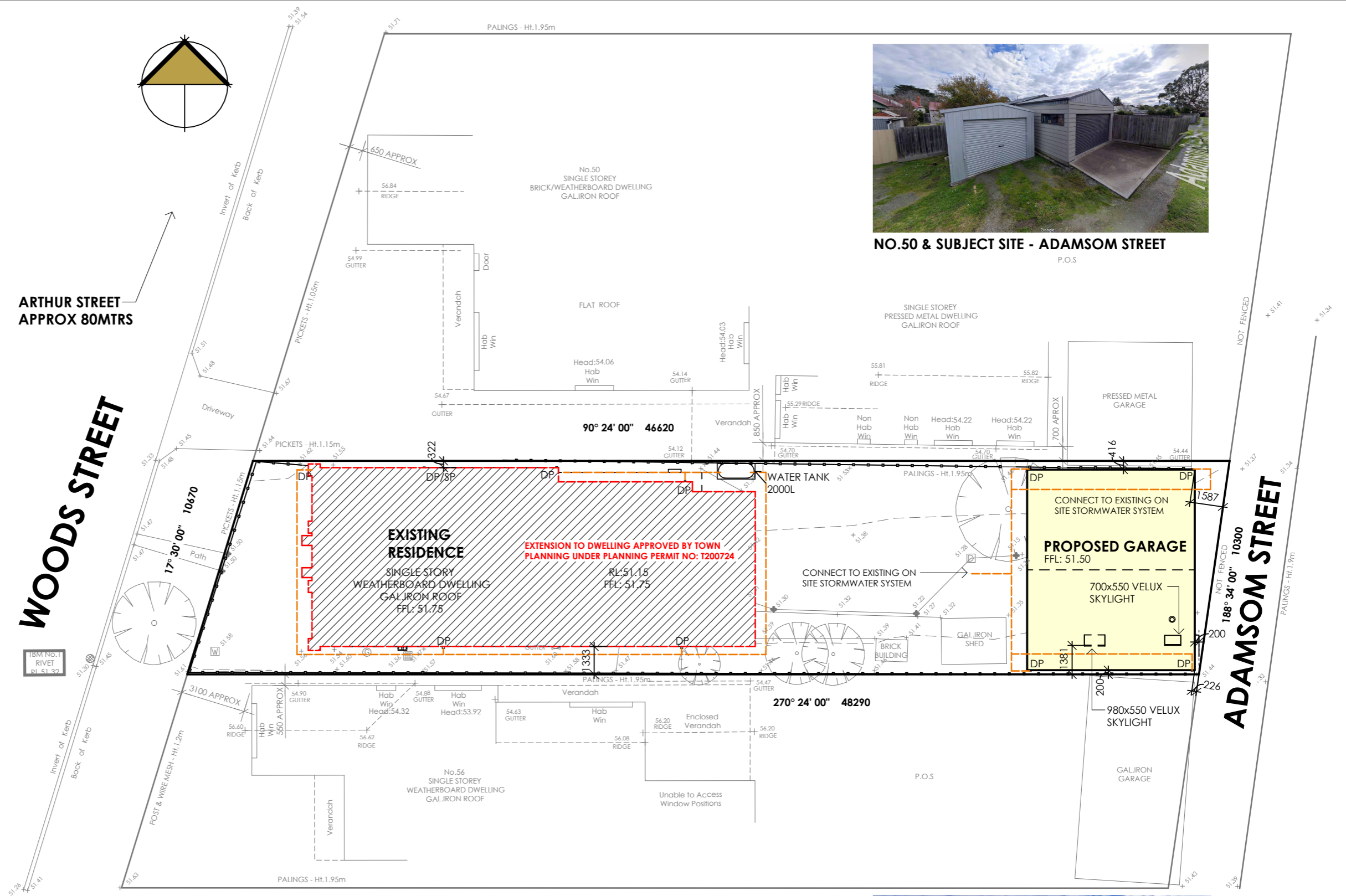
GARDEN AREA	235.98 m <sup>2</sup>	48.78%
NON-COMPLIANT GARDEN AREA	12.06 m <sup>2</sup>	2.49%
TOTAL PERMEABLE SPACE	248.04 m <sup>2</sup>	51.27%
SITE COVER	235.77 m <sup>2</sup>	48.73%
TOTAL HARD COVER	235.77 m <sup>2</sup>	48.73%
SITE AREA	483.81 m <sup>2</sup>	100.00%

**SITE SCRAPE NOTE**  
 SCRAPE SITE TO REMOVE ALL SURFACE VEGETATION & PROVIDE LEVEL BUILDING PLATFORM.  
 NOTE: 45° BATTER ANGLE

**STORMWATER LAYOUT**  
 STORMWATER DRAIN LAYOUT IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

- DRAINAGE NOTES:**
- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS3500 NATIONAL PLUMBING DRAINAGE CODE.
  - BASE OF CUT GRADED TO SILT TRAP AT 1:100 MIN.
  - DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.
  - TEMPORARY DOWNPIPES CONNECTED TO THE STORM WATER SYSTEM TO BE INSTALLED AS SOON AS ROOF COVER IS COMPLETED.
  - STORMWATER DRAINS ARE INDICATIVE ONLY. DRAINER TO CONNECT TO LEGAL POINT OF DISCHARGE AT THEIR DISCRETION.
- GRADE SURFACE AWAY FROM HOUSE FOOTINGS (MINIMUM FALL 1:20).
  - GRATED INLET PIT CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.
  - PROVIDE AG DRAIN AT BASE OF CUT GRADED TO SILT PIT AT 1:100 MIN.
  - SILT PIT CONNECTED TO AG DRAIN & DIRECTED TO LEGAL POINT OF DISCHARGE VIA STORMWATER SYSTEM.

**TOWN PLANNING REQUIRED**

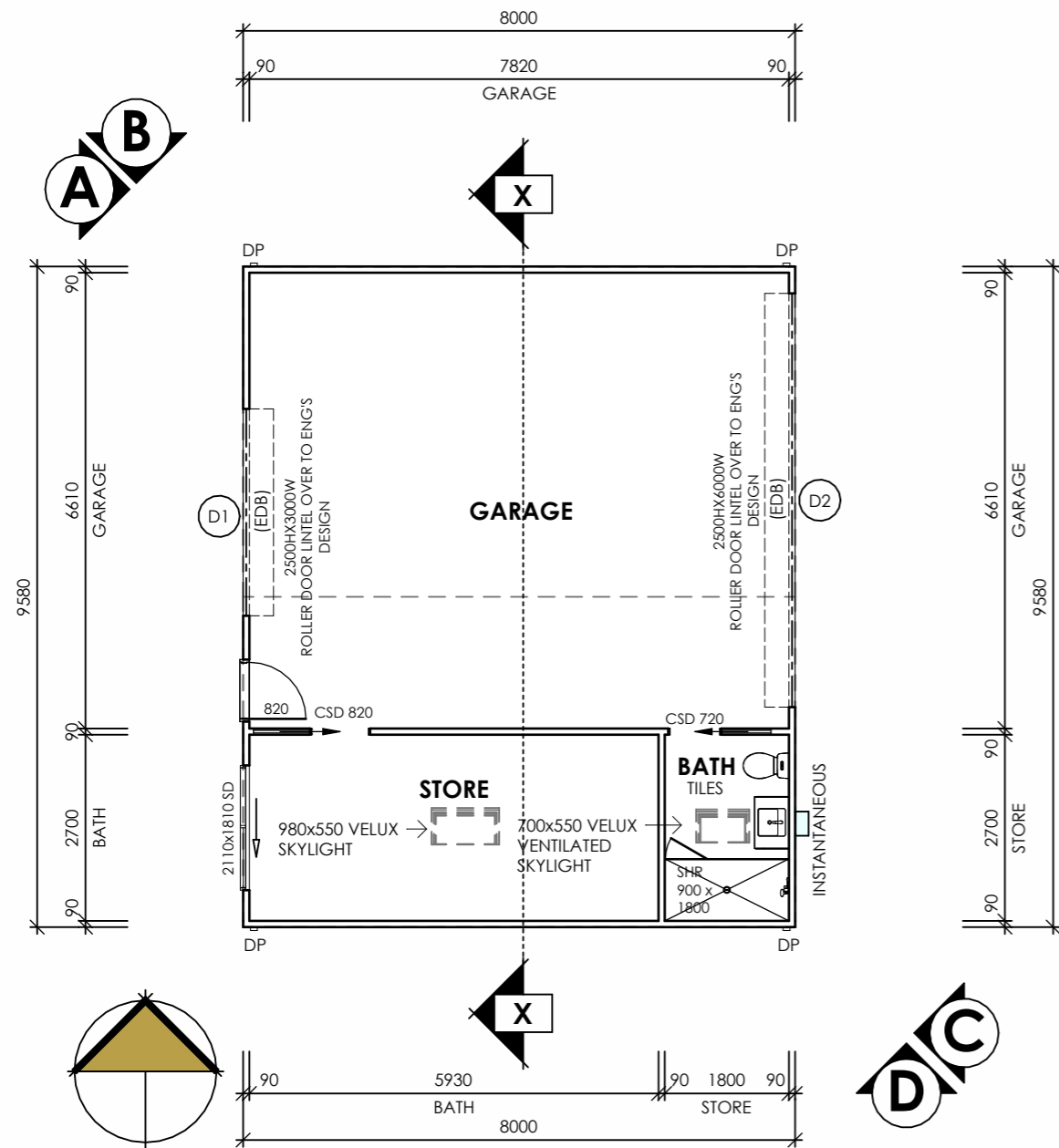


**NO.50 & SUBJECT SITE - ADAMSOM STREET**  
 P.O.S

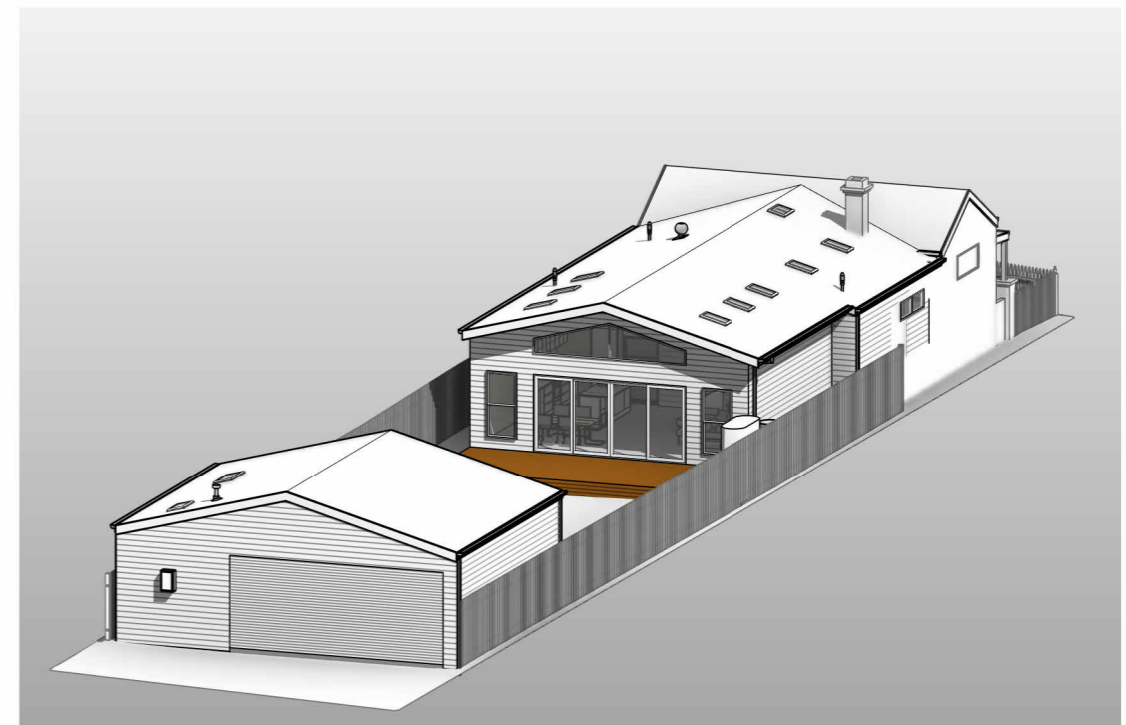
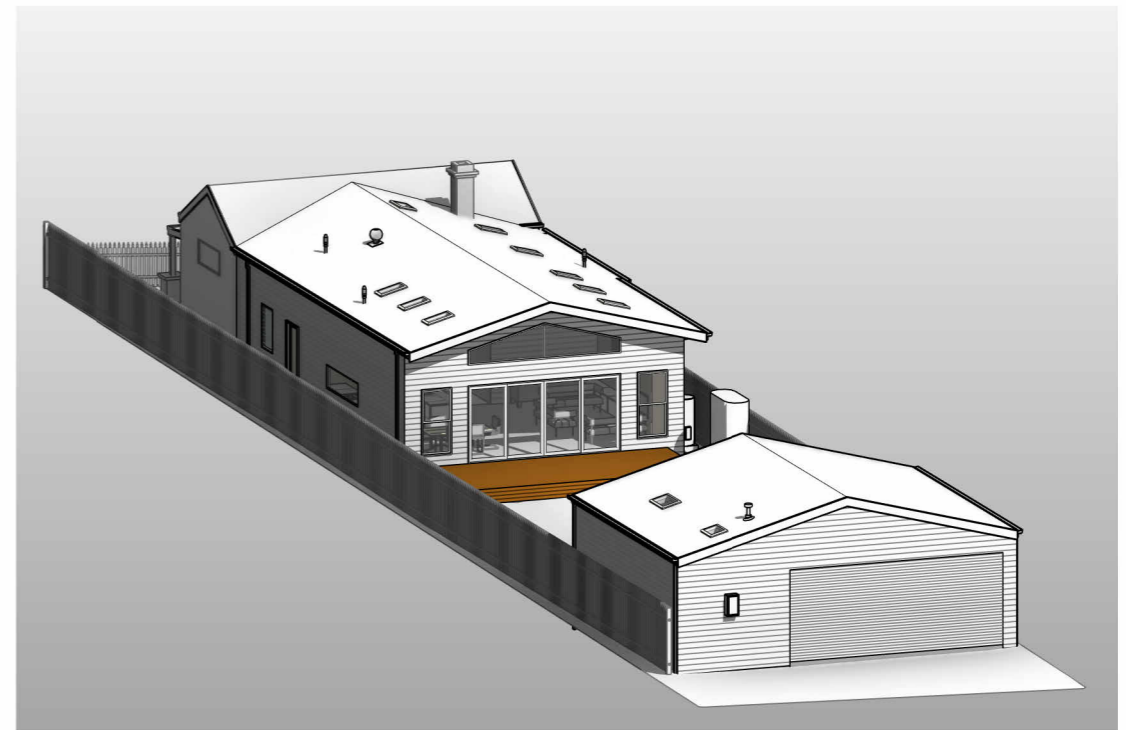


**NO.56 & SUBJECT SITE - ADAMSOM STREET**

- GENERAL NOTES:**
- WRITTEN DIMENSIONS ALWAYS TAKE PREFERENCE OVER SCALE
  - BUILDER MAY ADJUST GARAGE DOOR HEIGHT ON SITE AS REQUIRED
  - UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
    - \* EXTERNAL 240mm = 110 BRICK, 40 CAVITY, 90 STUD
    - \* INTERNAL 90mm STUD
  - ALL INTERNAL DOORS TO BE 2040H (2340H NOTED WITH ASTERISK - 820")
  - PROVIDE REMOVABLE HINGES TO HINGED WC & POWDER
  - ROOM DOORS WHERE INDICATED (LH)
  - PROVIDE WEATHER STRIPS TO FRONT ENTRY DOOR (MH)
  - 600x600 CEILING ACCESS MANHOLE LOCATION (MH)
  - SMOKE DETECTOR (INTERCONNECTED WITH BATTERY BACKUP)
  - ENGINEER DESIGNED BEAM - (EDB)
  - DOUBLE GLAZING - (DG)
  - BRICKWORK ARTICULATION JOINT
  - EXTERNAL PLUMBING POINTS TO PLUMBER'S DISCRETION
  - SAFETY GLASS WHERE WINDOW IS WITHIN 2m OF SHR/BATH BASE
  - BIB TAP RECYCLED TAP
  - GAS METER - 1m CLEARANCE TO OPENINGS & IGNITION SOURCES
  - HWS WATER SERVICE TO BE 500mm CLEAR OF BLDG OPENINGS



**GARAGE FLOOR PLAN**  
1 : 100



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**HARGREAVES**  
DESIGN GROUP

proposed: **GARAGE**

for: **NICK FOGARTY**  
drawing: **PROPOSED FLOOR PLAN**

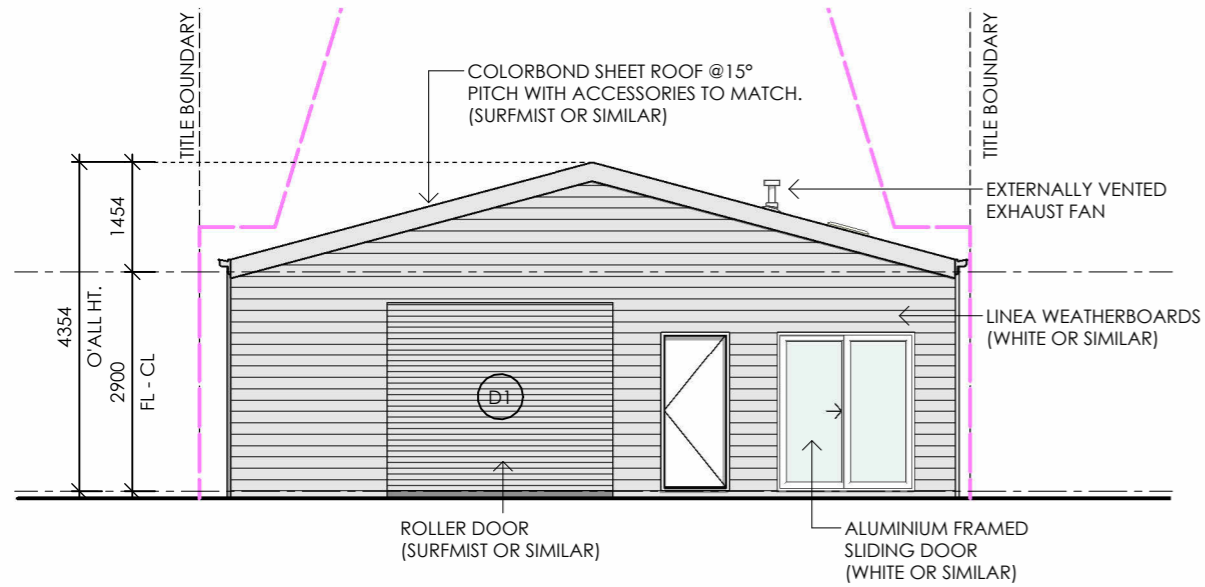
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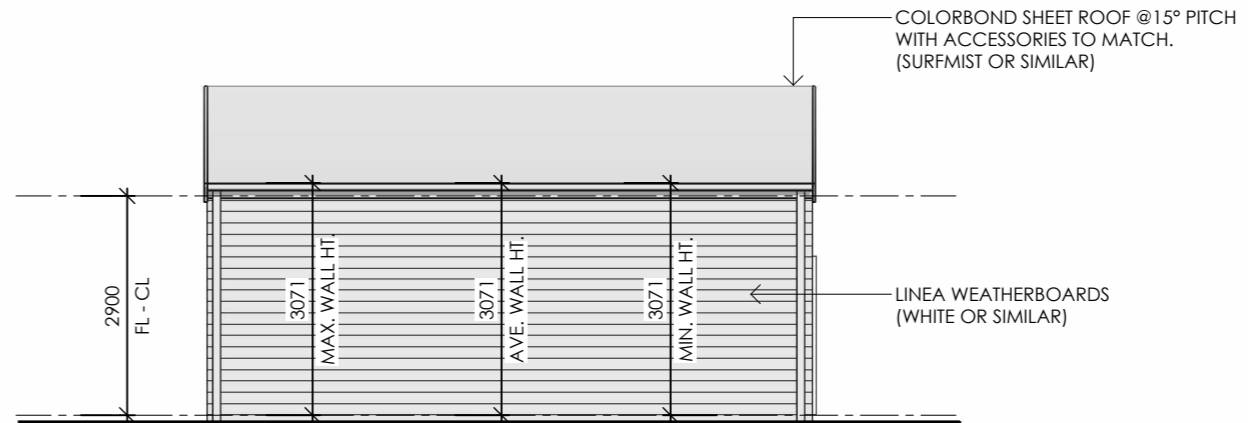
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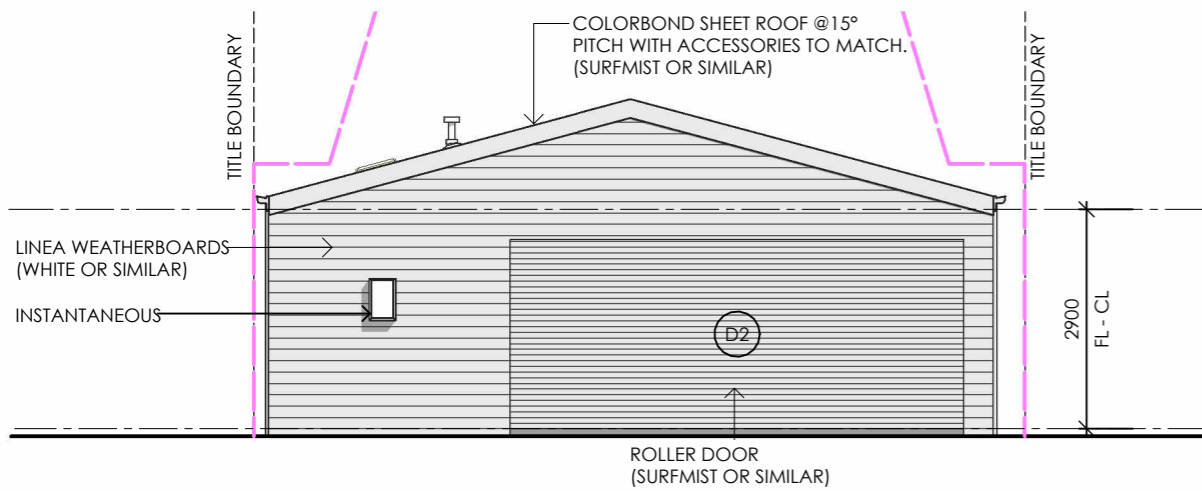
# MATERIALS & COLOUR SCHEDULE



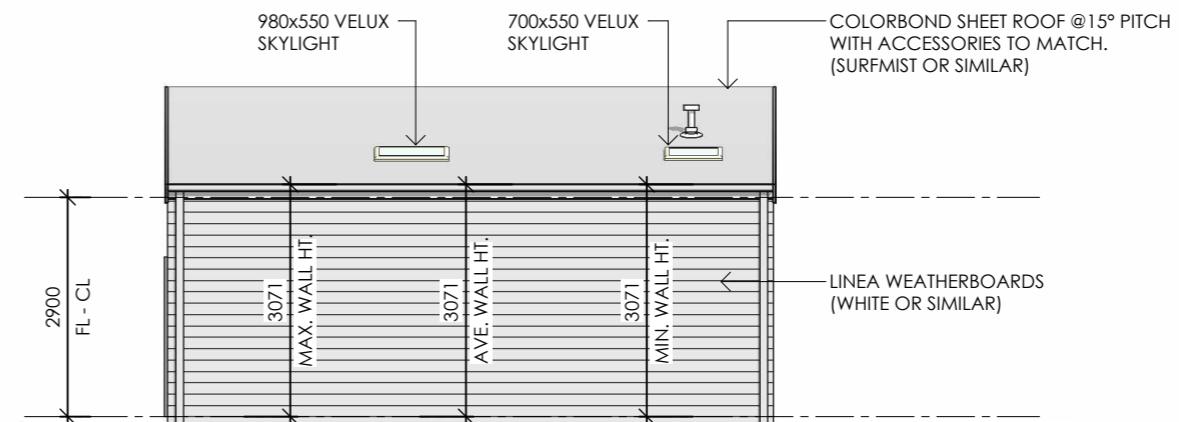
**GARAGE ELEVATION A (WEST)**



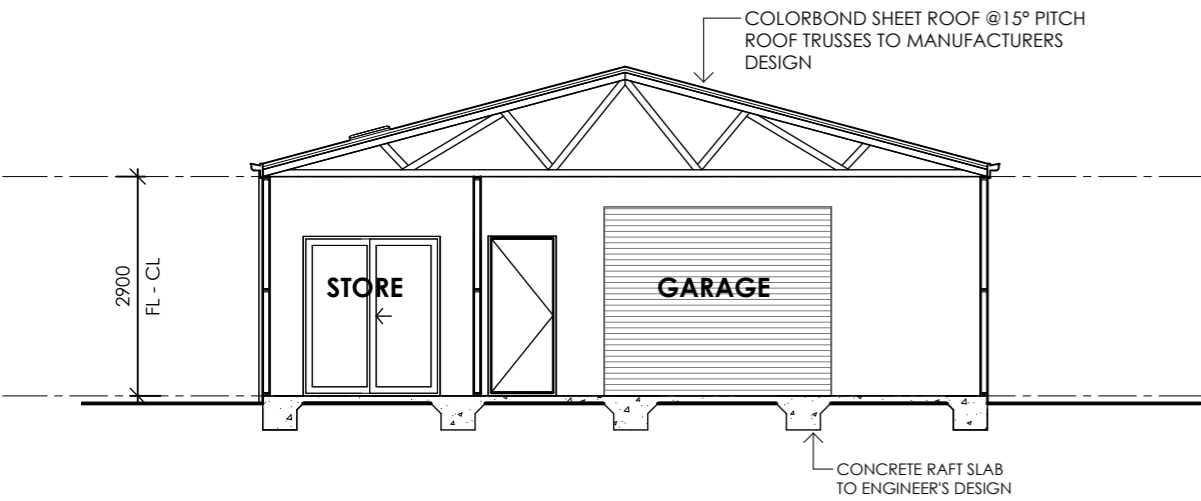
**GARAGE ELEVATION B (NORTH)**



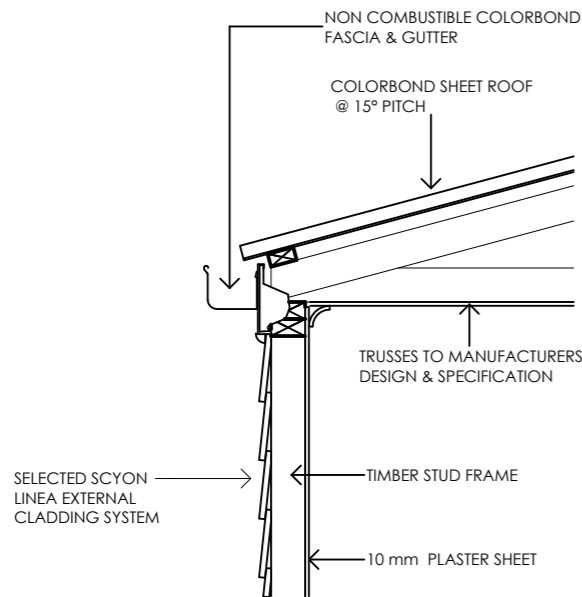
**GARAGE ELEVATION C (EAST) - ADAMSOM STREET**



**GARAGE ELEVATION D (SOUTH)**



**SECTION X-X**  
1 : 100

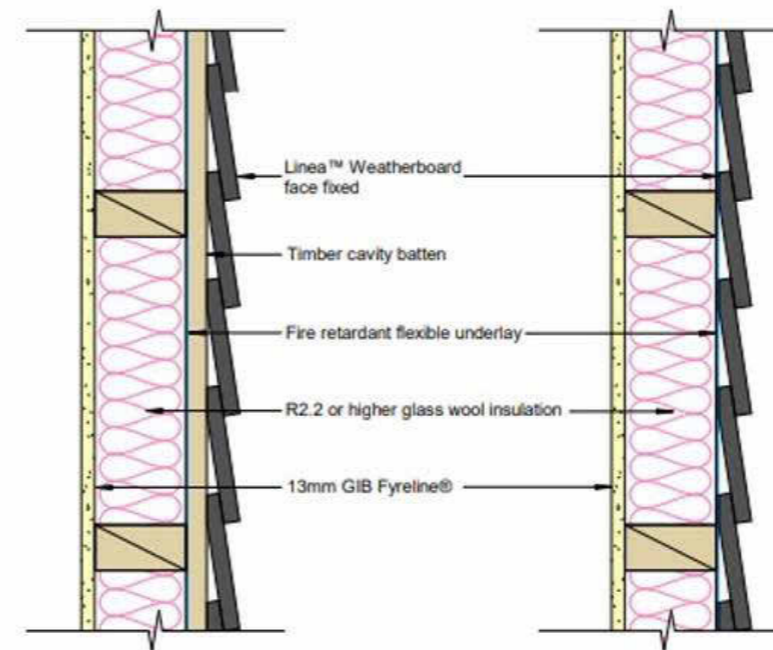


**FACIA & GUTTER DETAIL**

SCALE 1:20  
NOTE: EAVE LINING WITHIN 900mm OF BOUNDARY TO BE NON-COMBUSTIBLE

JHETGL60	Fire Resistance	60/60/60	STC	46	Under 10m
<b>Cladding</b>	Linea™ Weatherboard		<b>Lining</b>	13mm GIB Fyrelite®	
<b>Framing</b>	Timber framing to be in accordance with NZS 3604 or SED complying with AS/NZS 1170 and NZS 3603. Framing size 90 x 45mm minimum. Studs at 600mm centres and nogs at 800mm centres maximum		<b>Insulation</b>	Glass wool insulation 90mm thick, R2.2 or higher.	
<b>Cavity Batten</b>	Timber cavity batten nominal 20mm		<b>Underlay</b>	A flexible underlay that complies with Table 23 of E2/AS1 and has a 'flammability index' not exceeding 5 can be used	
<b>Cladding Fixing</b>	<b>Direct Fix:</b> Face fixed with 60 x 2.87mm jolt head nails to studs <b>Cavity Fix:</b> Face fixed with 75 x 3.15mm jolt head nails to studs		<b>Lining Fixing</b>	Fix GIB Fyrelite® with 41mm x 6g GIB® Grabber® High Thread Drywall Screws 300mm centre around the sheet perimeter and intermediate studs Fixing to be 12mm from bound sheet edges and 18mm from sheet ends	

For further information refer to Linea™ Weatherboard cavity fix or direct fix technical specifications.



**TIMBER FRAMING SCHEDULE** RLW : 6000  
SINGLE STOREY OR UPPER STOREY LOADBEARING WALLS  
COLORBOND SHEET ROOF - TRUSSES @ 600 CTS

MEMBER	SIZE	G	SPAN	CTRS
<b>CONCRETE RAFT SLAB FLOOR</b>				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10	450	
Jamb studs 1	90x45	MGP10	1300	
Jamb studs 2	2/90x45	MGP10	3100	
Wall bracing	IN ACCORDANCE WITH AS 1684-2010			
Noggings	70x35	MGP10		1350
Lintel 1	170x35	LVL15	2050	
Lintel 2	200x35	LVL15	2450	
Lintel 3	2/240x35	LVL15	3650	
Porch Beam	AS PER ENG.	-	-	
LINTELS IN LOWER STOREY WALLS OF A TWO STOREY TO ENGINEERS DESIGN				
<b>TRUSSED ROOF</b>				
TIMBER FABRICATED AS PER MANUF. SPECIFICATIONS @ MAX 600 CTS				

\* Sizes may be built up using vertical nail lamination

**NON LOADBEARING WALLS**

MEMBER	SIZE	G	SPAN	CTRS
<b>CONCRETE RAFT SLAB FLOOR</b>				
Btm. plate	90x35	MGP10		
Top plate	2/90x35	MGP10		
Studs	90x35	MGP10	600	
Jamb studs 1	90x45	MGP10	1300	



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proposed: **GARAGE**

for: **NICK FOGARTY**

address: **54 WOODS STREET,  
BEACONSFIELD 3807**

drawing: **SECTION & DETAILS**

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sheet: **6** of **6**

issue: **F**

date: **05/12/2024**

job no.: **2003608**