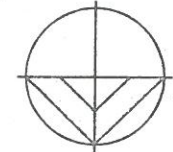
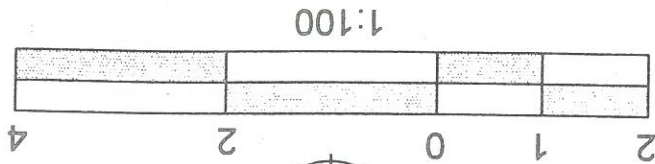


Proposed new garage adjacent to existing dwelling at 19 Dowd Road, Healesville

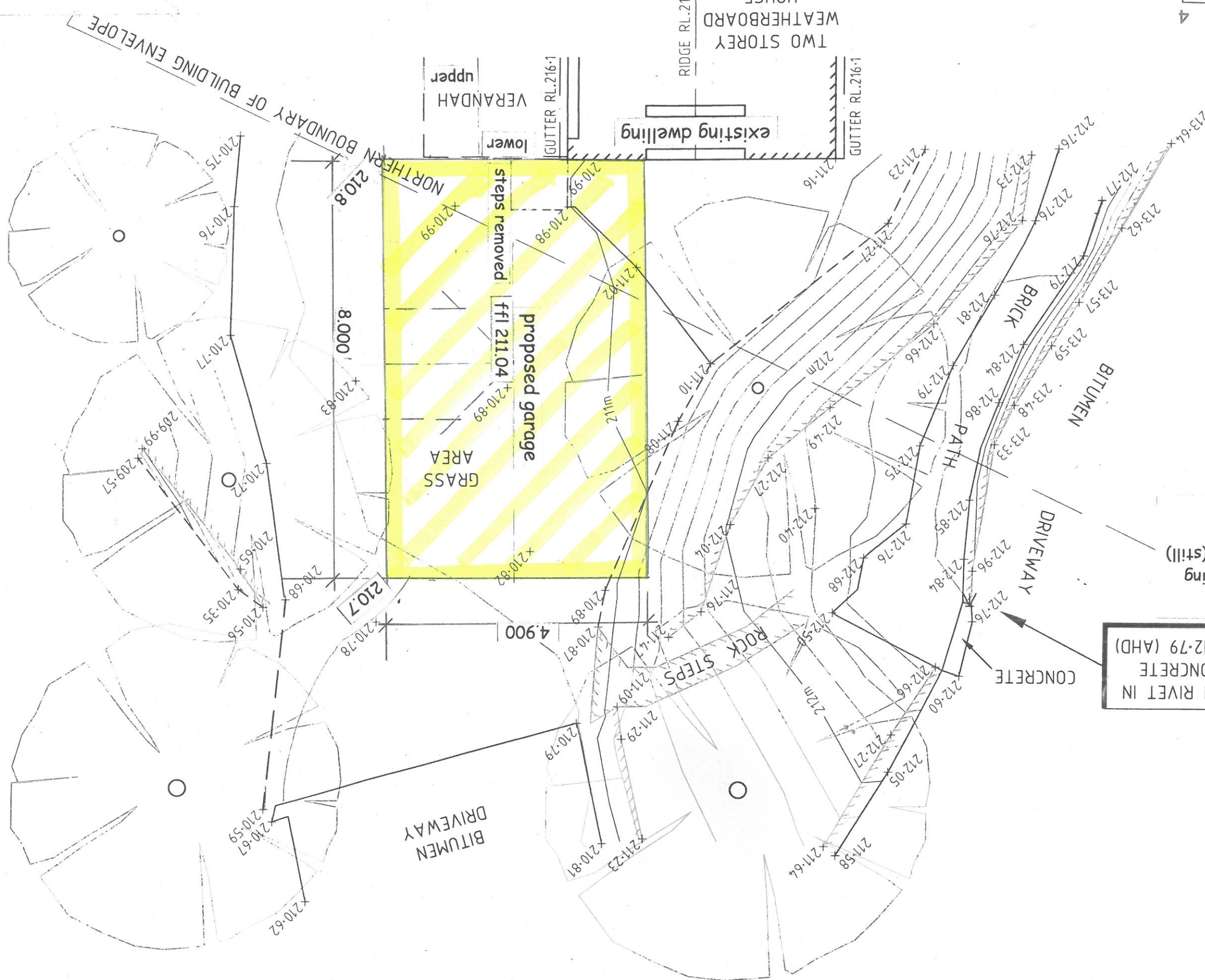
R.B.P.: J. S. Longo DP/AD1649

Sheet: 1 of 3

Date: March 2025



MGA2020



Materials / Colours
roofing- colorbond (ironstone)-to match existing
cladding- cement sheet weatherboards-Dulux (still)
windows- aluminium-(Surf Mist)
garage door- tilt-a-door-(Ironstone)

TBM RIVET IN
CONCRETE
RL.212.79 (AHD)

CONCRETE

DRIVEWAY

PATH

BITUMEN

BRICK

existing dwelling

TWO STOREY
WEATHERBOARD
HOUSE

VERANDAH
upper
lower

steps removed
proposed garage
grass area

BITUMEN
DRIVEWAY

ROCK
STEPS

210.7

8.000

210.8

210.67

210.59

210.55

210.56

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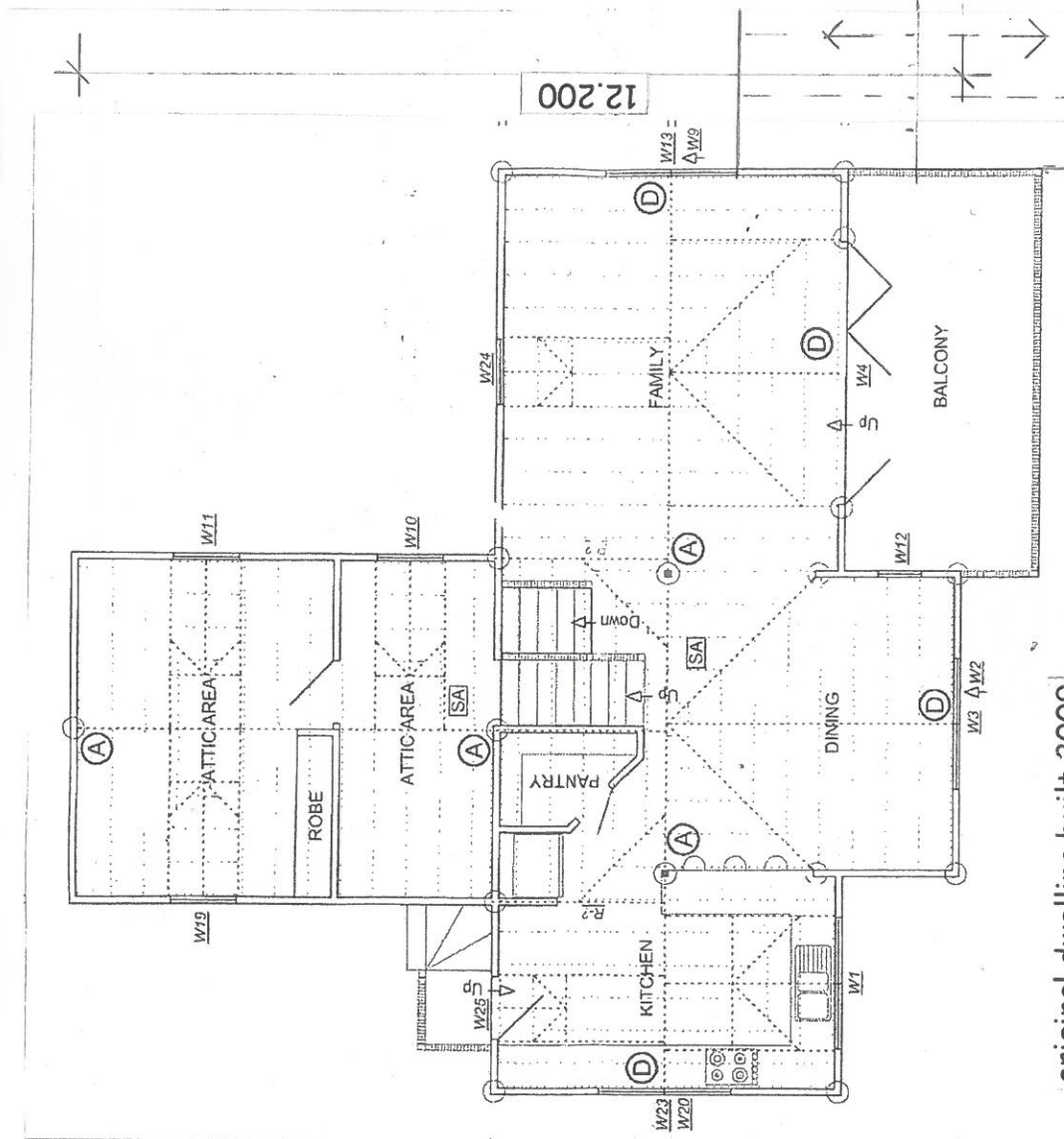
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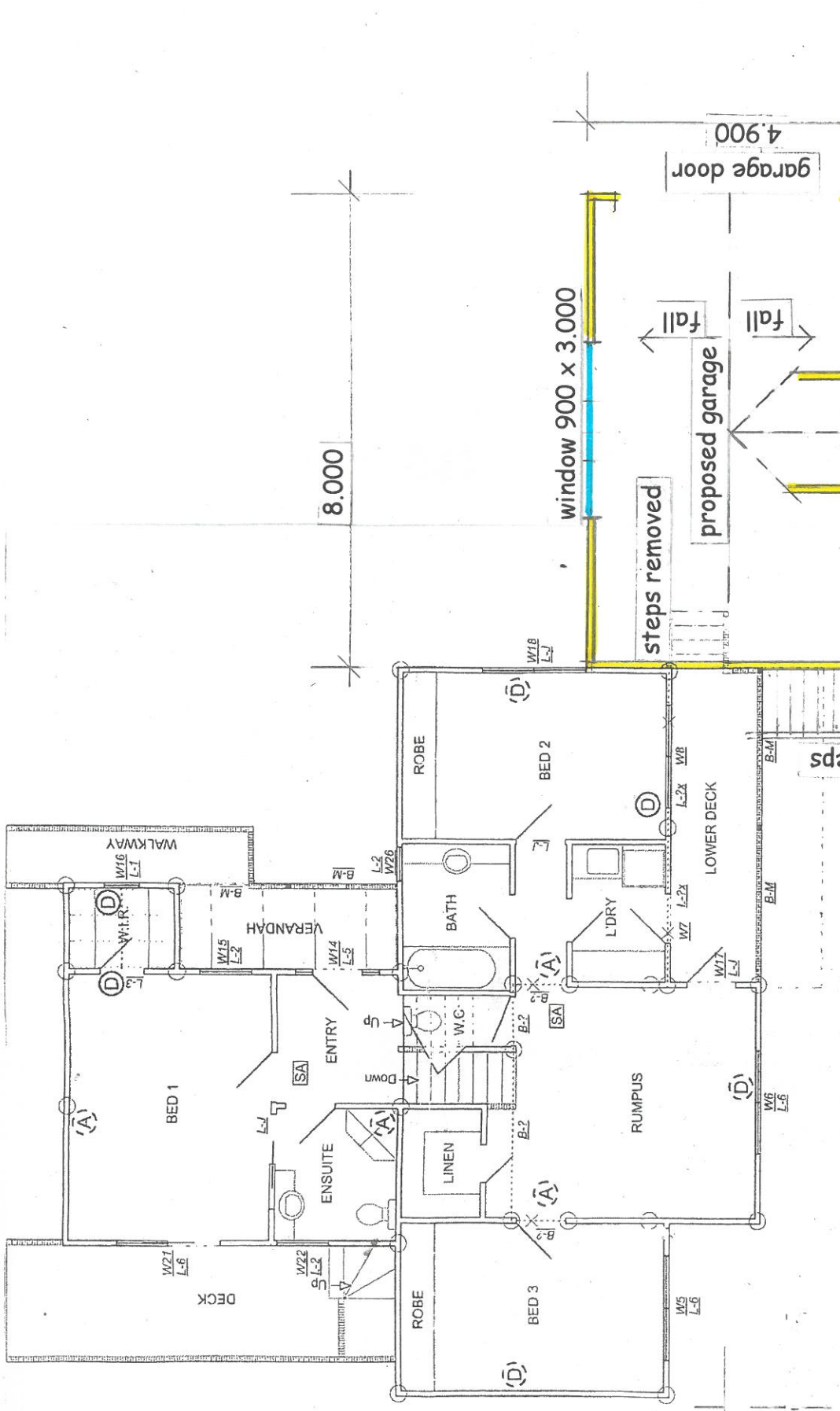


original dwelling built 2009

12.700

Upper floor Plan
Scale 1 : 100

dwelling- ground floor	98.52M2
verandahs/decks	41.96
carport	36.00
total existing roofed	176.48M2
proposed new garage	39.2 M2
total roofed area	215.68M2



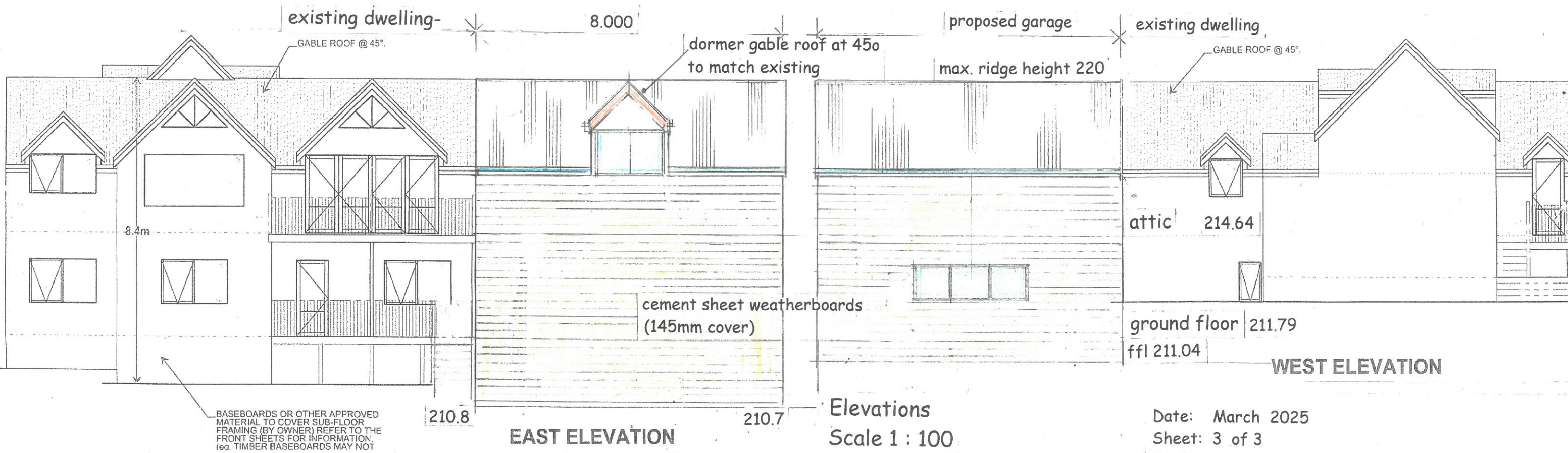
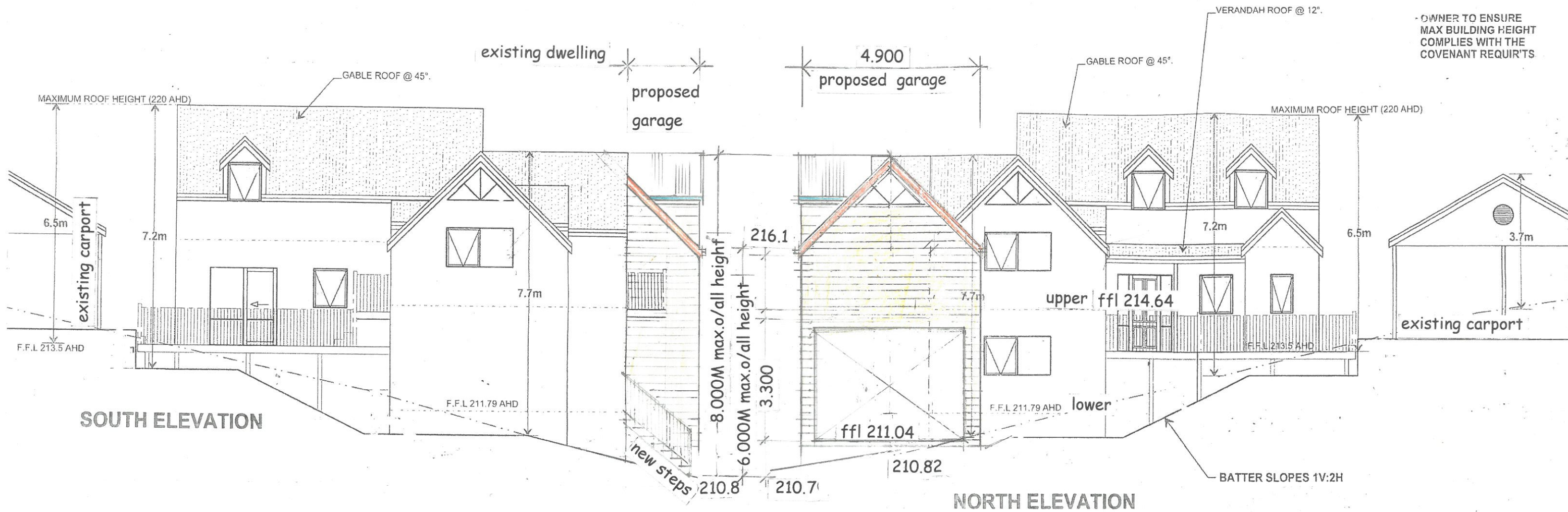
12.700

Ground floor Plan
Scale 1 : 100

Date: March 2025
Sheet: 2 of 3
R.B.P.: J. S. Longo DP/AD1649

Proposed new garage adjacent to existing dwelling at 19 Dowd Road, Healesville

OWNER TO ENSURE
MAX BUILDING HEIGHT
COMPLIES WITH THE
COVENANT REQUIR'TS



BASEBOARDS OR OTHER APPROVED MATERIAL TO COVER SUB-FLOOR FRAMING (BY OWNER) REFER TO THE FRONT SHEETS FOR INFORMATION. (e.g. TIMBER BASEBOARDS MAY NOT

Date: March 2025
 Sheet: 3 of 3
 R.B.P.: J. S. Longo DP/AD1649
 Proposed new garage adjacent to existing dwelling at 19 Dowd Road, Healesville