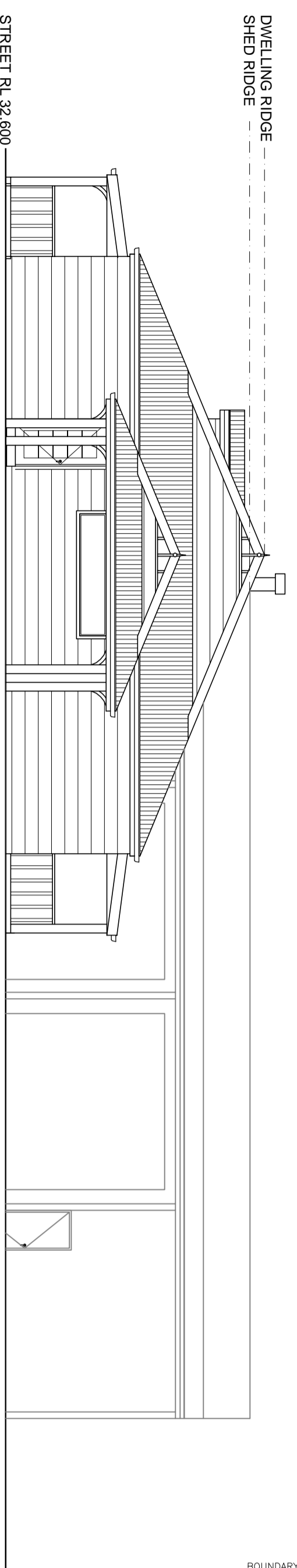


PROPOSED SINGLE DWELLING & SHED

LOT 51 COWPER STREET STROUD NSW 2425

- S 01: COVER PAGE / SITE PLAN SITE ANALYSIS
- S 02: FLOOR PLAN / ELECTRICAL PLAN / ROOF STORMWATER PLAN
- S 03: BEAR & JOIST PLAN / SECTION A-A / ELEVATIONS
- S 04: SHED DETAILS



STREET VIEW MILLS CREEK ROAD

BASIX REQUIREMENTS

| BASIX Assessment 2021 - Residential - Home to Home | |
|--|-------------|
| Water Use | Pass |
| Energy Use | Pass |
| Thermal Performance | Pass |
| Greenhouse Gas Emissions | Pass |
| Other | Pass |
| Overall Rating | Pass |

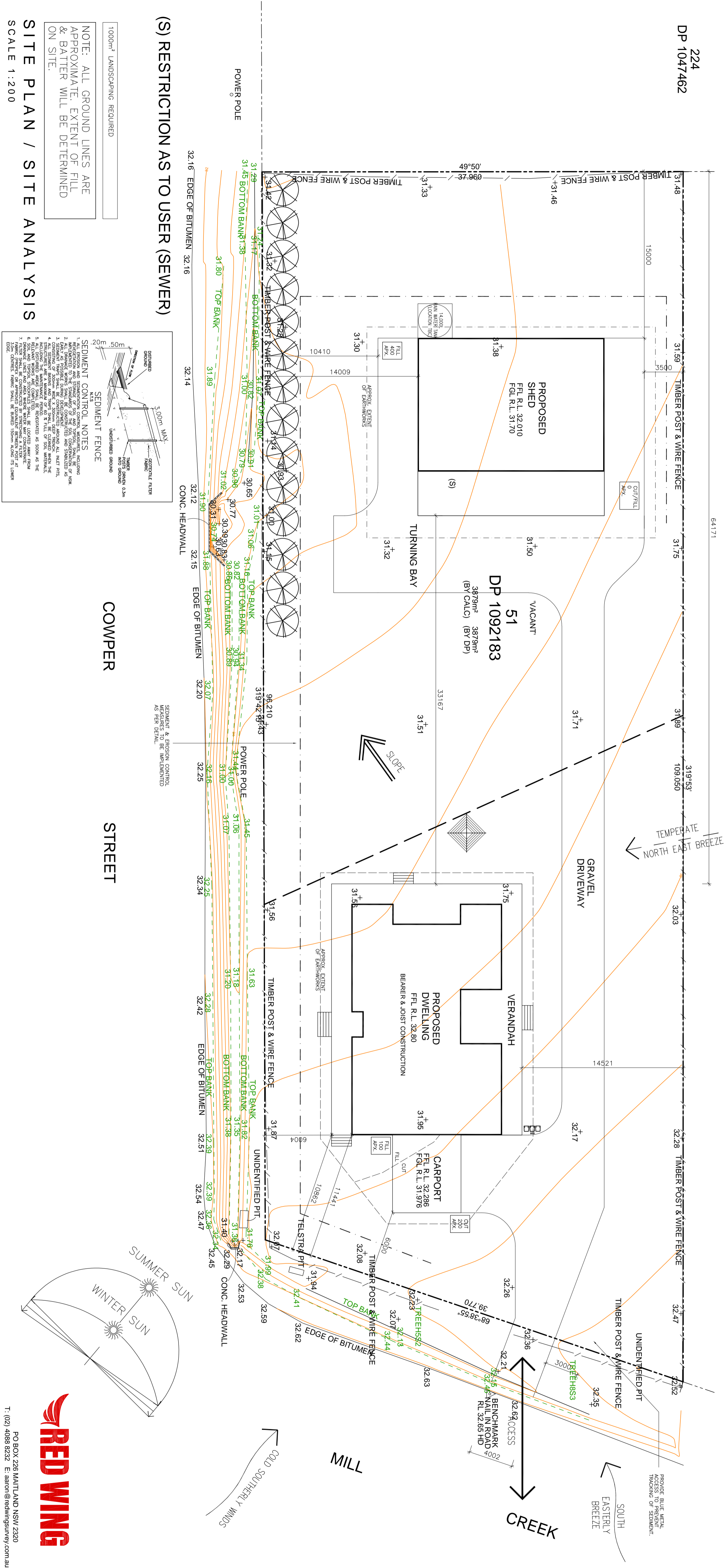
| SUMMARY OF BASIX COMMITMENTS | |
|------------------------------|-------------|
| Water Use | Pass |
| Energy Use | Pass |
| Thermal Performance | Pass |
| Greenhouse Gas Emissions | Pass |
| Other | Pass |
| Overall Rating | Pass |

WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



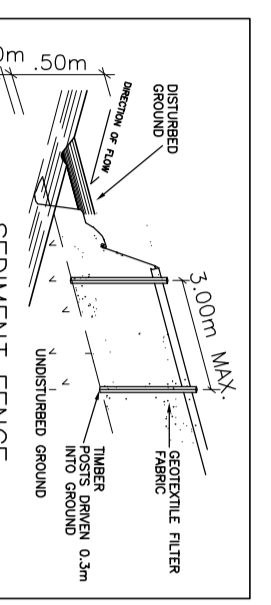
NOTES

| NO. | DATE | BY | DESCRIPTION |
|-----|----------|----|----------------------------|
| 01 | 07.12.22 | AP | COLOR CHANGE |
| 02 | 06.07.22 | HW | BASIX AMENDMENTS |
| 03 | 22.06.22 | HW | RELOCATE DRAINAGE CROSSING |
| 04 | 22.06.22 | HW | ORIGINAL ISSUE |



COWPER STREET

(S) RESTRICTION AS TO USER (SEWER)



SEDIMENT CONTROL NOTES
 1. SEDIMENT CONTROL FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE STREET OR WATERWAYS.
 2. SEDIMENT CONTROL FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE STREET OR WATERWAYS.
 3. SEDIMENT CONTROL FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE STREET OR WATERWAYS.
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 9. SEDIMENT CONTROL FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE STREET OR WATERWAYS.
 10. SEDIMENT CONTROL FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT FROM ENTERING THE STREET OR WATERWAYS.

NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.
 1000mm² LANDSCAPING REQUIRED
 SITE PLAN / SITE ANALYSIS
 SCALE 1:200



PO BOX 228 MAITLAND NSW 2320
 T: (02) 4088 8232 E: darwin@redwingdesign.com.au

| DESIGN | JOB NO. |
|--------|---------|
| CUSTOM | 22/060 |

DESIGNED BY
Urbanliving

PROJECT
DWELLING AND SHED

CLIENT
KWIST

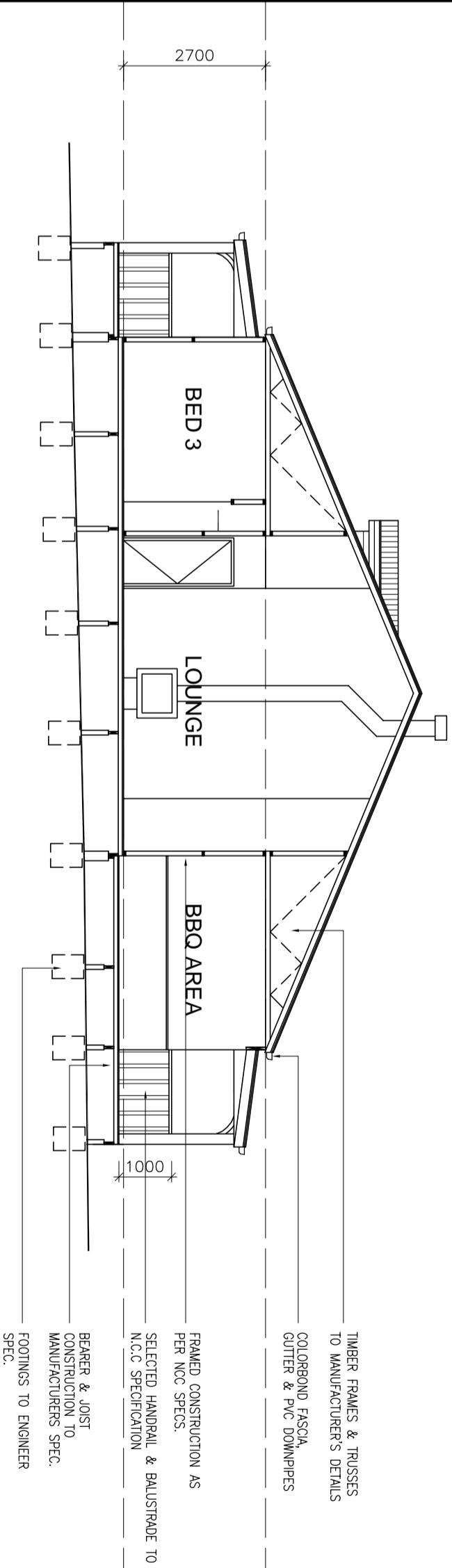
AMENDMENTS
 SITE ADDRESS
**LOT 51 - DP 1092183
 20 COWPER STREET
 STROUD NSW 2425**

| AS NOTED | REV |
|----------|-----|
| SHEET | 4 |

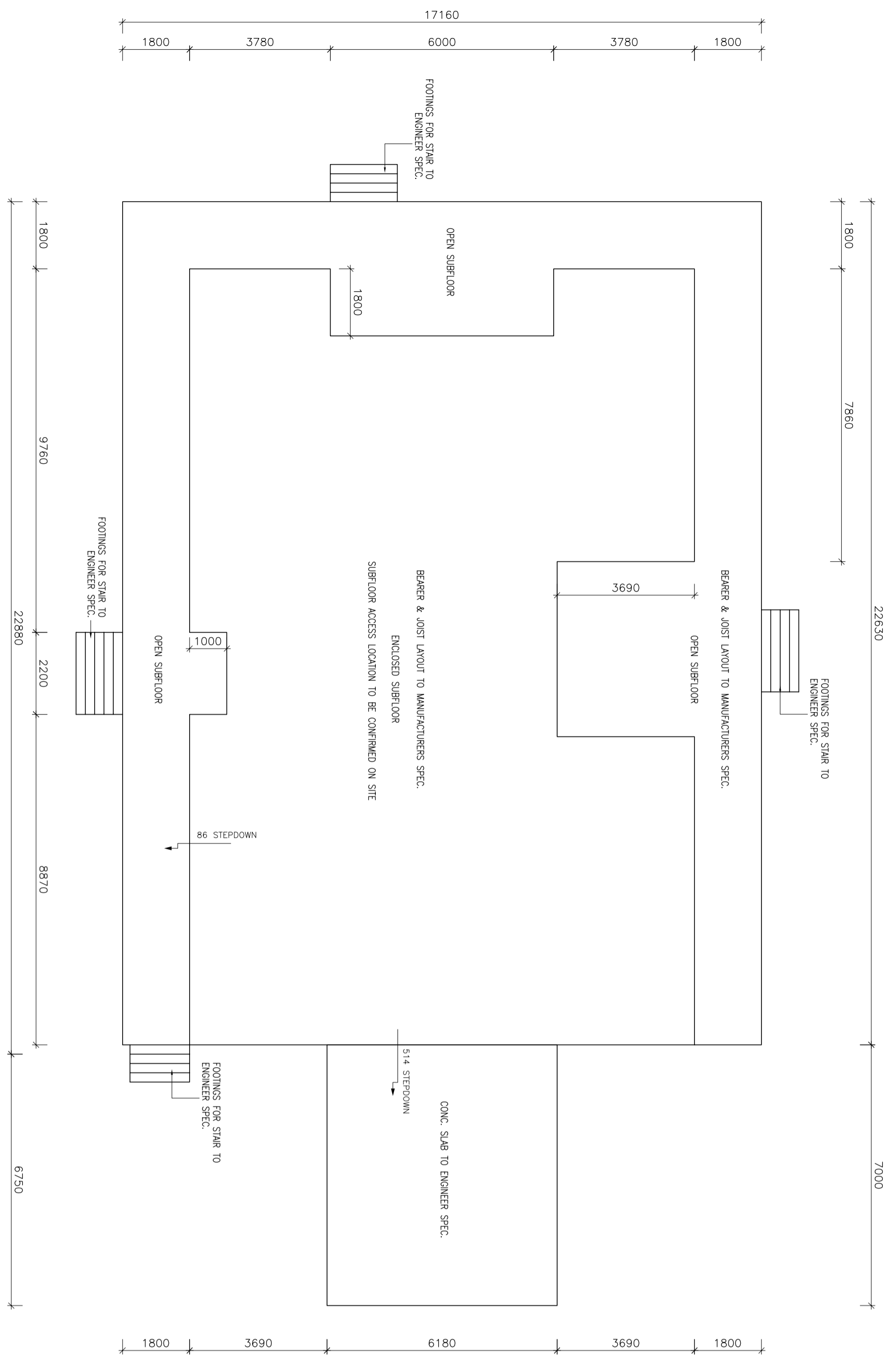
RESEARCH, IDENTIFICATION RESOURCE TO EXTERNAL MAIL/ LINK REFER TO TASK TABLE FOR CONSTRUCTION REQUIREMENTS



• WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

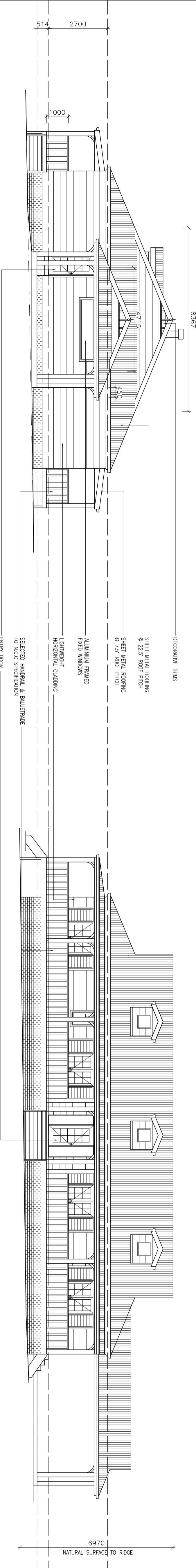


RAFTER FRAMES & TRUSSES TO MANUFACTURER'S DETAILS
 COLOURBOND FACIA
 GUTTER & PVC DOWNPIPES
 FRAMED CONSTRUCTION AS PER NCC SPECS.
 SELECTED MATERIAL & FINISHES TO NCC SPECIFICATION
 BEARER & JOIST CONSTRUCTION TO MANUFACTURER'S SPEC. FINISHES TO ENGINEER SPEC.



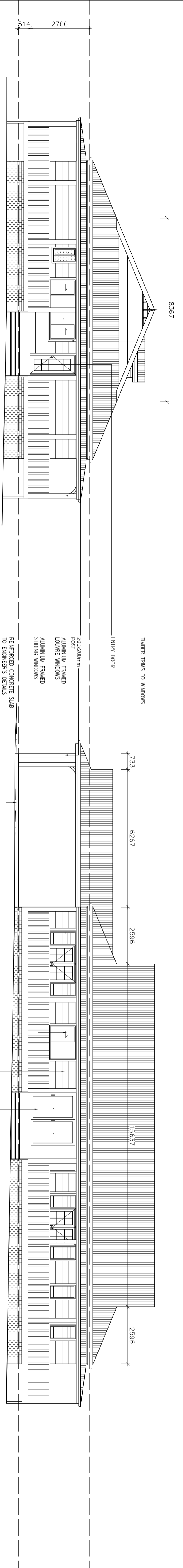
BEARER & JOIST PLAN
 SCALE 1:100

SECTION
 SCALE 1:100



SOUTH EAST ELEVATION

SOUTH WEST ELEVATION



NORTH WEST ELEVATION
 SCALE 1:100

NORTH EAST ELEVATION

| DATE | REV | DESCRIPTION |
|----------|-----|----------------------------|
| 22.08.22 | 1 | ORIGINAL ISSUE |
| 06.07.22 | 2 | RELOCATE DRAINAGE CROSSING |
| 06.12.22 | 3 | BASEX AMENDMENTS |
| 07.12.22 | 4 | COUNCIL BR1 - SHED CHANGE |

AMENDMENTS

SITE ADDRESS
 LOT 51 - DP 1092183
 20 COWPER STREET
 STROUD NSW 2425

CLIENT
 KWIST

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 DWELLING AND SHED



PO Box 648 Midland NSW 2203 - JL: 061 100 089 - E: info@urbanliving.com.au
 ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

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| DESIGN | CUSTOM | JOB No. |
|----------|--------|---------|
| AS NOTED | REV | 22/060 |
| SHEET | REV | |
| S03 | 4 | |

