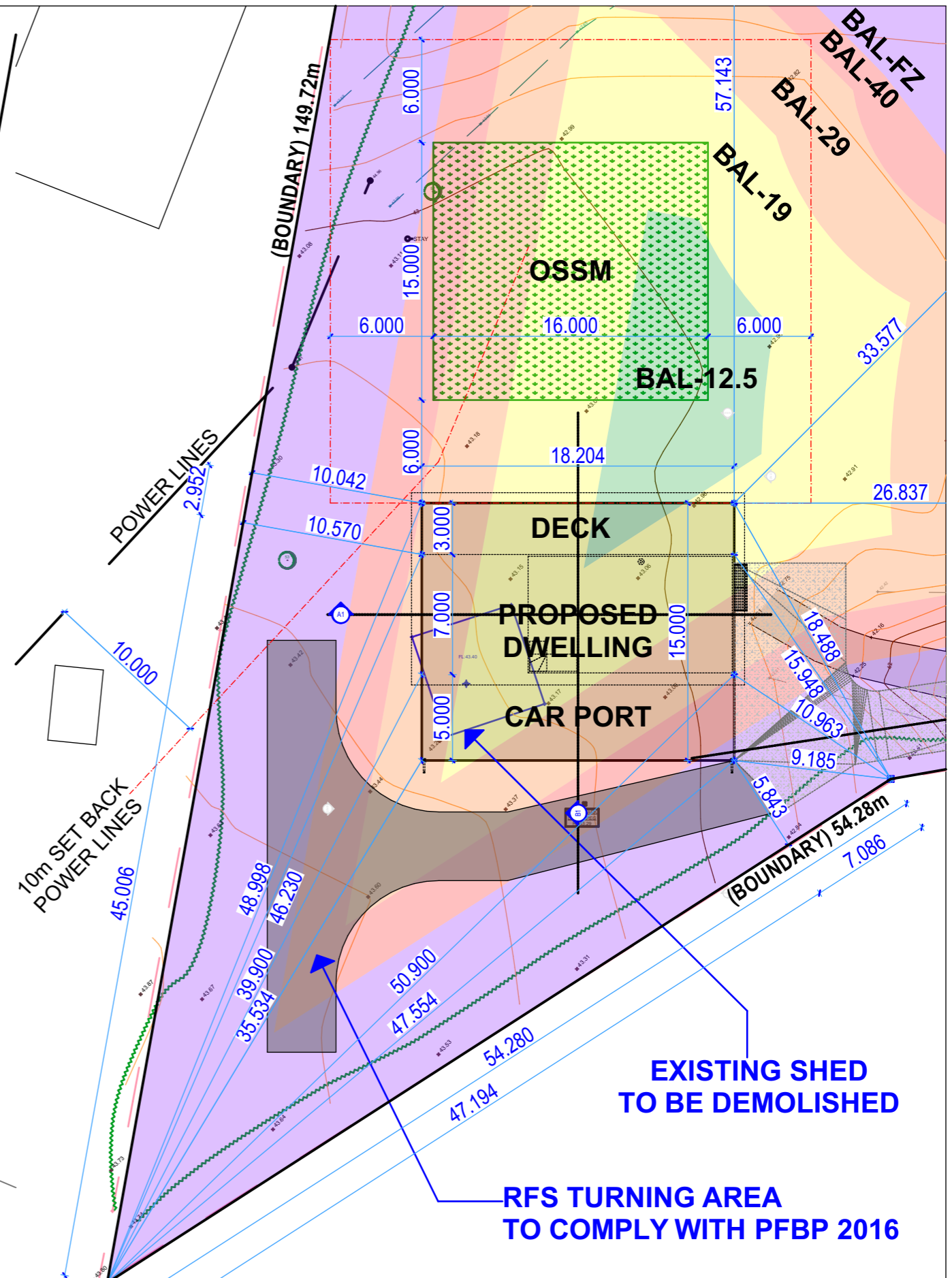


SITE PLAN (1:1000)

BYRON SHIRE COUNCIL
 Development Application
APPROVED PLAN
 DA No. 10.2024.56.1
 Date: 18/09/2024



SITE PLAN (1:300)

GENERAL NOTES:-
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PROJECT INFORMATION
 CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE
 JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.

PLAN TYPE
 SITE PLAN

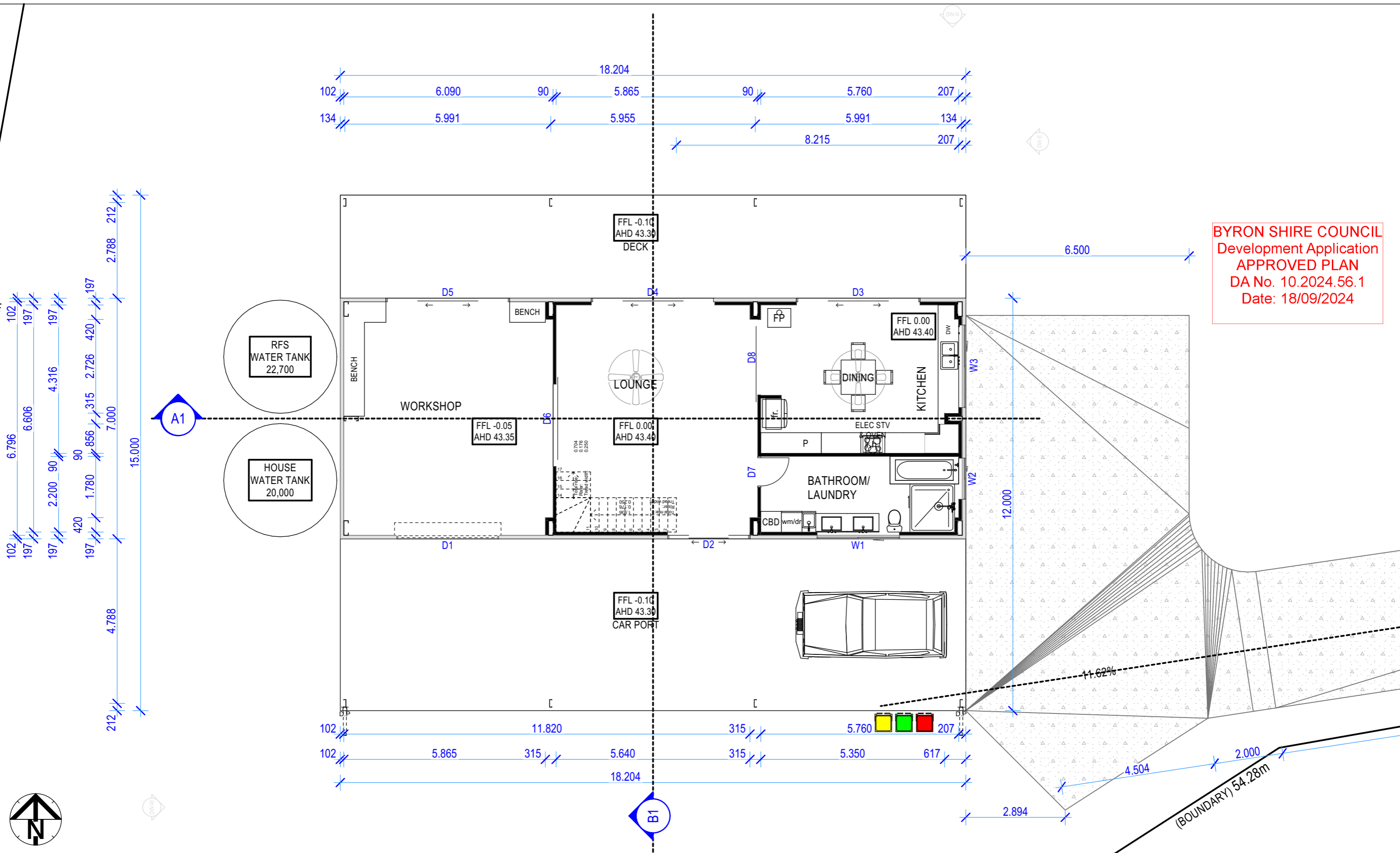
PROPERTY DESCRIPTION
 Lot & DP: Lot 2 DP 867631
 STREET ID: No. 428 MIDDLE POCKET ROAD
 SUBURB: MIDDLE POCKET
 LGA: BYRON SHIRE

SCALE
 1:200 @ A3

DATE
 2/09/2024

PLAN No.
 P1

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 ttono@designevolutions.com.au



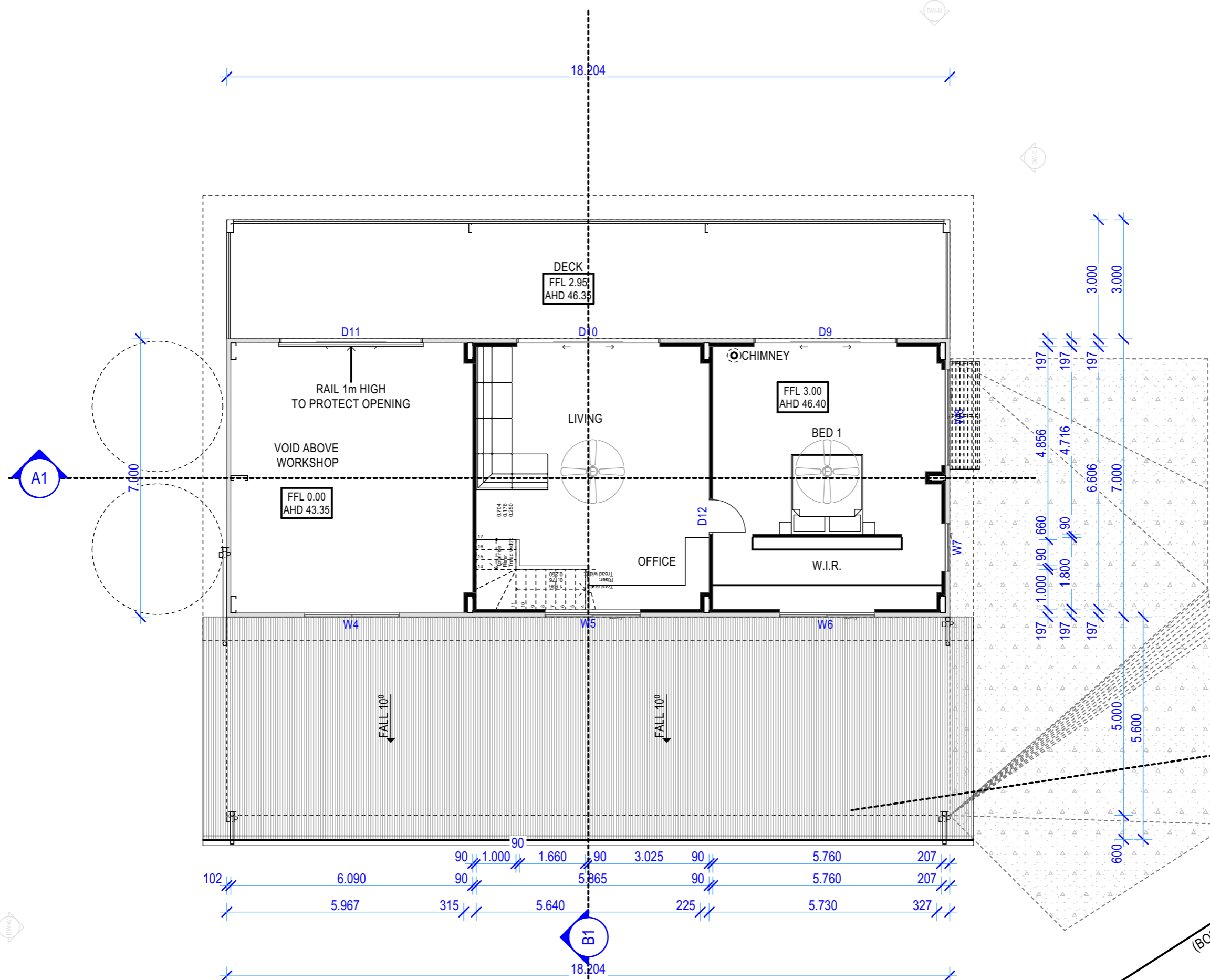
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 Development Application
APPROVED PLAN
 DA No. 10.2024.56.1
 Date: 18/09/2024

GENERAL NOTES:

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PROJECT INFORMATION CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.	PLAN TYPE LEVEL 0 FLOOR PLAN	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P2
	PROPERTY DESCRIPTION Lot & DP: Lot 2 DP 867631 STREET ID: No. 428 MIDDLE POCKET ROAD SUBURB: MIDDLE POCKET LGA: BYRON SHIRE	 TOWN PLANNING & BUILDING DESIGN PO. Box 13 OCEAN SHORES, NSW 2483 ttono@designevolutions.com.au		

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APPROVED PLAN
 DA No. 10.2024.56.1
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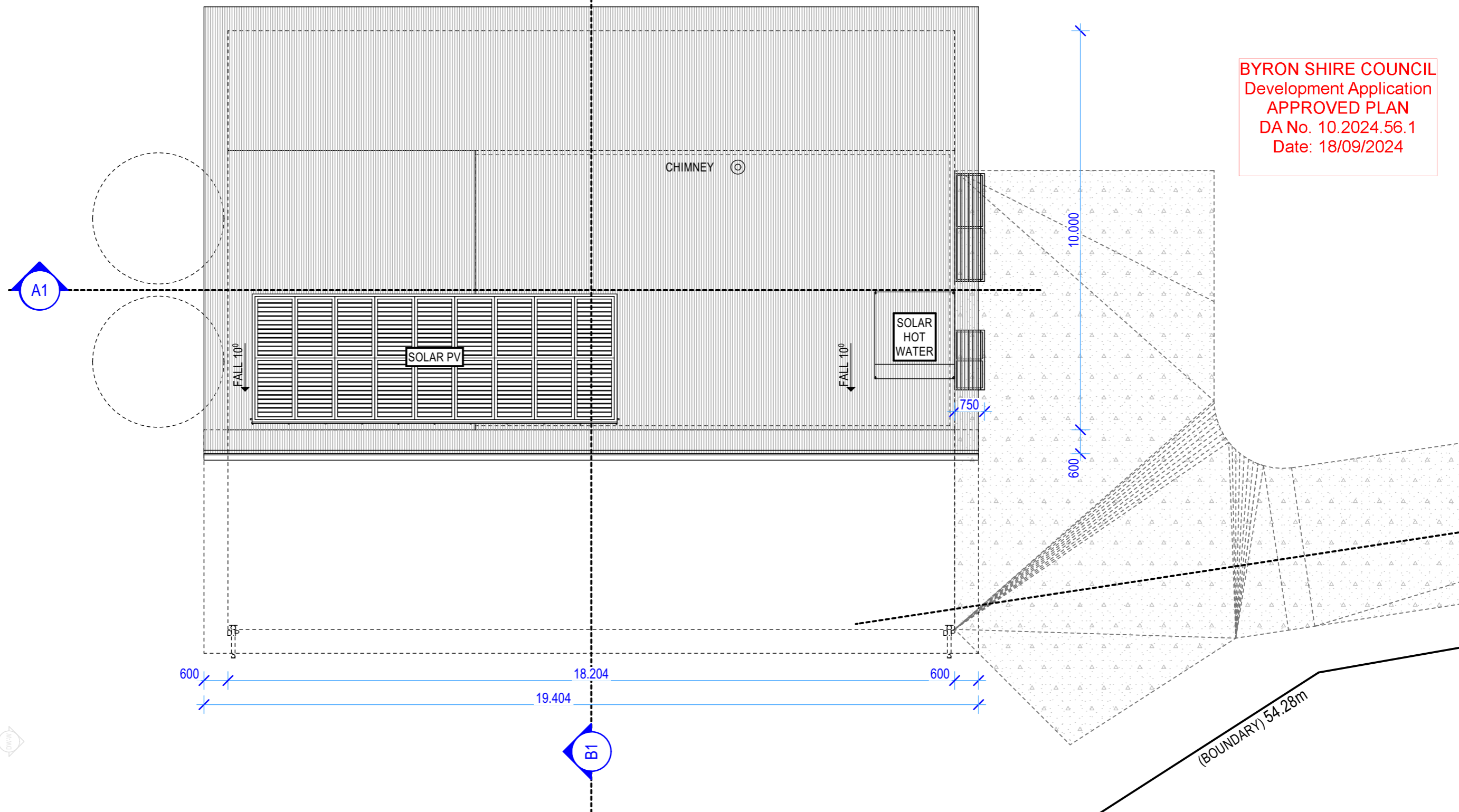
MEZZANINE FLOOR PLAN

GENERAL NOTES:-
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PROJECT INFORMATION
 CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE
 JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.

PLAN TYPE MEZZANINE FLOOR PLAN	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P3
PROPERTY DESCRIPTION			
Lot & DP: Lot 2 DP 867631			
STREET ID: No. 428 MIDDLE POCKET ROAD			
SUBURB: MIDDLE POCKET			
LGA: BYRON SHIRE			
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ROOF PLAN

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PROJECT INFORMATION
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 JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.

PLAN TYPE
 ROOF PLANS

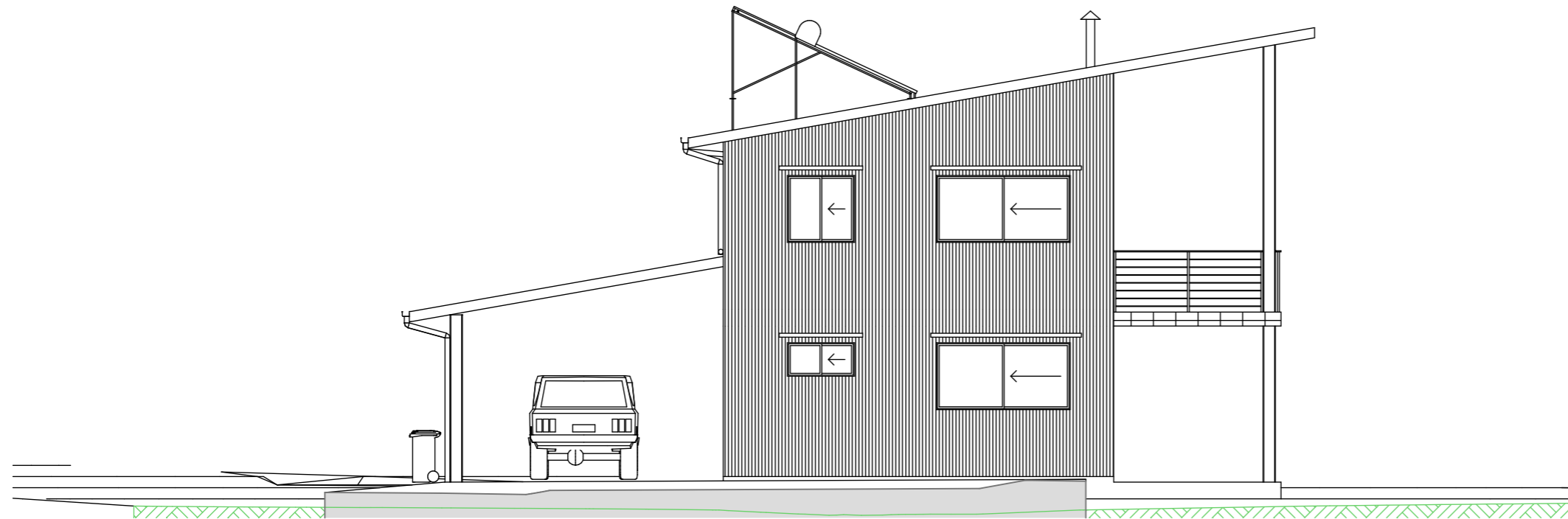
PROPERTY DESCRIPTION
 Lot & DP: Lot 2 DP 867631
 STREET ID: No. 428 MIDDLE POCKET ROAD
 SUBURB: MIDDLE POCKET
 LGA: BYRON SHIRE

SCALE
 1:100 @ A3

DATE
 2/09/2024

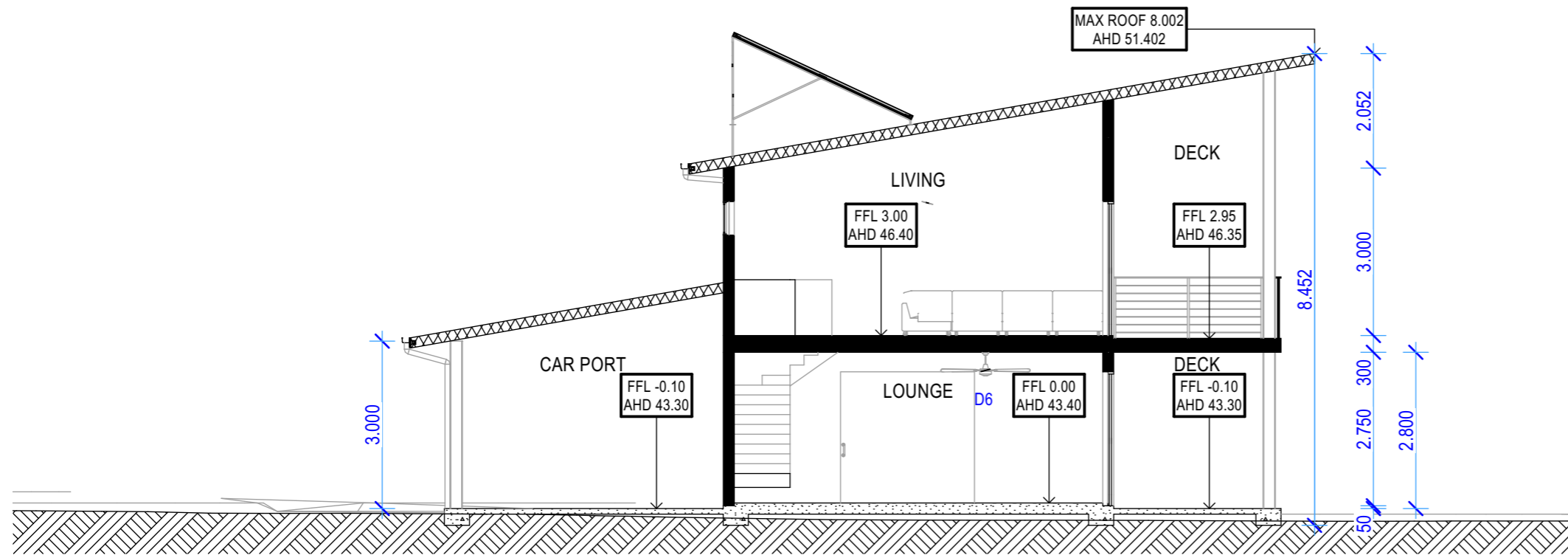
PLAN No.
 P4

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EAST ELEVATION

BYRON SHIRE COUNCIL
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 DA No. 10.2024.56.1
 Date: 18/09/2024




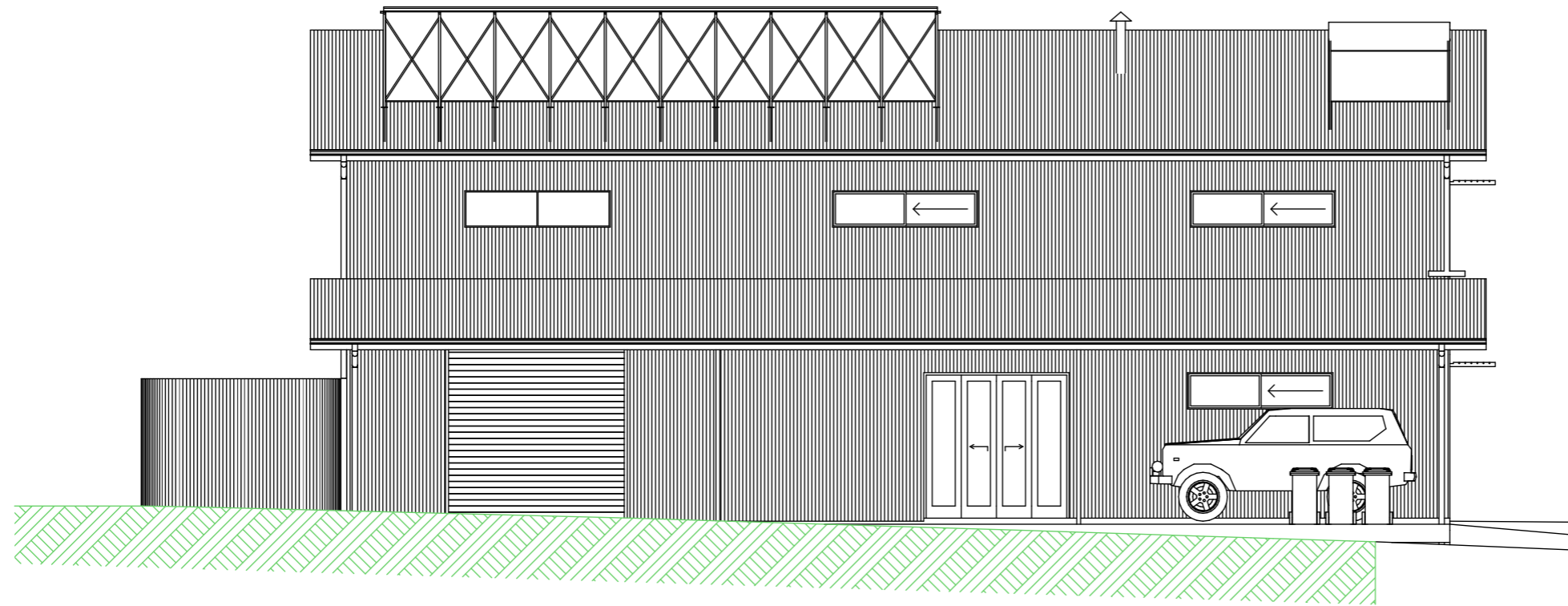
SECTION B1

EXTERNAL FINISHES

- ROOFING TRIM DECK "GALVANISED"
- GUTTER & FASCIA "SOUTHERLY"
- DOWN PIPES PVC PAINTED "SOUTHERLY"
- EXTERNAL WALLS COLORBOND "DEEP OCEAN"
- WINDOW AND DOOR FRAMES ALUMINIUM "SOUTHERLY"
- EXTERNAL POSTS GAL. STEEL (POWDER COATED) "SOUTHERLY"
- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS
- ALL WORKS TO MEET BAL-29 BUSH FIRE CONSTRUCTION

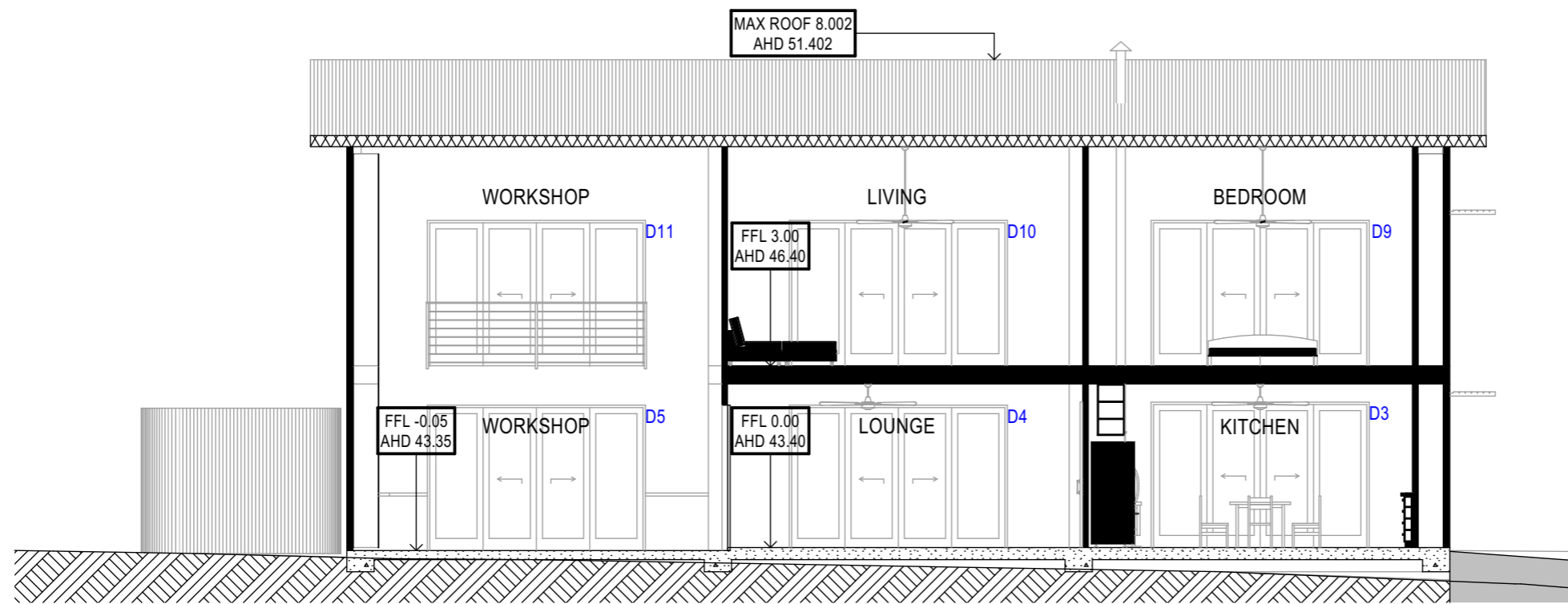
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PLAN TYPE ELEVATION SOUTH & SECTION B1 PLAN	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P5
PROPERTY DESCRIPTION Lot & DP: Lot 2 DP 867631 STREET ID: No. 428 MIDDLE POCKET ROAD SUBURB: MIDDLE POCKET LGA: BYRON SHIRE			
 TOWN PLANNING & BUILDING DESIGN PO. Box 13 OCEAN SHORES, NSW 2483 ttono@designevolutions.com.au			



SOUTH ELEVATION

BYRON SHIRE COUNCIL
 Development Application
APPROVED PLAN
 DA No. 10.2024.56.1
 Date: 18/09/2024




SECTION A1

EXTERNAL FINISHES

- ROOFING TRIM DECK "GALVANISED"
- GUTTER & FASCIA "SOUTHERLY"
- DOWN PIPES PVC PAINTED "SOUTHERLY"
- EXTERNAL WALLS COLORBOND "DEEP OCEAN"
- WINDOW AND DOOR FRAMES ALUMINIUM "SOUTHERLY"
- EXTERNAL POSTS GAL. STEEL (POWDER COATED) "SOUTHERLY"
- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS
- ALL WORKS TO MEET BAL-29 BUSH FIRE CONSTRUCTION

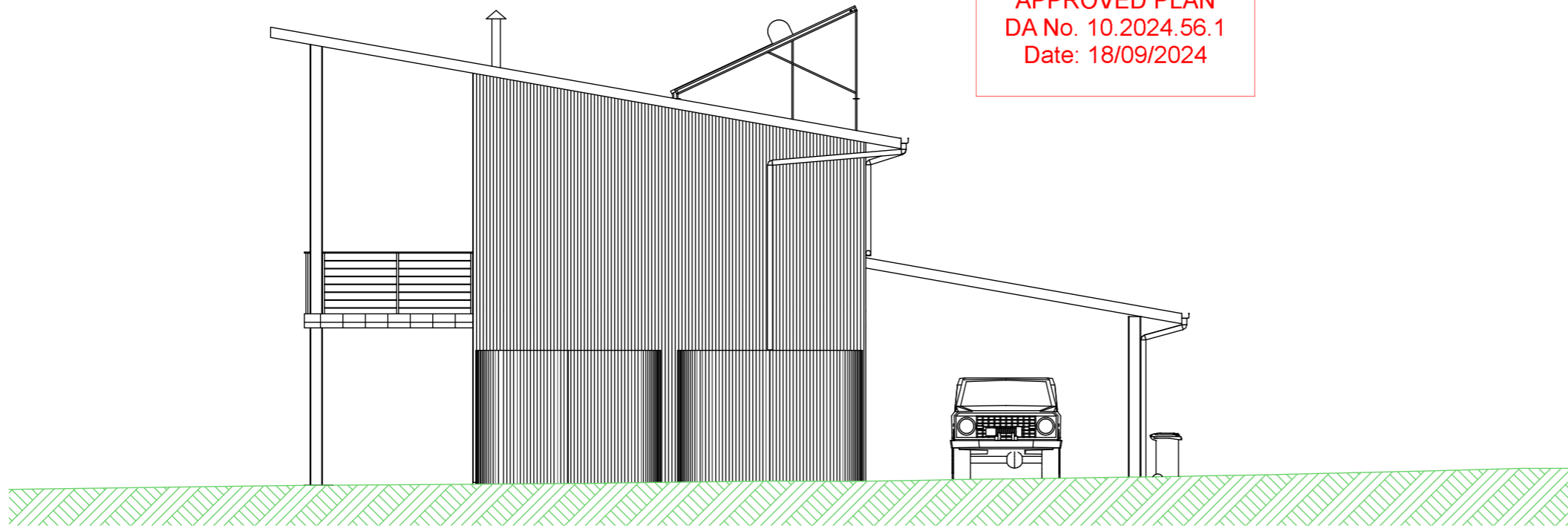
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PLAN TYPE ELEVATION WEST & SECTION A1 PLAN	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P6
PROJECT INFORMATION CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.		PROPERTY DESCRIPTION Lot & DP: Lot 2 DP 867631 STREET ID: No. 428 MIDDLE POCKET ROAD SUBURB: MIDDLE POCKET LGA: BYRON SHIRE	
 TOWN PLANNING & BUILDING DESIGN PO. Box 13 OCEAN SHORES, NSW 2483 ttono@designevolutions.com.au			



NORTH ELEVATION

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2024.56.1
Date: 18/09/2024



WEST ELEVATION

EXTERNAL FINISHES

- ROOFING TRIM DECK "GALVANISED"
- GUTTER & FASCIA "SOUTHERLY"
- DOWN PIPES PVC PAINTED "SOUTHERLY"
- EXTERNAL WALLS COLORBOND "DEEP OCEAN"
- WINDOW AND DOOR FRAMES ALUMINIUM "SOUTHERLY"
- EXTERNAL POSTS GAL. STEEL (POWDER COATED) "SOUTHERLY"
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- ALL WORKS TO COMPLY WITH BCA & AUSTRALIAN STANDARDS
- ALL WORKS TO MEET BAL-29 BUSH FIRE CONSTRUCTION

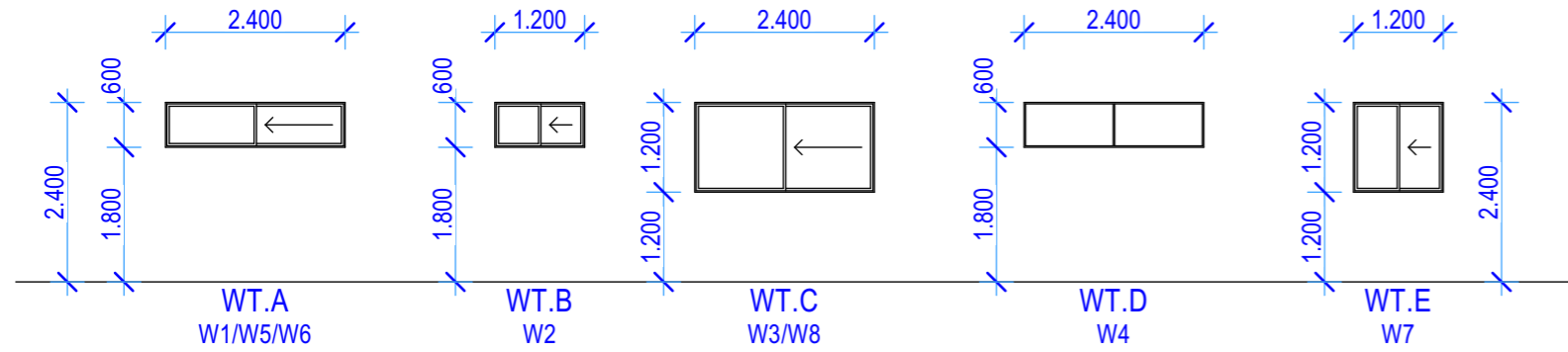
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PLAN TYPE ELVATIONS NORTH & EAST	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P7
	design evolutions TOWN PLANNING & BUILDING DESIGN PO. Box 13 OCEAN SHORES, NSW 2483 ttono@designevolutions.com.au		

PROJECT INFORMATION
 CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE
 JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE
 1 BEDROOM HOUSE.

PROPERTY DESCRIPTION
 Lot & DP: Lot 2 DP 867631
 STREET ID: No. 428 MIDDLE POCKET ROAD
 SUBURB: MIDDLE POCKET
 LGA: BYRON SHIRE

WINDOWS



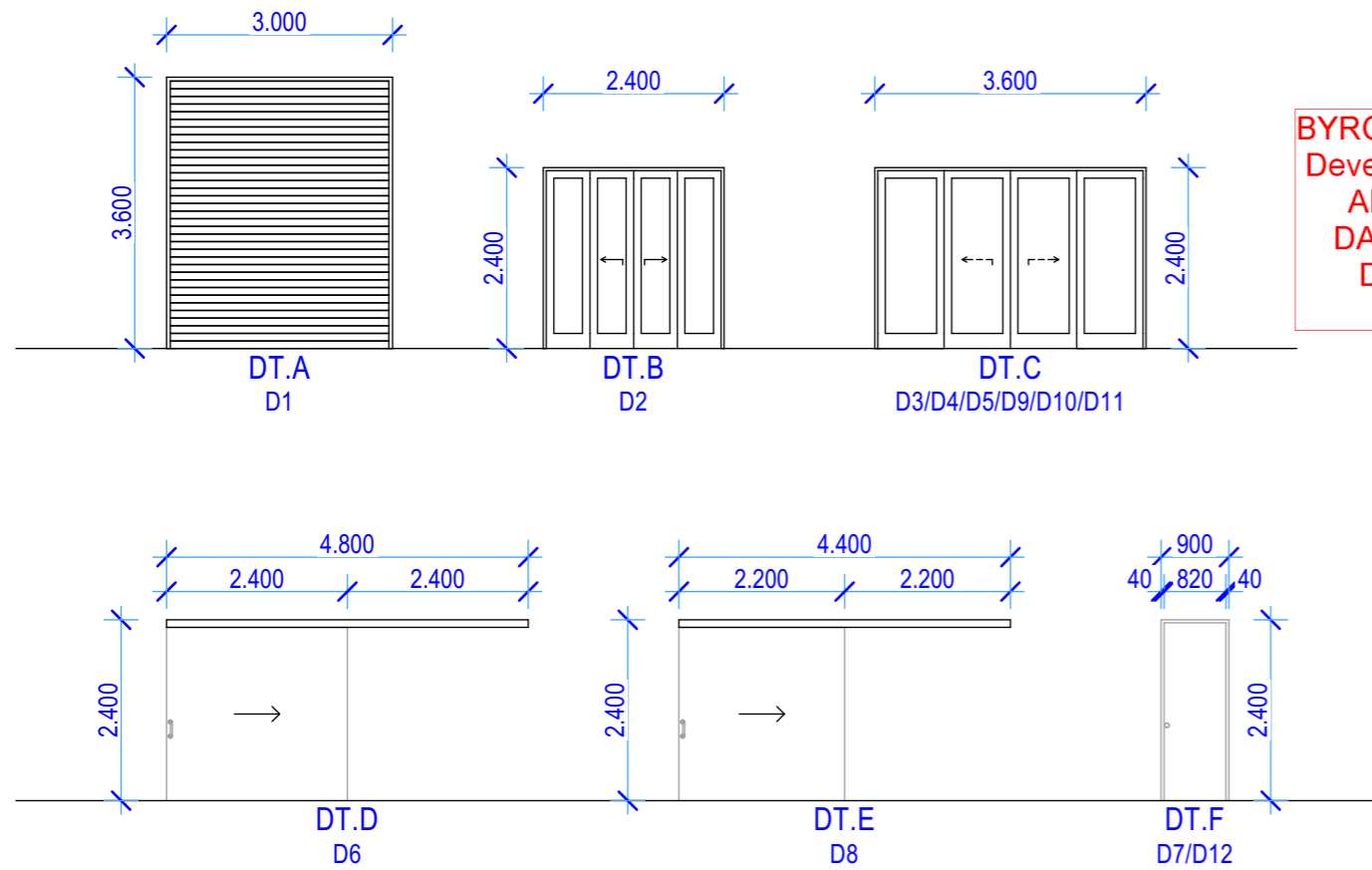
Window Quantity Schedule								
Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Window No.s
WT.A	0.600	2.400	Horizontal Sliding	1.44	3	4.32	XO	W1/W5/W6
WT.B	0.600	1.200	Horizontal Sliding	0.72	1	0.72	XO	W2
WT.C	1.200	2.400	Horizontal Sliding	2.88	2	5.76	XO	W3/W8
WT.D	0.600	2.400	Fixed	1.44	1	1.44	XX	W4
WT.E	1.200	1.200	Horizontal Sliding	1.44	1	1.44	XO	W7
TOTALS								

Window Notes: [KEY (O=OPENING) (X=FIXED)]

Door Quantity Schedule								
Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Door No.s
DT.A	3.600	3.000	Roller Door (Ext)	10.8	1	10.8	O	D1
DT.B	2.400	2.400	Sliding Door (Ext)	5.76	1	5.76	XOOX	D2
DT.C	2.400	3.600	Sliding Door (Ext)	8.64	6	51.84	XOOX	D3/D4/D5/D9/D10/D11
DT.D	2.400	2.400	Sliding Door (Int)	5.76	1	5.76	O	D6
DT.E	2.400	2.200	Sliding Door (Int)	5.28	1	5.28	O	D8
DT.F	2.400	0.820	Hinge Door (Ext)	1.968	1	1.968	O	D7/D12
TOTALS								

Door Notes: [KEY (O=OPENING) (X=FIXED)]

DOORS



BYRON SHIRE COUNCIL
 Development Application
APPROVED PLAN
 DA No. 10.2024.56.1
 Date: 18/09/2024

BASIX GLAZING SCHEDULE

NORTH						
No.	Height	Width	Area	Eave	Type	Ht. Ev
D3	2.400	3.600	8.640	3.000	XOOX	0.350
D4	2.400	3.600	8.640	3.000	XOOX	0.350
D5	2.400	3.600	8.640	3.000	XOOX	0.350
D9	2.400	3.600	8.640	3.000	XOOX	0.350
D10	2.400	3.600	8.640	3.000	XOOX	0.350
D11	2.400	3.600	8.640	3.000	XOOX	0.350
TOTAL			51.840			

[KEY (O=OPENING) (X=FIXED)]

SOUTH						
No.	Height	Width	Area	Eave	Type	Ht. Ev
D2	2.400	2.400	5.760	5.600	XOOX	0.350
W1	0.600	2.400	1.440	5.600	XO	0.350
W4	0.600	2.400	1.440	5.600	XX	0.350
W5	0.600	2.400	1.440	5.600	XO	0.350
W6	0.600	2.400	1.440	5.600	XO	0.350
TOTAL			11.520			

[KEY (O=OPENING) (X=FIXED)]


EAST						
No.	Height	Width	Area	Eave	Type	Ht. Ev
W2	0.600	1.200	0.720	0.750	XO	0.100
W3	1.200	2.400	2.880	0.750	XO	0.100
W7	1.200	1.200	1.440	0.750	XO	0.100
W8	1.200	2.400	2.880	0.750	XO	0.100
TOTAL			7.920			

[KEY (O=OPENING) (X=FIXED)]

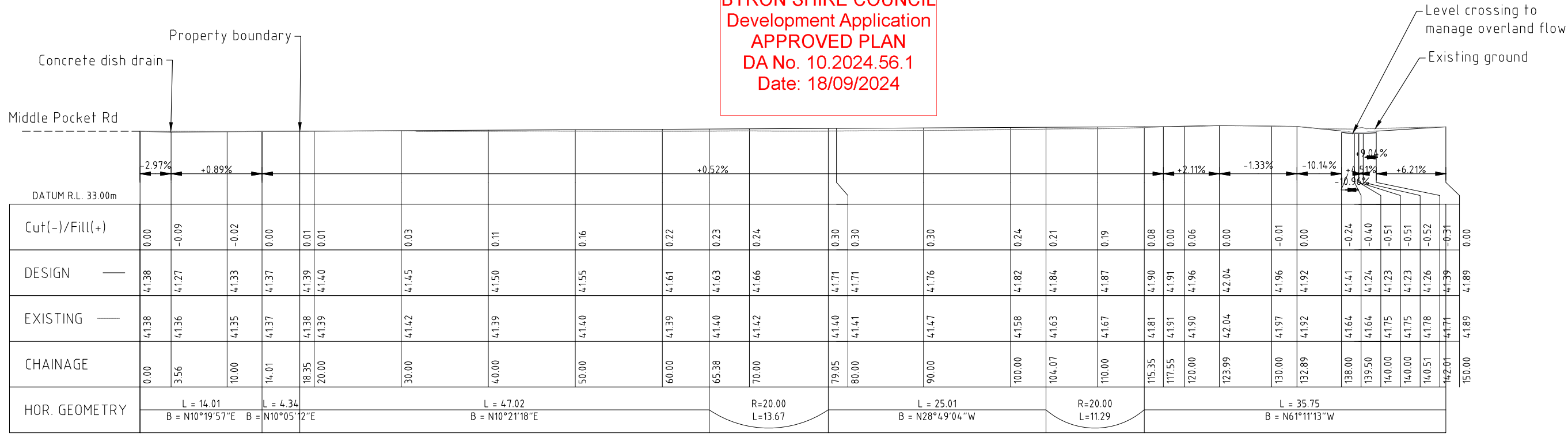
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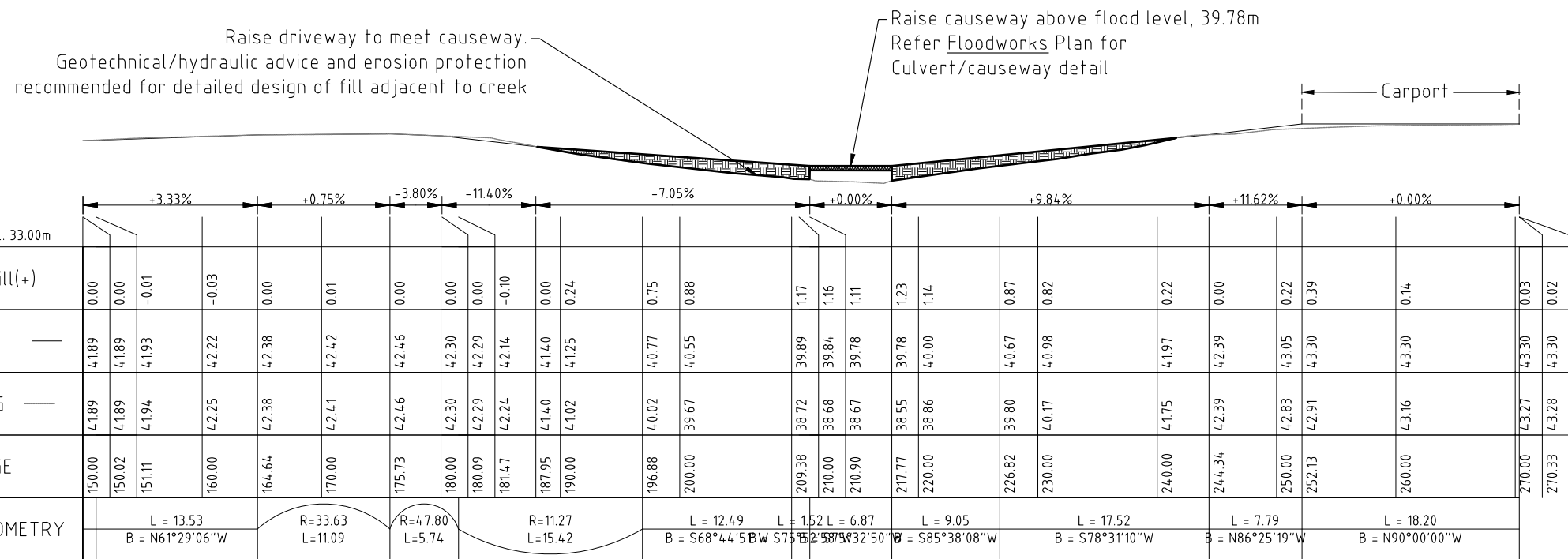
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PLAN TYPE WINDOW & DOOR SCHEDULE	SCALE 1:100 @ A3	DATE 2/09/2024	PLAN No. P10
PROJECT INFORMATION CLIENT NAME: Mr. J. VALENTE & Ms. S. PENNANCE JOB TYPE: PROPOSED FARM SHED AND DECKS TO BE 1 BEDROOM HOUSE.		PROPERTY DESCRIPTION Lot & DP: Lot 2 DP 867631 STREET ID: No. 428 MIDDLE POCKET ROAD SUBURB: MIDDLE POCKET LGA: BYRON SHIRE	
 TOWN PLANNING & BUILDING DESIGN PO. Box 13 OCEAN SHORES, NSW 2483 ttono@designevolutions.com.au			

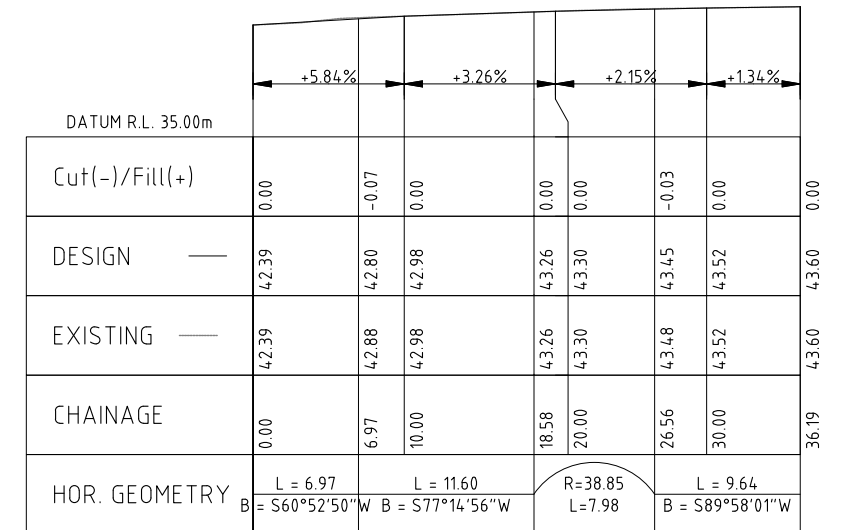
BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2024.56.1
Date: 18/09/2024



Long Section - Alignment - Driveway Scale 1:500



Long Section - Alignment - Driveway Scale 1:500



Long Section - Alignment - Fire Truck Turn Area Scale 1:500

REV	REVISION DESCRIPTION	BY	DATE
A	FOR INFORMATION	EH	22/08/2024
B	FOR INFORMATION	SA	27/08/2024

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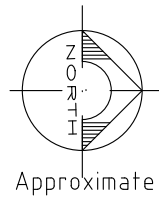
GREG ALDERSON & ASSOCIATES
 ABN 58 594 160 789
 43 Main Street CLUNES NSW 2480
 Ph: 02 6629 1552
 E: office@aldersonassociates.com.au
 Web: aldersonassociates.com.au

Client: SAM PENNANCE AND JACK VALENTE
 Title: CONCEPT DRIVEWAY LONG SECTION
 Site address: 428 MIDDLE POCKET ROAD MIDDLE POCKET
 Project: PROPOSED DWELLING

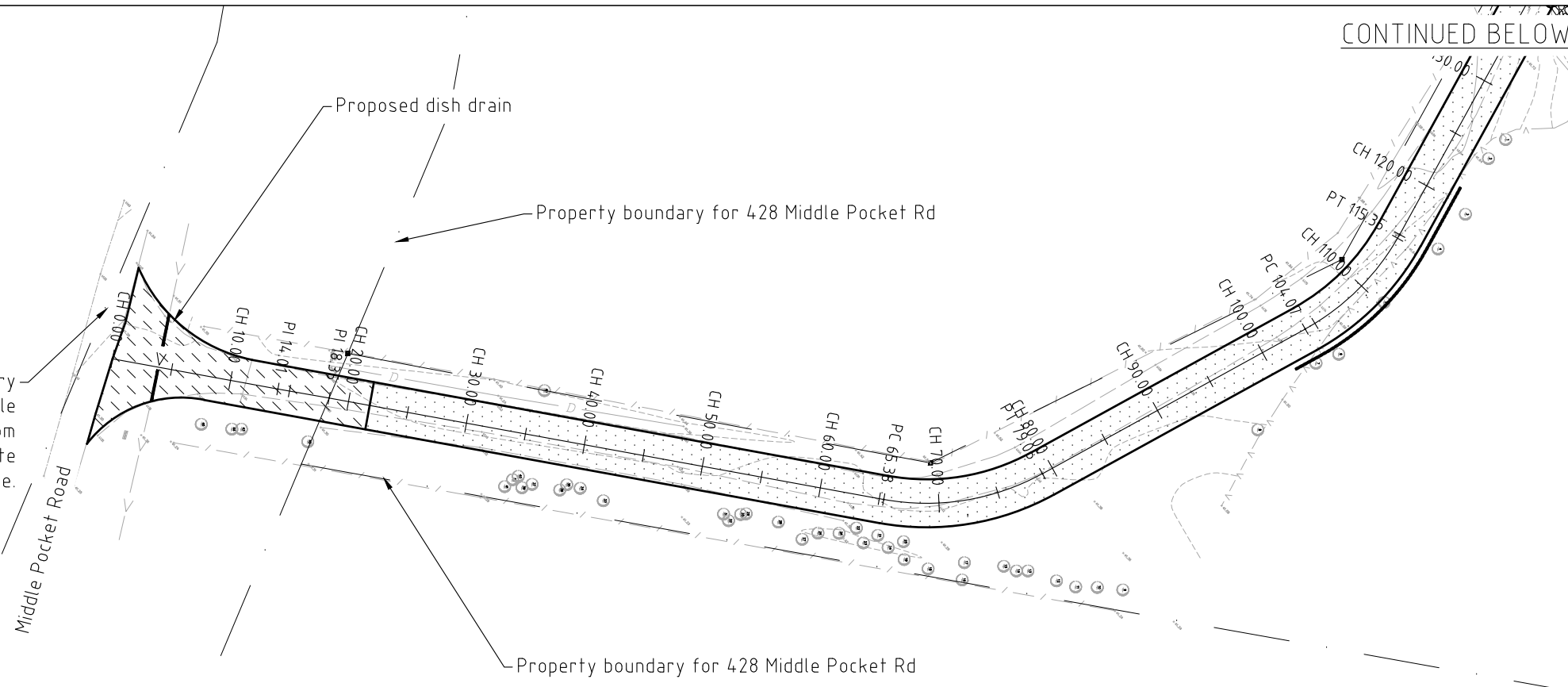
FOR INFORMATION (NOT FOR CONSTRUCTION)

Drawn: EH
 Scale: 1:500
 Checked: SA
 Original Size: A3
 No. in set: 04 of 07
 Job Number: 25070
 Drawing Number: 25070-CIV-DA04

Checked: SA
 Date: 27/08/2024
 Revision: B



Opposite property boundary
Survey indicates Middle
Pocket Road deviates from
the road reserve at the site
frontage.



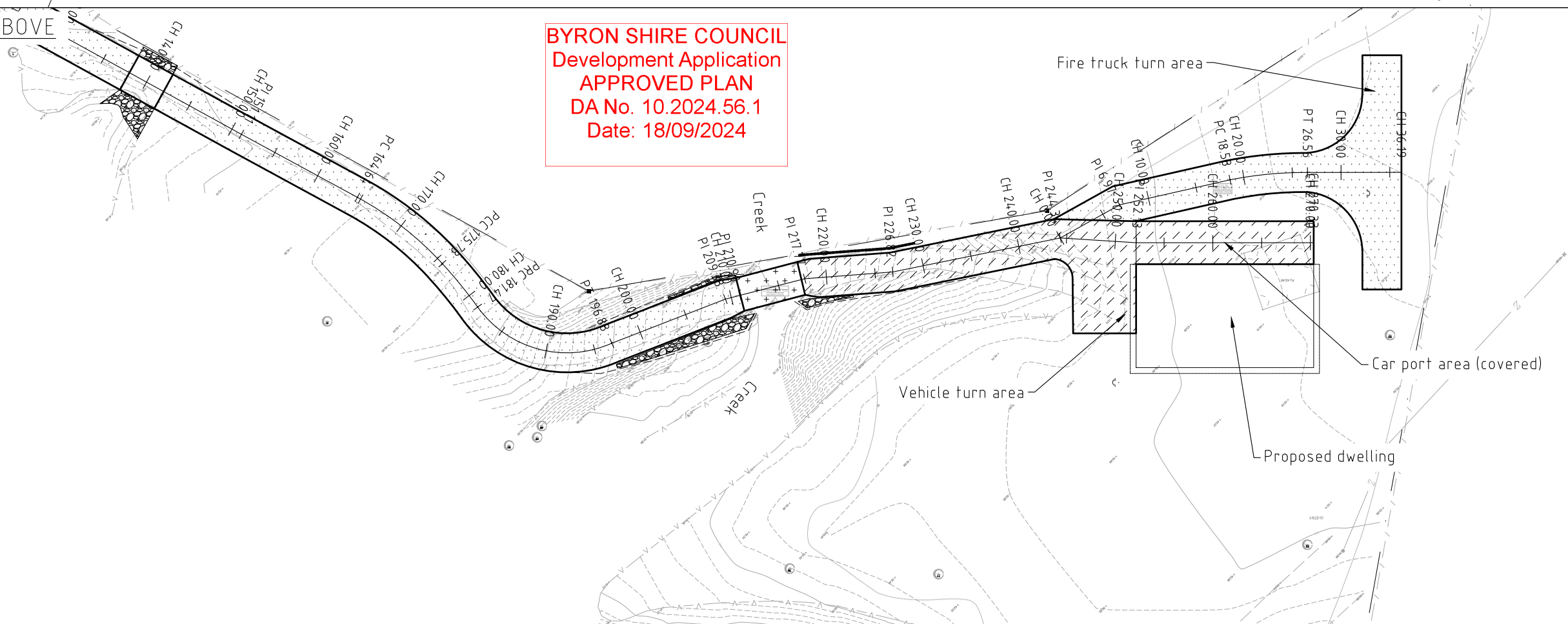
KEY:

	PROPOSED SEALED DRIVEWAY
	PROPOSED UNSEALED DRIVEWAY
	PROPOSED CONCRETE CAUSEWAY AND LEVEL CROSSING
	ROCK RIP-RAP
	PROPOSED RETAINING WALL
	APPROXIMATE EXTENT OF BATTERS
	PROPERTY BOUNDARY



CONTINUED ABOVE

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2024.56.1
Date: 18/09/2024



REV	REVISION DESCRIPTION	BY	DATE
A	FOR INFORMATION	EH	22/08/2024
B	FOR INFORMATION	SA	27/08/2024

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DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS

REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE

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Client: SAM PENNANCE AND JACK VALENTE
Site address: 428 MIDDLE POCKET ROAD MIDDLE POCKET

Title: CONCEPT DRIVEWAY ALIGNMENT
Project: PROPOSED DWELLING

FOR INFORMATION (NOT FOR CONSTRUCTION)			
Drawn: EH	Scale: 1:500	Checked: SA	Date: 27/08/2024
Checked: SA	Original Size: A3	No. in set: 03 of 07	Revision: B
Job Number: 25070	Drawing Number: 25070-CIV-DA03		