

BACKYARD PERSPECTIVE

ASHMOLE - CARMODY RESIDENCE

CLASS 1A PRIMARY DWELLING - HOUSE EXTENSION + RENOVATION

REAL PROPERTY DESCRIPTION:
- PROPERTY ADDRESS: 10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020
- LOT PLAN: LOT 8 RP86437
- SITE AREA: 607 sq.m.
- TOTAL SITE COVER: 39.3%

EXISTING HOME AREAS

GARAGE:	36.1 m ²
PORCH:	26.2m ²
FIRST LEVEL:	64.5m ²
TOTAL:	126.8m²

MEASURED TO OUTSIDE FACE OF WALL

NEW HOME AREAS

GARAGE:	63.6m ²
DECK / COVERED DECK:	58.6m ²
PORCH:	27.9m ²
GROUND LEVEL:	23.1m ²
FIRST LEVEL:	152.4m ²
TOTAL:	325.6m²

MEASURED TO OUTSIDE FACE OF WALL

DRAWING REGISTER

NO.	DRAWING NAME	ISSUE	LATEST REVISION DESCRIPTION	DATE	ISSUED
WD-01	COVER PAGE				
WD-02	CONSTRUCTION LEGEND				
WD-03	SITE PLAN				
WD-04	EXISTING / DEMO POST SETOUT				
WD-05	EXISTING / DEMO FIRST FLOOR				
WD-06	EXISTING / DEMO ROOF PLAN				
WD-07	NEW POST / SLAB SETOUT PLAN				
WD-08	NEW GROUND FLOOR				
WD-09	NEW FIRST FLOOR				
WD-10	NEW ROOF PLAN				
WD-11	ELEVATIONS				
WD-12	ELECTRICAL PLAN				

PRELIMINARY
NOT FOR CONSTRUCTION

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PROJECT ADDRESS
10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
COVER PAGE

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
As indicated @ A2

DATE
2022-08-09

PROJECT NO.
010116

DRAWING NO.
WD-01 rev

STANDARD SPECIFICATIONS SHEET

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT. CHECK AGAINST BUILDER SPECIFICATIONS AND ENGINEERING DRAWINGS &

REVISION		
No.	DATE	DESCRIPTION

GENERAL SYMBOLS LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
●HC	EXTERNAL HOSECOCK	FW	FLOOR WASTE
●GAS	GAS CONNECTION	SK	KITCHEN SINK
●HW	HOT WATER CONNECTION	VB	VANITY BASIN
●CW	COLD WATER CONNECTION	WC	WC WASTE
HC	HOUSE CONNECTION	LT	LAUNDRY TUB
IO	INSPECTION OPENING	STK	PLUMBING STACK TO FLOOR ABOVE / BELOW
ORG	OVERFLOW RELIEF GULLY	SH	SHOWER
YG	YARD GULLY	BA	BATH
DP	DOWNPIPE LOCATION		

1.0 GENERAL

- ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK
- ALL MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND UNLESS OTHERWISE STATED ON THE PLANS SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KIND AND SUITABLE FOR THEIR INTENDED PURPOSES.
- ALL WORKMANSHIP SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORM PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT".
- DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS
- ENSURE THAT SUBSTRATES ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE SUBSTRATES IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE SUBSTRATES ON WHICH FINISHES ARE APPLIED.
- CONTRACTOR IS TO SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF THE RESPECTIVE WORKS
- CONTRACTOR IS RESPONSIBLE FOR THE PROGRESSIVE CLEAN UP DURING AND AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR BUILDER. PROVIDE SUITABLE CLEAN FILL AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGLE OF 45 DEGREES DOWN FROM THE BOTTOM EDGE OF THE FOOTING.
- ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.0 CONCRETE

- ALL CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO STRUCTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS.
- THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- PROVIDE A PROPRIETARY VAPOUR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.

4.0 TERMITE PROTECTION

- PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS.
- BUILDER SHALL PROVIDE "BIFLEX" OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARD CODES.

5.0 BRICKWORK

- BRICK WORK SHALL COMPLY WITH : AS A123 MASONRY CODE & AS 3700 MASONRY CODE.
- BRICK GAUGE 7 STANDARD COURSES = 600 m m. MORTAR FOR MASONRY CONSTRUCTION
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES, WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm.
- VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE FILLED AT COMPLETION WITH A CONTINUOUS FILLER STRIP.
- CAVITIES TO BE KEPT CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHING AND CAVITY FILL KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHING.
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK.
- SET OUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC TO BE TRUE, PLUMB AND IN LINE WITH PERPENDS TRUE LINE. SET OUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MERGIN OF 12mm OR GREATER THAN 50mm
- PROVIDE 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.

BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:

- WHEREVER SHOWN ON DRAWINGS.
- CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED).
- OVER LINTELS TO EXPOSED OPENINGS - EXTEND THE FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.
- OVER ROOF - EXTEND THE FULL WIDTH OF EXTERNAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT TO INNER LEAF 1c ABOVE.
- DOOR/WINDOW STILES - EXTEND THE FULL HEIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.
- STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY: VERTICAL FLASHING CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300m WIDE.
- FOR HORIZONTAL STRUCTURES/SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.
- AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAF.

- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF OPENING EXTENDING ALUMINIUM OF 600mm BEYOND THE OPENING.
- UNLESS OTHERWISE SHOWN ON DRAWINGS EXTERNAL FACE WORK: 230x110x76mm WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS.

6.0 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

7.0 CARPENTRY WORK

- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.

- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.

- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

8.0 ROOFING

- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES.
- GUTTER, FASCIA, DOWNPIPES, FLASHING SHALL BE IN LONGEST POSSIBLE LENGTHS.
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHING, FLUMES THROUGH ROOF.
- FIX GUTTERS & FLASHING TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH.
- SEAL BETWEEN OVERLAPPING FLASHING; FLASHING TURNED DOWN OVER BASE OR APRON FLASHING; FLASHING OVER METAL ROOF; FLASHING OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

9.0 WINDOWS/GLAZING

- UNLESS OTHERWISE STATED ON THE DRAWINGS WINDOW FRAMES SHALL BE ALUMINIUM RESIDENTIAL OR COMMERCIAL IN SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER.
- ALLOW FOR FLYSCREENS TO BE FITTED TO ALL WINDOWS.
- ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS A COMPLETE UNIT.
- WHERE RELEVANT WINDOWS ARE TO COMPLY WITH THE SPECIFICATIONS PROVIDED BY THE THERMAL PERFORMANCE ASSESSOR.
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS.
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURERS SPECIFICATIONS

10.0 JOINERY

- ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

11.0 CEILINGS

- CEILINGS SHALL BE RECESSED EDGE. MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE.
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS SHOWN ON THE DRAWINGS.

12.0 PLASTERING

- INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN & FRIDGE RECESSES ETC SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK.
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH (FOR PAINTING).
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

13.0 FLOORING FINISHES

- CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC, TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE.
- PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, ANGLE TRIMS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS AND FINISHES SCHEDULE.
- PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS, DIMINISHING BOARDS ETC TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED AND POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS AND FINISHES SCHEDULE.

14.0 SIGNAGE

- WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.

15.0 PAVING

- GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD.
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- CUT, FILL & COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- PROVIDE BRICK EDGE RETAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK
- TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.

- PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- UNLESS NOTED PAVING PATTERN IS TO CLIENTS DETAIL.
- BRICK PAVERS SHALL BE:
- TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
- PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

16.0 ENERGY EFFICIENCY

- INSULATION MUST FORM A CONTINUOUS BARRIER WITH CEILINGS, WALLS AND FLOORS BY ABUTTING OR OVERLAPPING ADJOINING INSULATION.
- INSULATION MUST NOT ADVERSELY AFFECT DOMESTIC SERVICES OR FITTINGS.
- REFLECTIVE INSULATION IS TO BE PROVIDED WITH A MINIMUM 25mm AIRSPACE AND IS FITTED CLOSE TO OPENINGS SUCH AS WINDOWS/DOORS ETC. AND IS PROVIDED WITH ADEQUATE SUPPORT.
- BULK INSULATION MUST MAINTAIN ITS POSITION, THICKNESS. ENSURE THAT CEILING INSULATION OVERLAPS UN-INSULATED WALLS.
- CONSTRUCTION JOINTS, SUCH AS BETWEEN WALL AND FLOOR, ARE TO BE TIGHT FITTING OR SEALED USING CAULKING OR JOINERY ITEMS SUCH AS SKIRTING OR CORNICES.
- EXHAUST FANS ARE TO BE FITTED WITH A SELF CLOSING DAMPER.
- ROOF LIGHTS MUST BE SEALED WITH WEATHERPROOF SEALS.
- HEATED WATER PIPING MUST BE THERMALLY INSULATED AND PROTECTED AGAINST THE WEATHER AND SUN.
- INTERNAL HEATED WATER PIPING TO HAVE AN R VALUE OF 0.2
- ENCLOSED ROOF SPACE TO HAVE AN R VALUE OF R3.5

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BUILDING REGULATIONS
CURRENT EDITIONS OF AUSTRALIAN STANDARDS & MANUFACTURERS
SPECIFICATIONS & REGULATIONS SHALL FOR MATERIALS USED
DIMENSIONS ARE SUBJECT TO SITE MEASUREMENT & VERIFICATION.
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* PROJECT ADDRESS
10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

* DRAWING TITLE
CONSTRUCTION LEGEND

* CLIENT **TIM CARMODY**

* DRAWN **SV**

* SCALE **1 : 100 @ A2**

* DATE **2022-08-09**

* PROJECT NO. **010116**

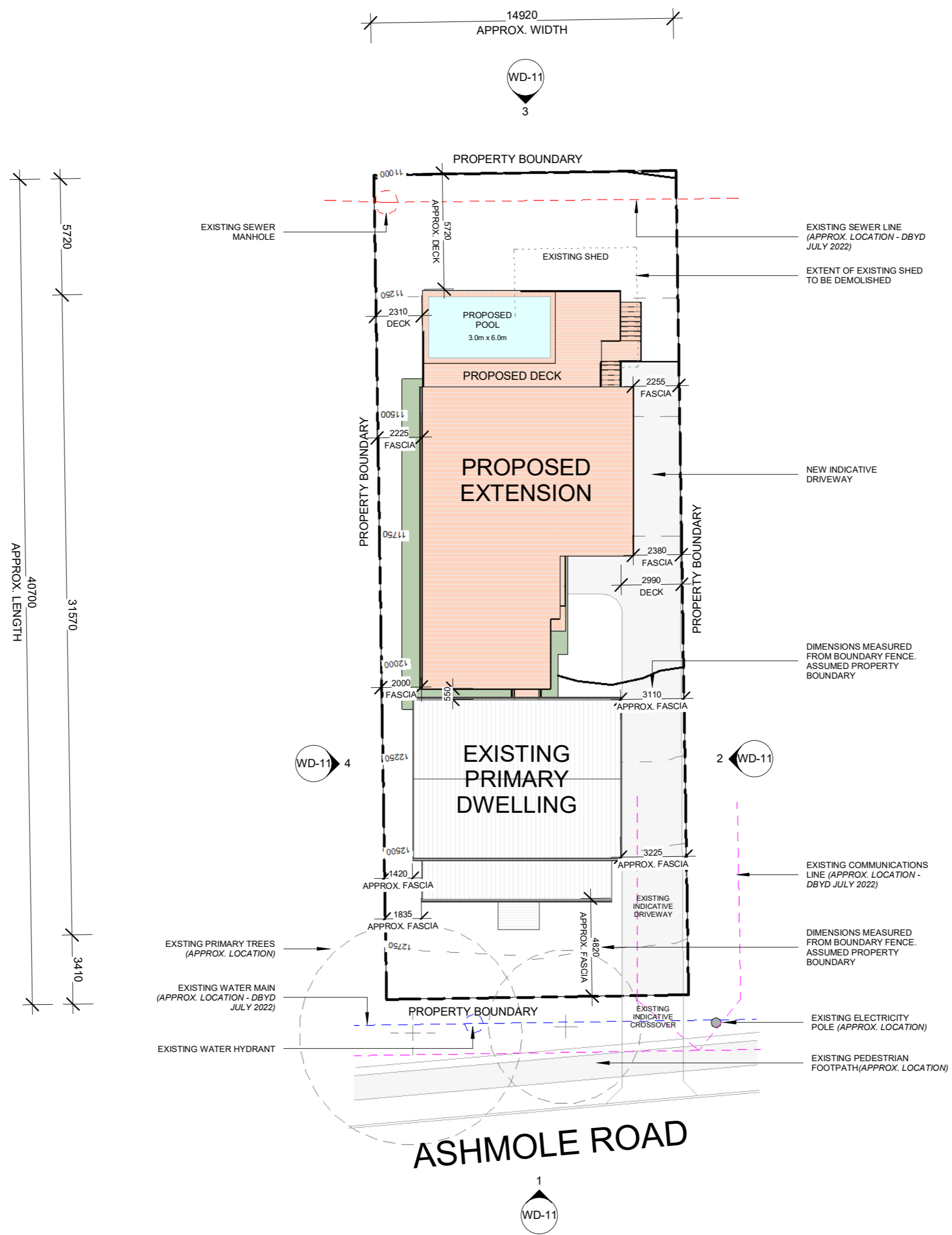
* DRAWING NO. **WD-02** rev

SITE NOTES:

- UNLESS A SURVEY PLAN WAS PROVIDED ASSUME COUNCIL MAPPING WAS USED. DISCLAIMER: COUNCIL MAPPING MAY BE OFF AND WE WON'T TAKE RESPONSIBILITY FOR INCORRECT MAPPING. CLIENT TO PROVIDE SURVEY PLAN FOR BUILDER TO CHECK.
- CONFIRM ALL DIMENSIONS ON SITE TO EXISTING RESIDENCE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL BUILDING WORK TO BE CARRIED OUT IN ACCORDANCE WITH A.S.1684 AND THE B.C.A. AND ALL OTHER RELEVANT CODES AND STANDARDS.
- EXISTING PLUMBING AND ELECTRICAL WORKS TO BE REMOVED AND MADE GOOD AS NECESSARY.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH LANDSCAPING DETAIL PLANS FOR SPECIFIC PLANTING LOCATIONS.
- THE EXACT LOCATION OF UNDERGROUND AND ABOVEGROUND SERVICES SHALL BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN.
- THIS DRAWING SET TO BE READ IN CONJUNCTION WITH THE SPECIFICATION PROVIDED.
- BEWARE OF EXISTING SERVICES. CONFIRM LOCATIONS PRIOR TO EXCAVATION. TAKE EXTREME CARE.
- REFER ALL MAJOR WORKS TO RAMPS, WALKWAYS, DRIVEWAYS ETC (INCLUDING CARPARK WORKS, LEVELS & DATUMS) REFER TO CIVIL ENGINEERS DOCUMENTATION.
- ALL EFFLUENT & WASTE WATER TO BE CONNECTED TO COUNCIL SEWERAGE LINE AS PER COUNCIL & ESTATE REQUIREMENTS U.N.O.
- ALL ROOF RAINWATER TO BE DIRECTED TO PROPERTY BOUNDARY FOR DISTRIBUTION TO THE ROOF WATER HARVESTING SCHEME AS PER REQUIREMENTS.
- CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS ARE TO TAKE PRECEDENCE OVER THESE PLANS.

DEMOLITION NOTES:

- CAP OFF EXISTING PLUMBING AND ELECTRICAL WORKS AS NECESSARY BY CERTIFIED TRADESPERSON.
- MODIFIED BRICKWORK TO BE TOOTHED INTO EXISTING WHERE APPLICABLE AND CAVITY TO REMAIN CONTINUOUS AT ALL TIMES.
- EXISTING MATERIALS TO BE REUSED TO OWNERS DETAIL.
- MATERIALS REMOVED FROM SITE MUST BE DISPOSED OF AS PER COUNCIL REGULATIONS.
- INVESTIGATION SHOULD BE UNDERTAKEN BEFORE ALL WORKS THAT REQUIRES EXCAVATION.



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DRAWING TITLE
SITE PLAN

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
1 : 200 @ A2

DATE
2022-08-09

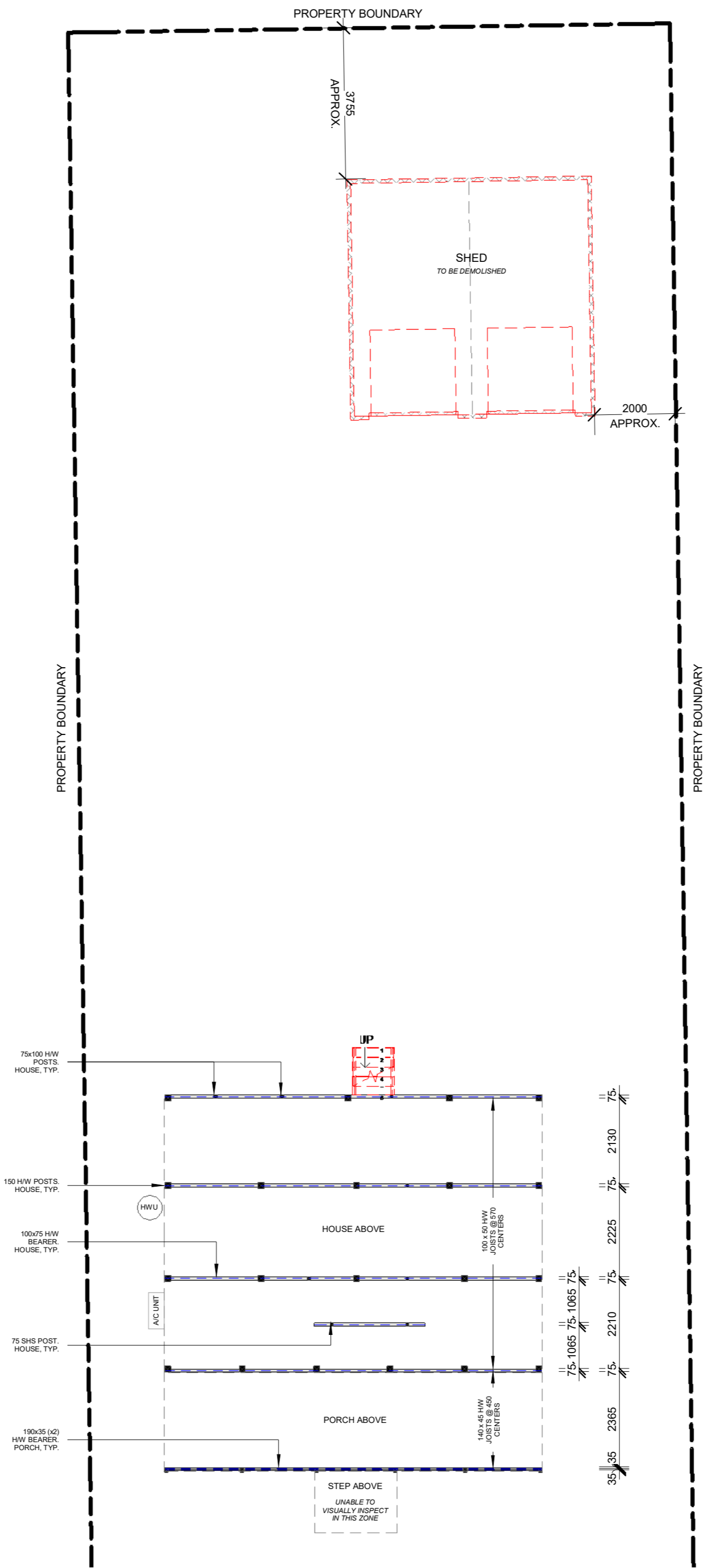
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010116

DRAWING NO.
WD-03 rev.

QBCC LICENCE: 15025395

NOTES:
 BUILDER TO VERIFY ALL DIMENSIONS
 PRIOR TO ORDERING ANY MATERIALS

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	DEMOLISHED WALL
	DEMOLISHED TIMBER FLOOR/SUBFLOOR
	DEMOLISHED 300 X 300 TILE
	DEMOLISHED 600 X 600 TILE
	DEMOLISHED TILE ROOF
	DEMOLISHED SHEET METAL ROOF



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DRAWING TITLE
EXISTING / DEMO POST SETOUT

CLIENT
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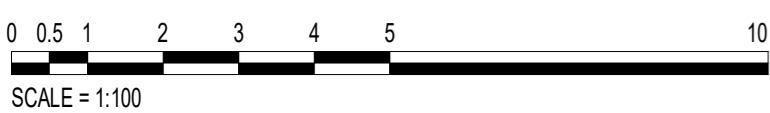
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DATE
 2022-08-09

PROJECT NO.
 010116

DRAWING NO.
 WD-04 rev.

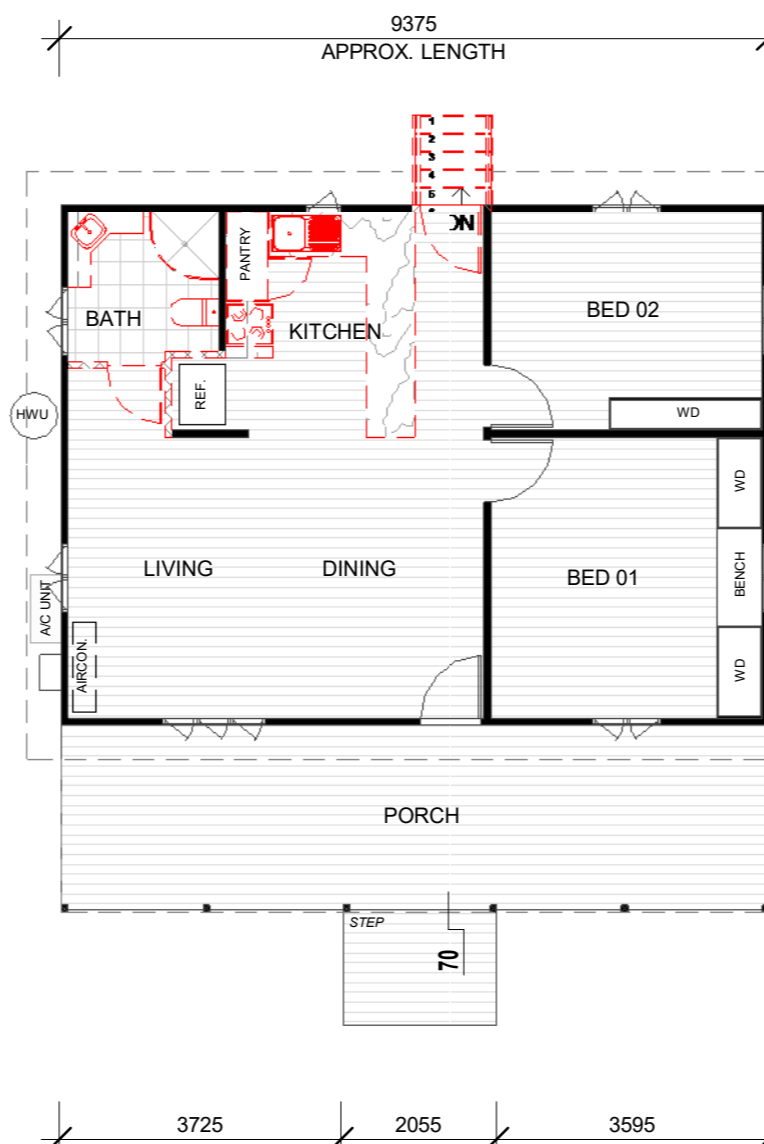
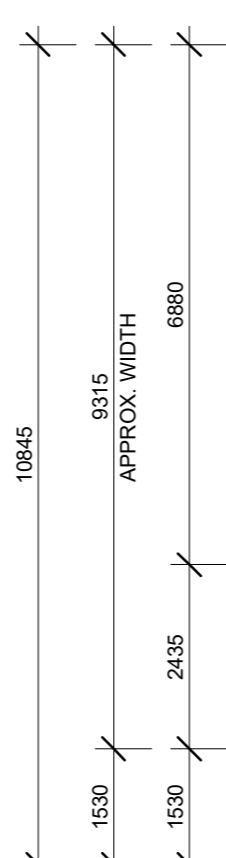
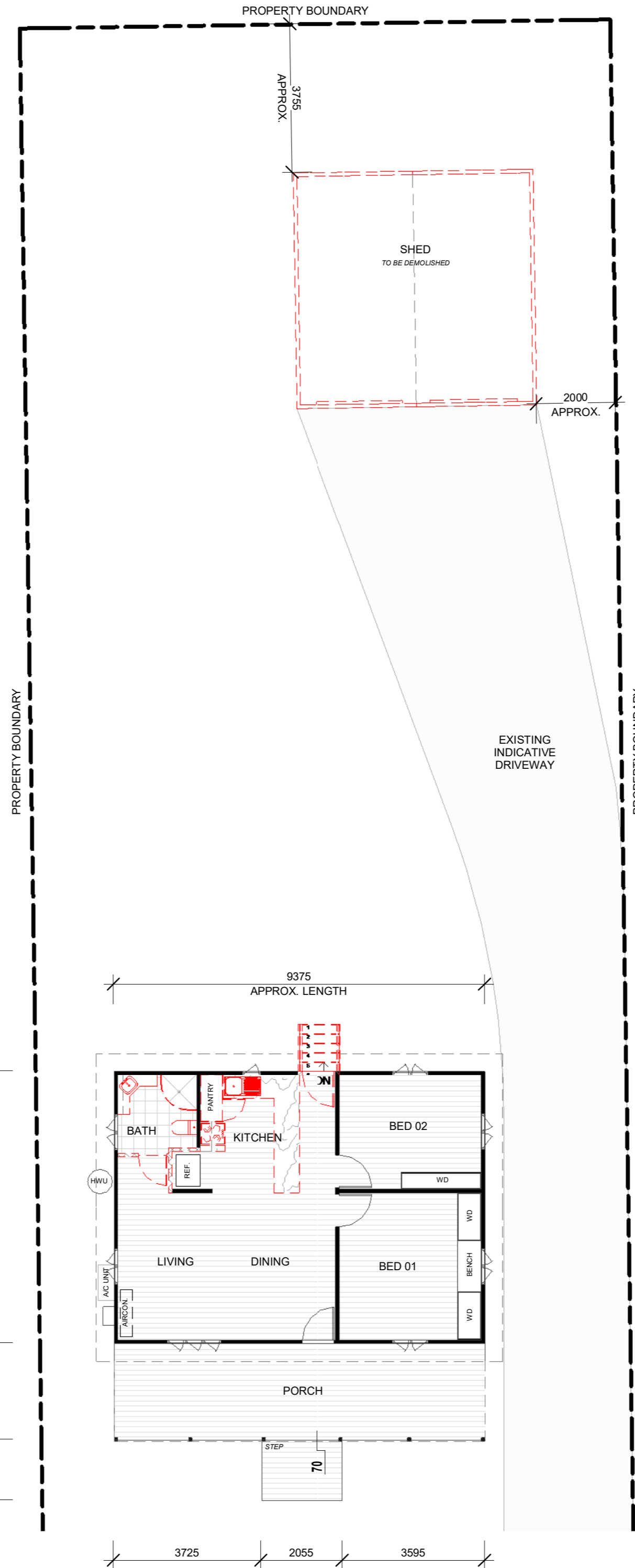
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EXISTING/DEMO POST SETOUT
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DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	DEMOLISHED WALL
	DEMOLISHED TIMBER FLOOR/SUBFLOOR
	DEMOLISHED 300 X 300 TILE
	DEMOLISHED 600 X 600 TILE
	DEMOLISHED TILE ROOF
	DEMOLISHED SHEET METAL ROOF



PRELIMINARY
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DRAWING TITLE
 EXISTING / DEMO FIRST FLOOR

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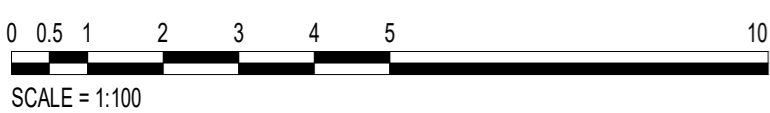
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 WD-05 rev.

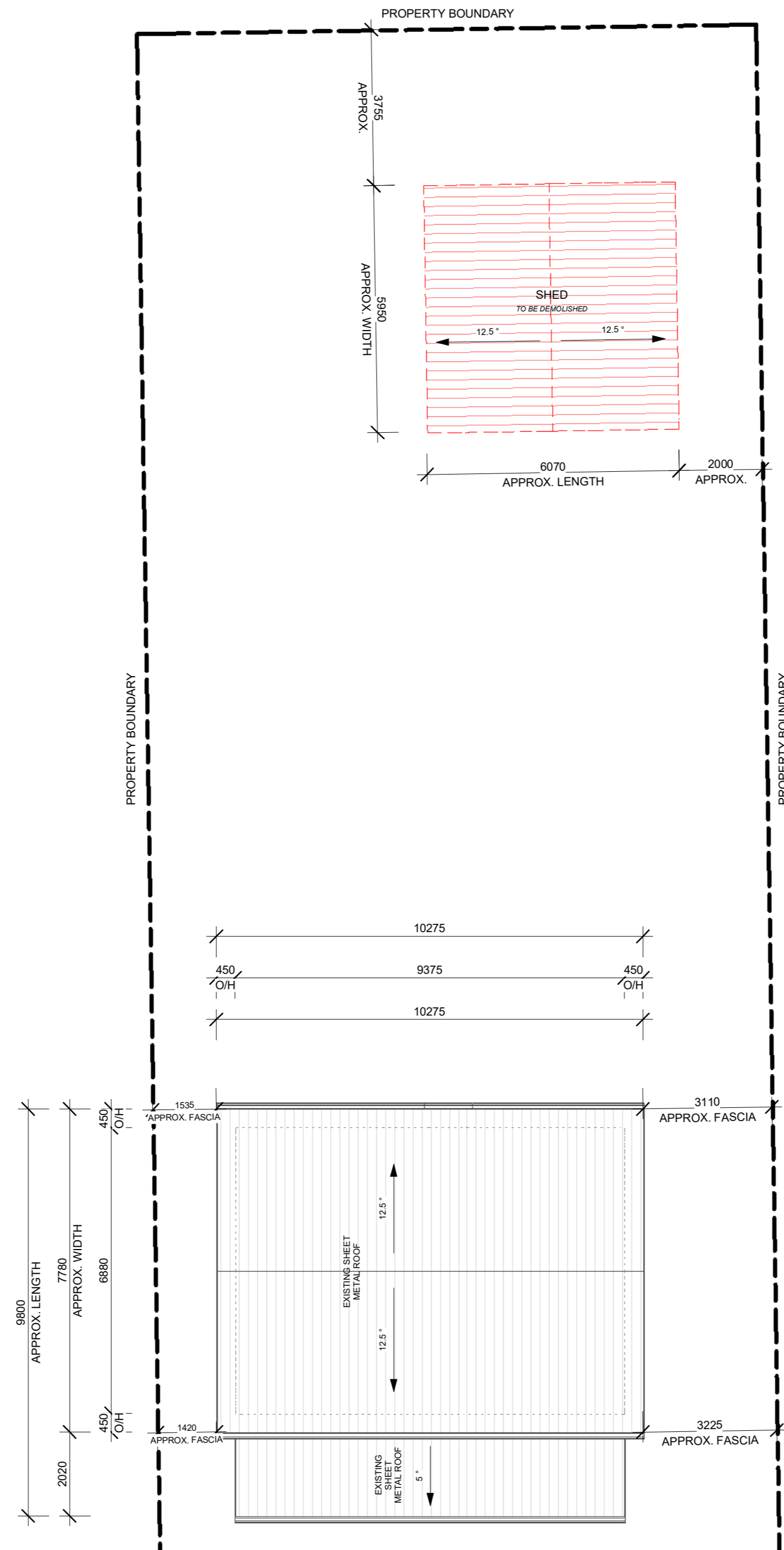
QBCC LICENCE: 15025395



1 EXISTING/DEMO FIRST FLOOR
 1 : 100

NOTES:
 BUILDER TO VERIFY ALL DIMENSIONS
 PRIOR TO ORDERING ANY MATERIALS

DEMOLITION LEGEND	
SYMBOL	DESCRIPTION
	DEMOLISHED WALL
	DEMOLISHED TIMBER FLOOR/SUBFLOOR
	DEMOLISHED 300 X 300 TILE
	DEMOLISHED 600 X 600 TILE
	DEMOLISHED TILE ROOF
	DEMOLISHED SHEET METAL ROOF



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 THE QUEENSLAND DEVELOPMENT CODE (QDC),
 BUILDING REGULATIONS,
 CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS
 SPECIFICATIONS & RELEVANT STANDARDS FOR MATERIALS USED.
 DIMENSIONS ARE SUBJECT TO SITE MEASUREMENT & VERIFICATION.
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PROJECT ADDRESS
 10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
 EXISTING / DEMO ROOF PLAN

CLIENT
 TIM CARMODY

DRAWN
 SV

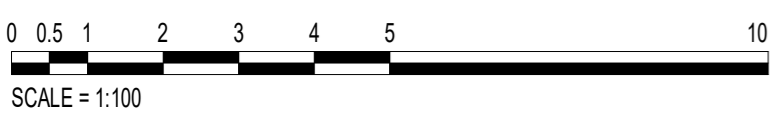
SCALE
 1 : 100 @ A2

DATE
 2022-08-09

PROJECT NO.
 010116

DRAWING NO.
 WD-06 rev.

QBCC LICENCE: 15025395



1 EXISTING/DEMO ROOF PLAN
 1 : 100

NOTES:

LICENSED PLUMBER TO VERIFY DOWNPIPE NUMBERS AND POSITIONS PRIOR TO CONSTRUCTION OR ORDERING

PLATFORM IMMEDIATELY SURROUNDING DWELLING TO FALL AWAY AT A SLOPE OF 1 IN 20. SURFACE DRAINAGE TO DISCHARGE EVENLY WITHOUT NUISANCE TO ADJOINING PROPERTIES

SITE TO BE SCRAPPED CLEAN OF VEGETATION TO BUILDING AREA

ALL LEVELS SHOWN ARE INDICATIVE ONLY AND ARE TO BE CONFIRMED ON SITE. NO RESPONSIBILITY TAKEN FOR ANY LEVELS SHOWN. SURVEYORS PLANS TO TAKE PRECEDENCE OVER ANY LEVELS SHOWN ON THESE DOCUMENTS

PLUMBER TO DESIGN GROUNDWATER DRAINAGE SYSTEM. ONE (1) YARD GULLY STANDARD

NOTE: ENGINEERS DETAILS, DRAWINGS & SPECIFICATIONS TO TAKE PRECEDENCE OVER THESE DRAWINGS

BUILDER TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING ANY MATERIALS

SEAL ALL WET AREAS IN ACCORDANCE WITH AS 3740 & BCA REQUIREMENTS

PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED

REFER TO SPECIFICATION FOR ALL CONCRETE SLAB FINISHES

WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE

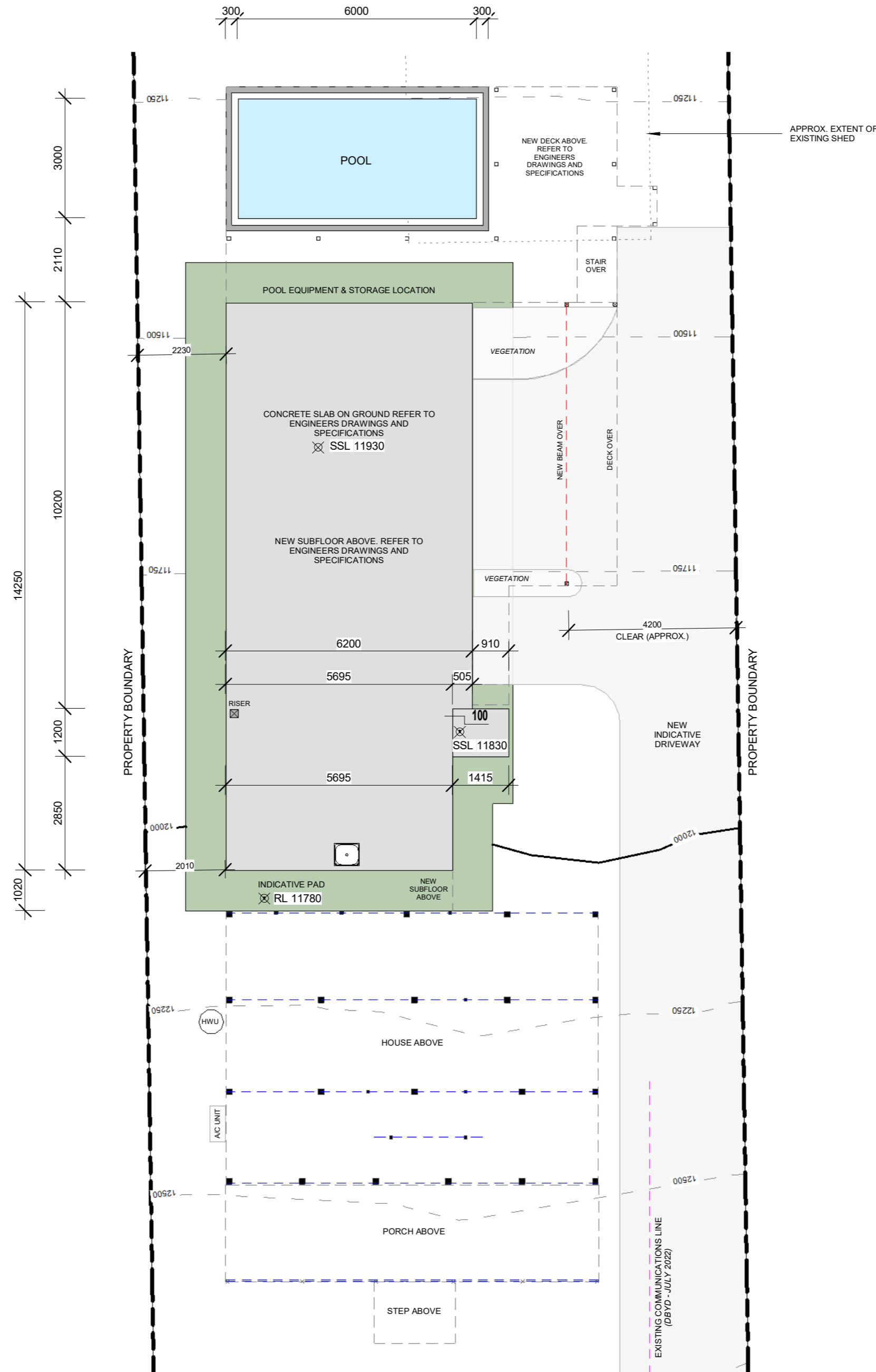
REBATE GARAGE DOORS & SLIDING GLASS DOORS 20mm, AND SHOWER RECESSES 40mm IN LOCATIONS SHOWN ACCORDING TO MANUF' SPEC. OR BUILDERS DIRECTIONS

DEVELOPMENT SEWER CONNECTION DETAILS AND INFORMATION WAS UNAVAILABLE AT THE TIME OF WORKING DRAWINGS PREPARATION. PLUMBER IS RESPONSIBLE TO DETERMINE CONNECTION INFORMATION FROM DEVELOPER AND TO COMPLY WITH ALL RELEVANT DETAILS AND REQUIREMENTS

SUBTERRANEAN TERMITES:

SUBTERRANEAN TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660. KORDON PHYSICAL TERMITE BARRIER TO PERIMETER AND ALL SLAB PROTRUSIONS / PENETRATIONS. 80MM MIN EXPOSED SLAB FACE TO PERIMETER TO ACT AS VISUAL DETECTION SYSTEM AGAINST TERMITE INFESTATION AS PER AS3660 AND ALL RELATED CODES. ANY OTHER SYSTEM USED MUST BE A CERTIFIED SYSTEM TO BCA REQUIREMENTS.

NOTES:
- POSTS TBC BY ENGINEER
- DIMENSIONS TO COME



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PROJECT ADDRESS
10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
NEW POST / SLAB SETOUT PLAN

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
1 : 100 @ A2

DATE
2022-08-09

PROJECT NO.
010116

DRAWING NO.
WD-07 rev.

QBCC LICENCE: 15025395

NOTES:

REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING MATERIALS

SEAL WET AREAS IN ACCORDANCE WITH AS3740 & BCA REQUIREMENTS

PROVIDE FLOOR WASTE TO ALL WET AREAS

SMOKE ALARMS TO BE FITTED IN ACCORDANCE WITH BCA

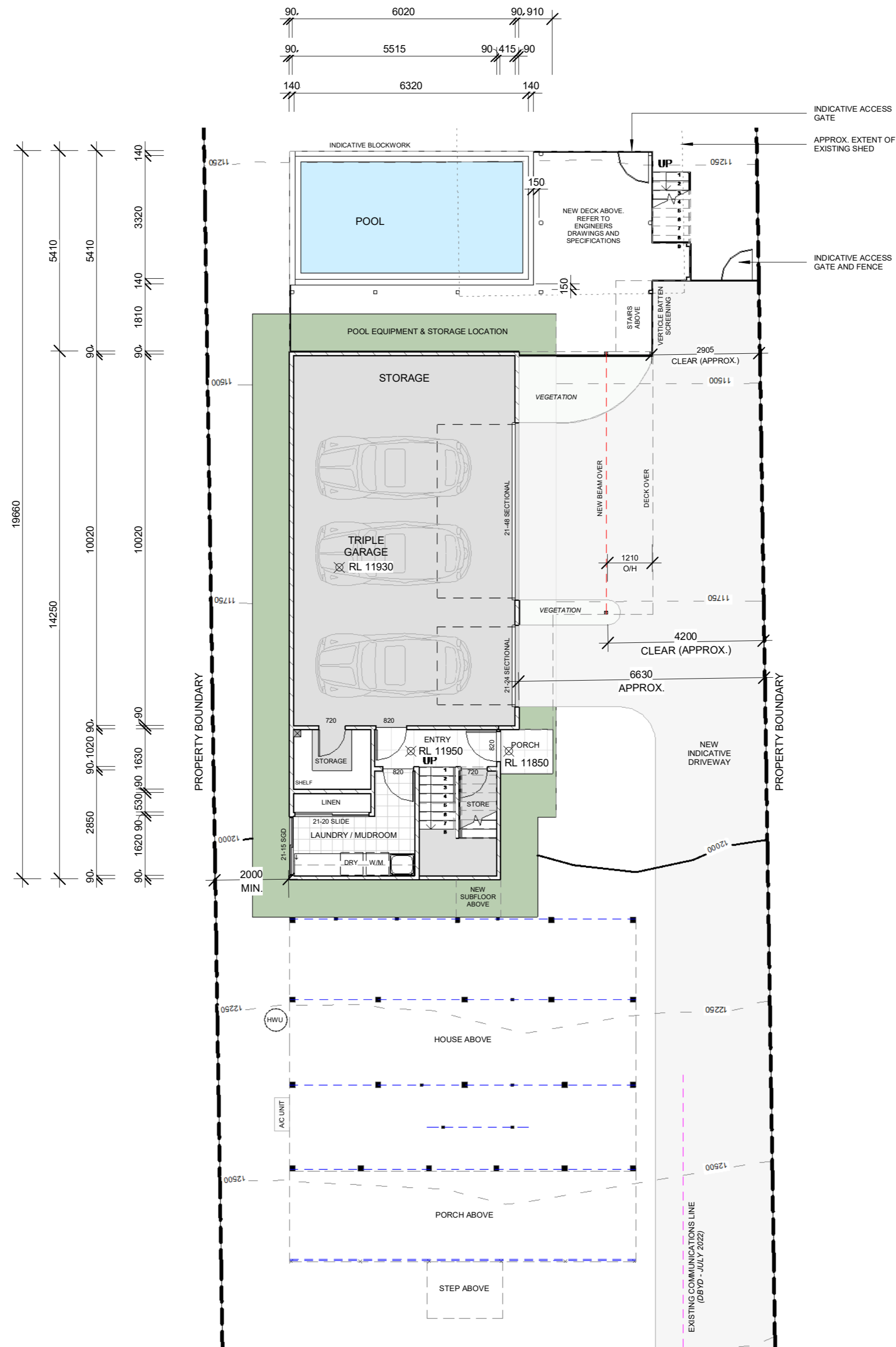
STAIRS, HANDRAILS AND BALUSTRADING TO BE CONSTRUCTED IN ACCORDANCE WITH BCA P3.9.2 AND ALL RELEVANT CODES AND EQUIREMENTS

LIFT OFF HINGES TO BE FITTED TO WC DOORS AND ENCLOSED SPACES WHERE REQUIRED IN ACCORDANCE BCA P3.8.3.3

ANY NEW WINDOWS TO WET AREAS MAY BE REQUIRED TO BE TOUGHENED SAFETY GLASS

PROVIDE MECHANICAL VENTILATION AND DIRECTLY VENT TO THE OUTSIDE OF THE BUILDING (E.G. USING DUCTING TO A SOFFIT VENT)

UPPER FLOOR: HARDIES 'SECURA' FLOORING TO TILED AREAS

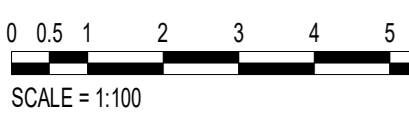


EXISTING HOME AREAS	
GARAGE:	36.1 m ²
PORCH:	26.2 m ²
FIRST LEVEL:	64.5 m ²
TOTAL:	126.8 m²

MEASURED TO OUTSIDE FACE OF WALL

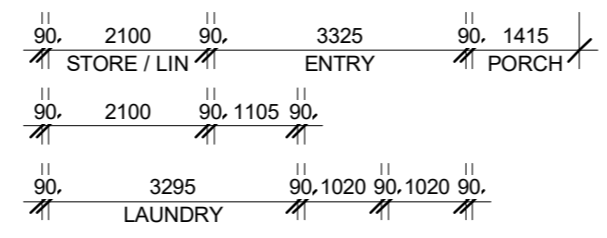
NEW HOME AREAS	
GARAGE:	63.6 m ²
DECK / COVERED DECK:	58.6 m ²
PORCH:	27.9 m ²
GROUND LEVEL:	23.1 m ²
FIRST LEVEL:	152.4 m ²
TOTAL:	325.6 m²

MEASURED TO OUTSIDE FACE OF WALL



1 NEW GROUND FLOOR

SCALE = 1:100



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10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
NEW GROUND FLOOR

CLIENT	TIM CARMODY
DRAWN	SV
SCALE	1 : 100 @ A2
DATE	2022-08-09
PROJECT NO.	010116
DRAWING NO.	WD-08



NOTES:

REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLAB/FOOTING DETAILS

BUILDER TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO ORDERING MATERIALS

SEAL WET AREAS IN ACCORDANCE WITH AS3740 & BCA REQUIREMENTS

PROVIDE FLOOR WASTE TO ALL WET AREAS

SMOKE ALARMS TO BE FITTED IN ACCORDANCE WITH BCA

STAIRS, HANDRAILS AND BALUSTRADING TO BE CONSTRUCTED IN ACCORDANCE WITH BCA P3.9.2 AND ALL RELEVANT CODES AND EQUIREMENTS

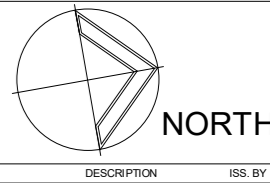
LIFT OFF HINGES TO BE FITTED TO WC DOORS AND ENCLOSED SPACES WHERE REQUIRED IN ACCORDANCE BCA P3.8.3.3

ANY NEW WINDOWS TO WET AREAS MAY BE REQUIRED TO BE TOUGHENED SAFETY GLASS

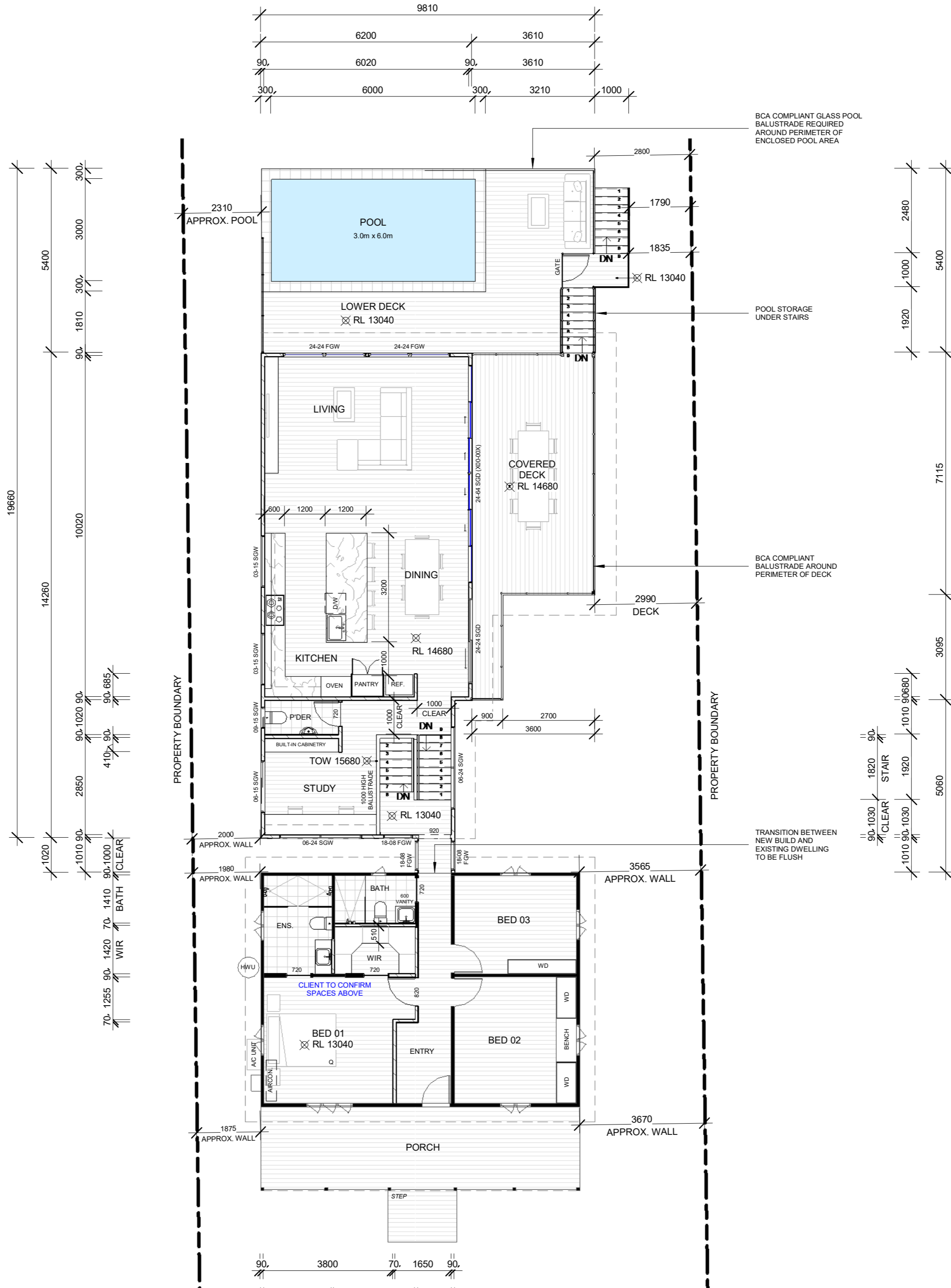
PROVIDE MECHANICAL VENTILATION AND DIRECTLY VENT TO THE OUTSIDE OF THE BUILDING (E.G. USING DUCTING TO A SOFFIT VENT)

UPPER FLOOR: HARDIES 'SECURA' FLOORING TO TILED AREAS

NOTES:
-CLIENT TO CONFIRM WIR, ENSUITE, AND BATH LAYOUT

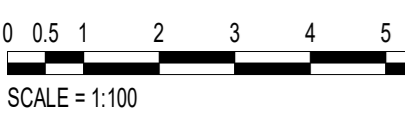


REVISION	No.	DATE	DESCRIPTION	ISS. BY



EXISTING HOME AREAS	
GARAGE:	36.1 m ²
PORCH:	26.2m ²
FIRST LEVEL:	64.5m ²
TOTAL:	126.8m²

NEW HOME AREAS	
GARAGE:	63.6m ²
DECK / COVERED DECK:	58.6m ²
PORCH:	27.9m ²
GROUND LEVEL:	23.1m ²
FIRST LEVEL:	152.4m ²
TOTAL:	325.6m²



NEW FIRST FLOOR

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10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
NEW FIRST FLOOR

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
1 : 100 @ A2

DATE
2022-08-09

PROJECT NO.
010116

DRAWING NO.
WD-09

QBCB LICENCE: 15025395

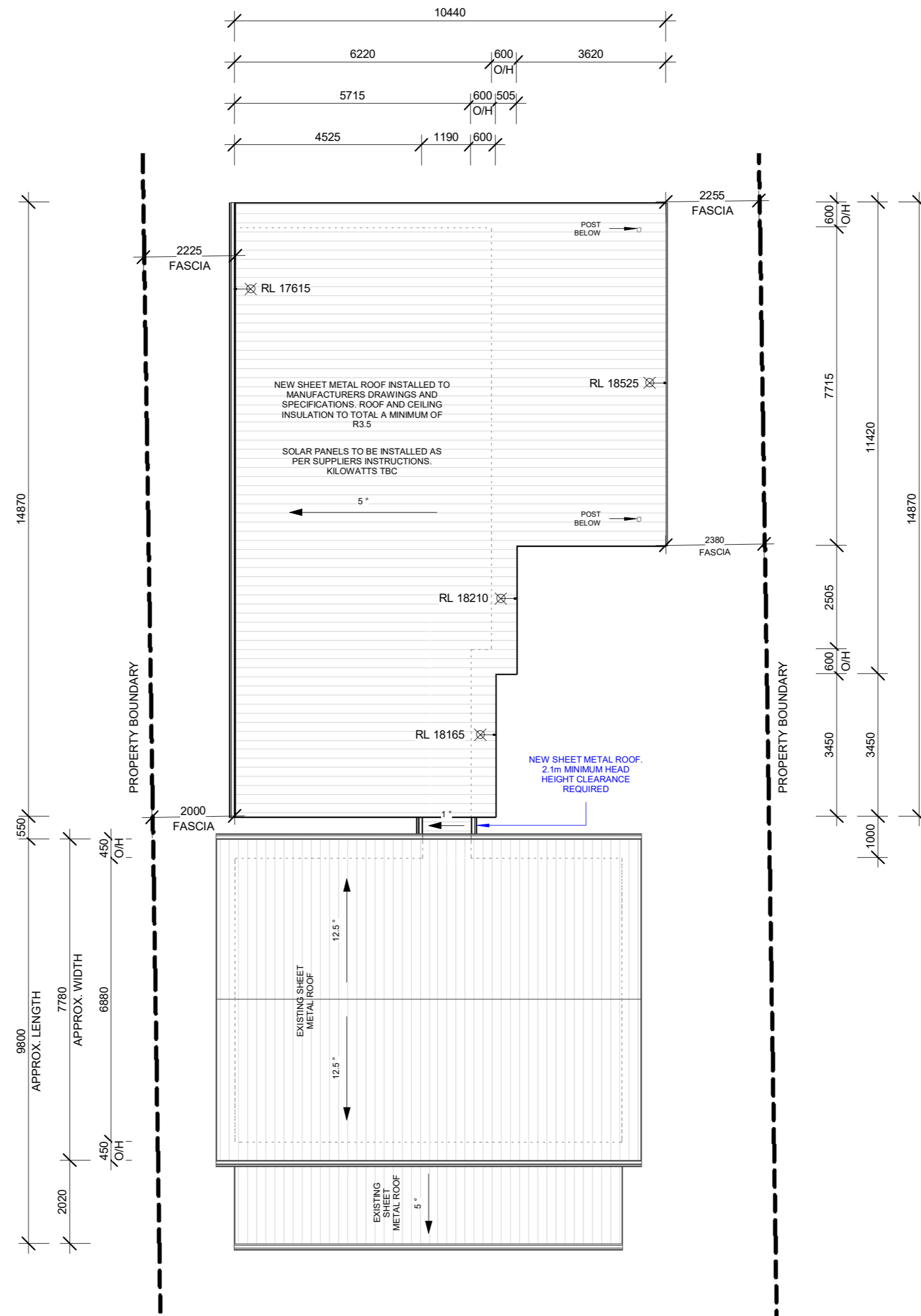
NOTES:

PLUMBER TO VERIFY ALL DETAILS PRIOR TO COMMENCEMENT OF WORK /ORDERING

PLUMBER RESPONSIBLE TO CONFIRM ROOFWATER DISCHARGE SYSTEM WITH ESTATE AS CONS AND TO ENSURE CORRECT CONNECTION IS ACCESSED AND SYSTEM USED

GUTTERS AND DOWNPIPES: ENSURE THAT ALL GUTTERS, BOX GUTTERS AND DOWNPIPES ARE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE NCC VOL TWO PART 3.5.3. WITH A MAXIMUM DISTANCE BETWEEN DOWNPIPES OF 12M.

ALL SERVICES TO BE HIDDEN FROM VIEW AT STREET LEVEL



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DRAWING TITLE
NEW ROOF PLAN

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
1 : 100 @ A2

DATE
2022-08-09

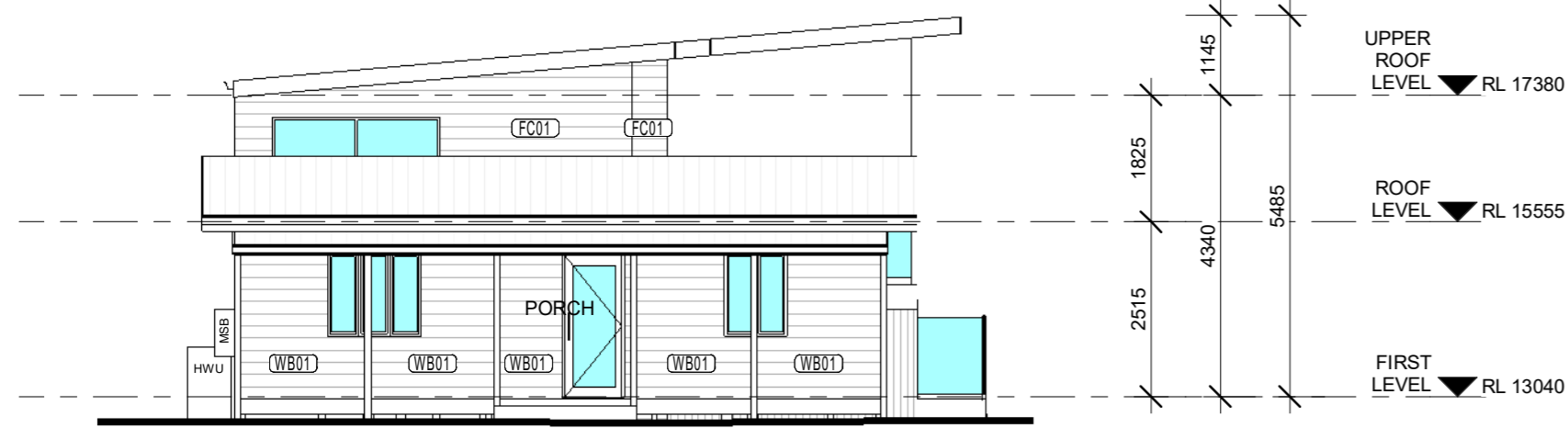
PROJECT NO.
010116

DRAWING NO.
WD-10 rev.

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EXTERIOR MATERIAL & FINISHES			
SYMBOL	DESCRIPTION	FINISH	COMMENTS
(WB01)	EXISTING WEATHERBOARD CLADDING	(PT01)	ROLL FINISH
(FC01)	NEW FIBRE-CEMENT WEATHERBOARD CLADDING	(PT02)	ROLL FINISH
(BLK01)	NEW BLOCKWORK	(PT02)	FINISH TBC
(PT01)	PAINT TBC		PATCH & PAINT WHERE REQUIRED
(PT02)	PAINT TBC		PATCH & PAINT WHERE REQUIRED

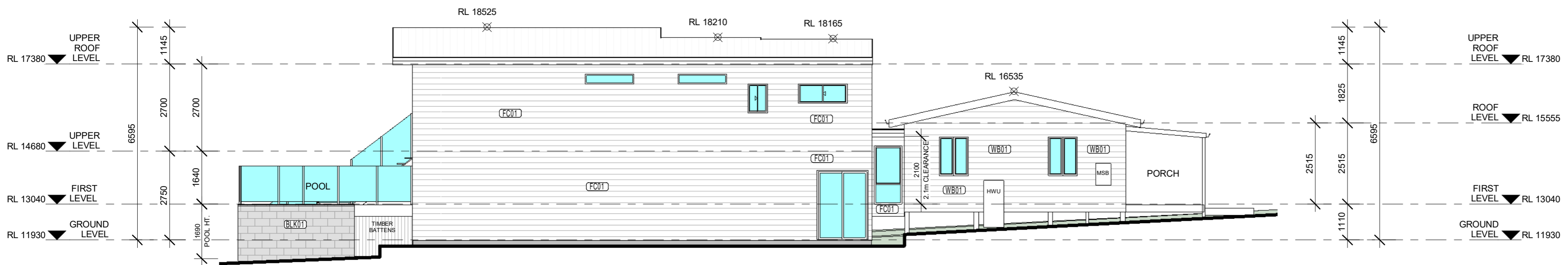
NOTE: ALL CLADDING SYSTEMS MUST BE INSTALLED IN ACCORDANCE WITH MANUF' SPEC. POSITION CLADDING SHEETS AS SHOWN IN ELEVATIONS AS ACCURATELY AS POSSIBLE



1 EAST ELEVATION
1 : 100



3 WEST ELEVATION
1 : 100



4 SOUTH ELEVATION
1 : 100



2 NORTH ELEVATION
1 : 100

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10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
ELEVATIONS

CLIENT
TIM CARMODY

DRAWN
SV

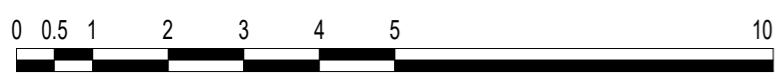
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DATE
2022-08-09

PROJECT NO.
010116

DRAWING NO.
WD-11 rev.

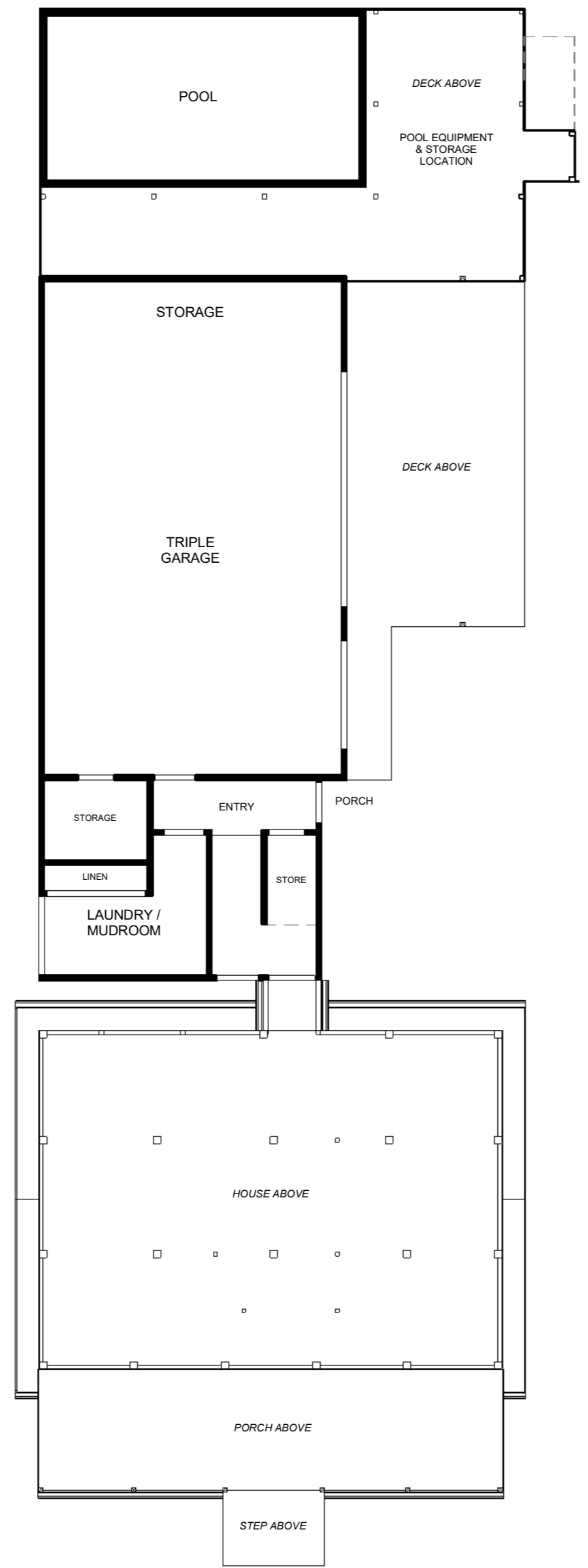
QBCC LICENCE: 15025395



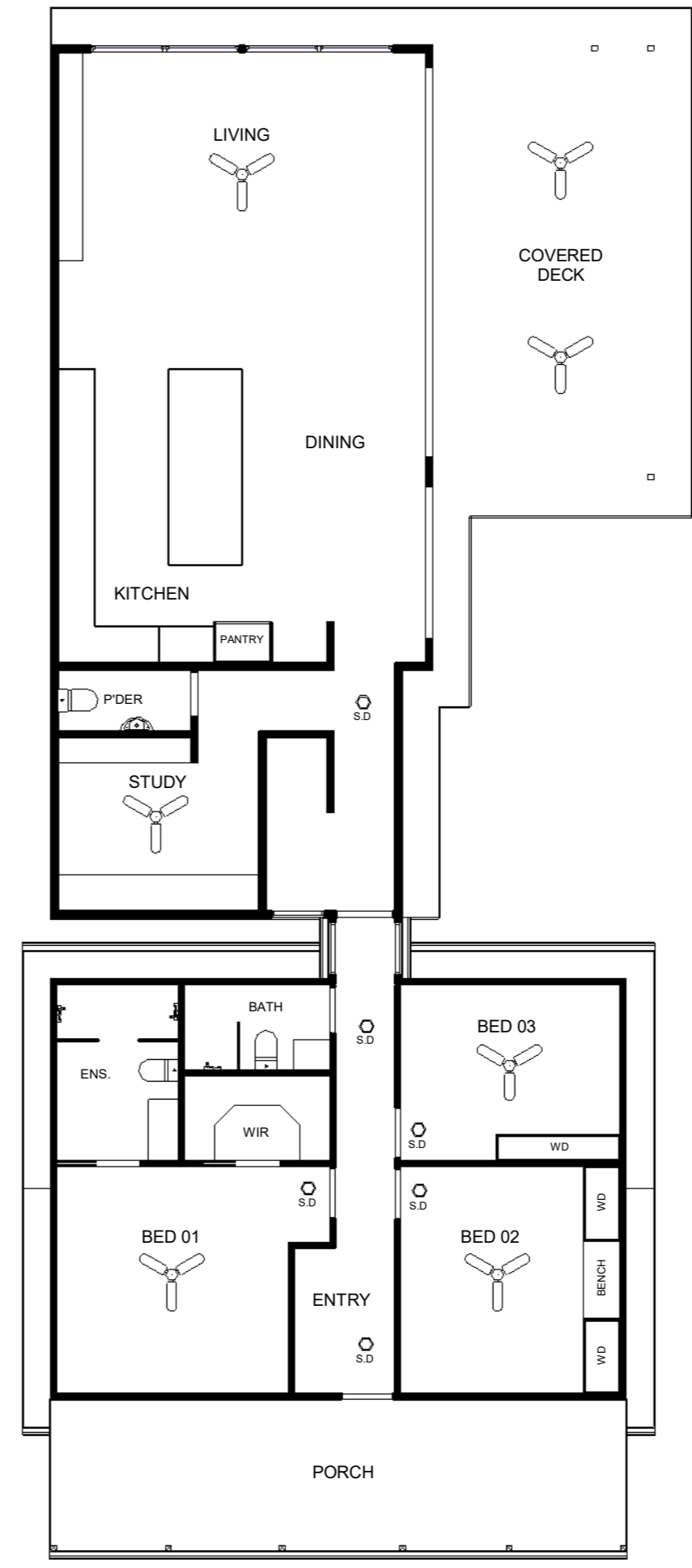
SCALE = 1:100

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	LED BATTEN		GPO SINGLE
	RECESSED DOWNLIGHT		GPO DOUBLE
	PENDANT LIGHT (PL01)		GPO DOUBLE WATERPROOF
	PENDANT LIGHT (PL02)		PHONE CONNECTION
	VANITY LIGHT		TELEVISION CONNECTION
	LED STRIP		LIGHT SWITCH POINT
	SMOKE DETECTOR		DIMMER SWITCH POINT
	MOTION SENSOR		MAIN SWITCH BOARD
	CEILING FAN		HOT WATER UNIT
	MECHANICAL VENTILATION		

NOTE:
 - ELECTRICIAN TO PROVIDE ELECTRICAL PLAN
 - PROVIDE HARD-WIRED, INTERCONNECTED, PHOTOELECTRIC SMOKE ALARMS WITH BATTERY BACK-UP, COMPLYING WITH AS3786



1 GROUND LEVEL RCP
1 : 100



2 FIRST LEVEL RCP
1 : 100

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PROJECT ADDRESS
10 ASHMOLE ROAD, REDCLIFFE, QLD, 4020

DRAWING TITLE
ELECTRICAL PLAN

CLIENT
TIM CARMODY

DRAWN
SV

SCALE
1 : 100 @ A2

DATE
2022-08-09

PROJECT NO.
010116

DRAWING NO.
WD-12 rev.

QBCC LICENCE: 15025395

