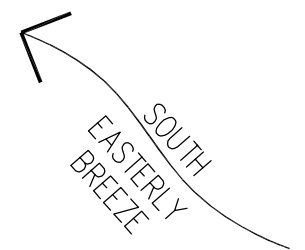
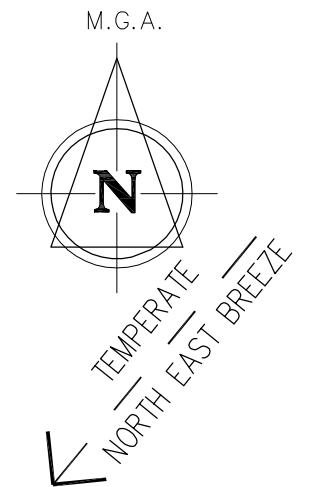
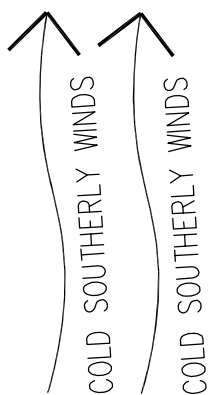


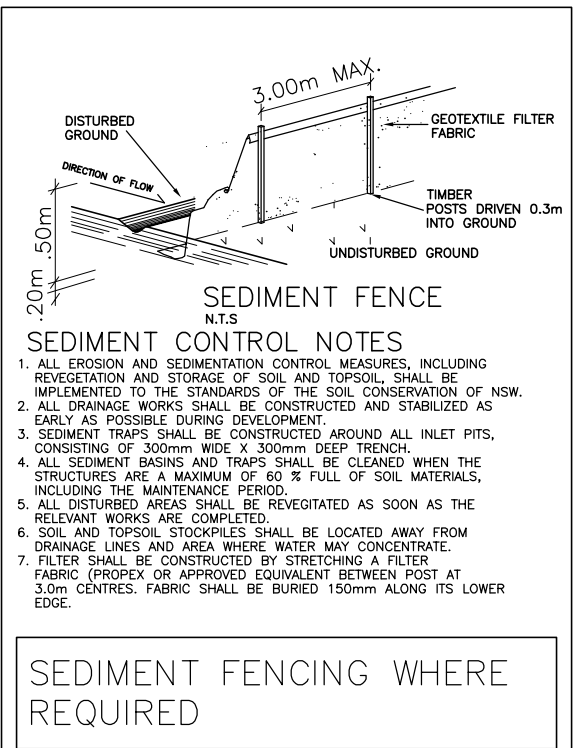
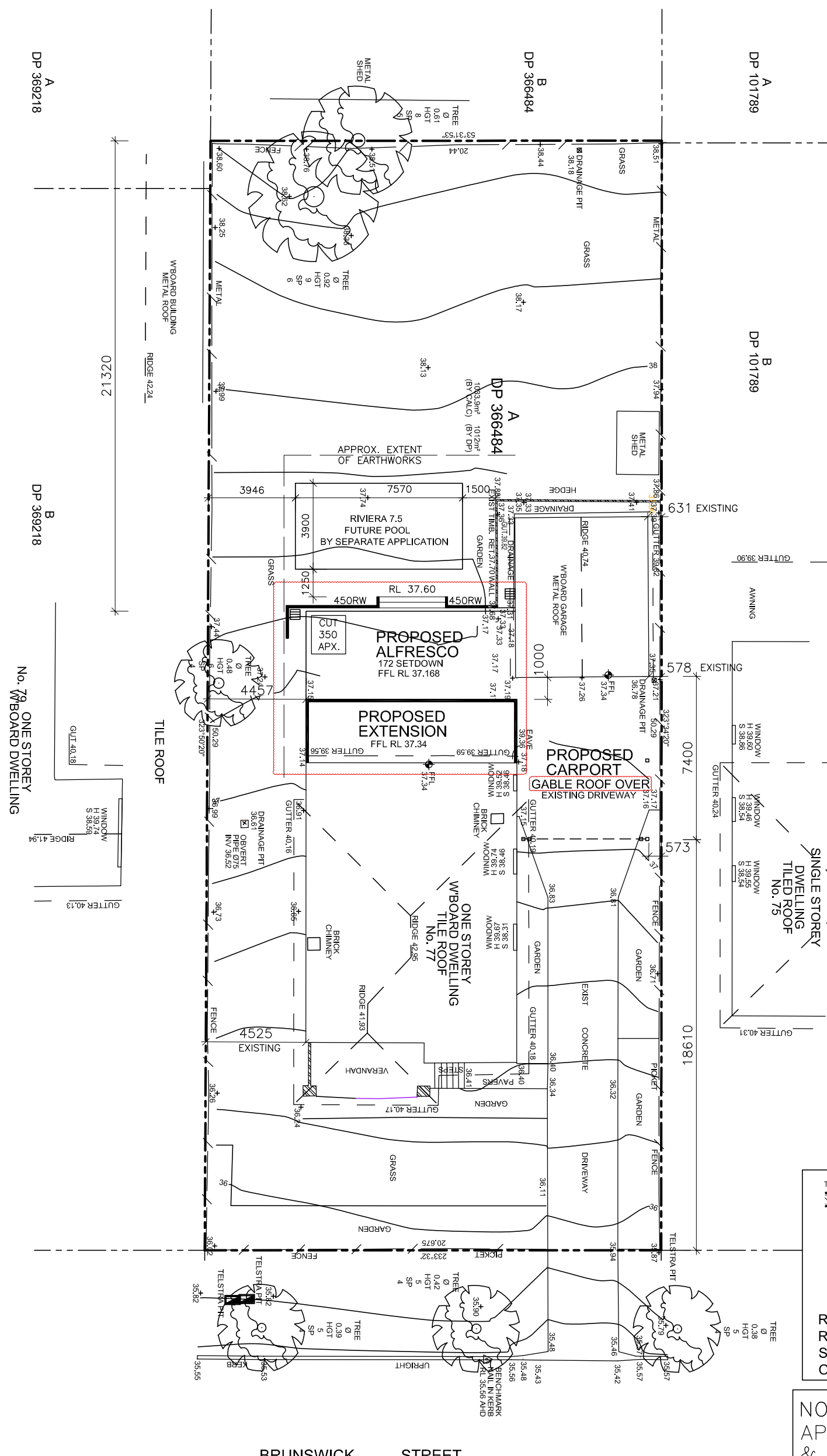
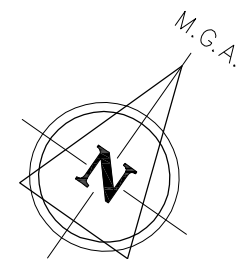
MODIFIED DA/CC S4.55 1(A) S148

77 BRUNSWICK STREET
EAST MAITLAND NSW 2323

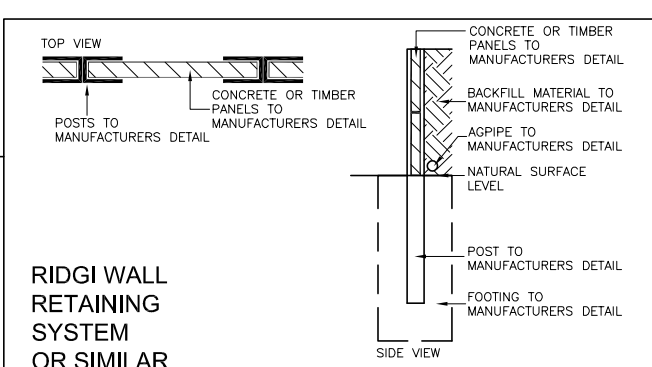
- S 01: LOCATION PLAN
- S 02: PROPOSED SITE PLAN
- S 03: STORMWATER PLAN
- S 04: EXISTING FLOOR PLAN
- S 05: PROPOSED FLOOR PLAN
- S 06: ELEVATIONS
- S 07: ELEVATIONS
- S 08: BASIX REQUIREMENTS / SECTIONS
- S 09: ELECTRICAL PLAN
- S 10: FOOTING / PLUMBING PLAN
- S 11: WET AREA ELEVATIONS



* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



PROVIDE BLUE METAL ACCESS TO PREVENT TRACKING OF SEDIMENT IF REQUIRED



NOTE: ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE.

SITE PLAN

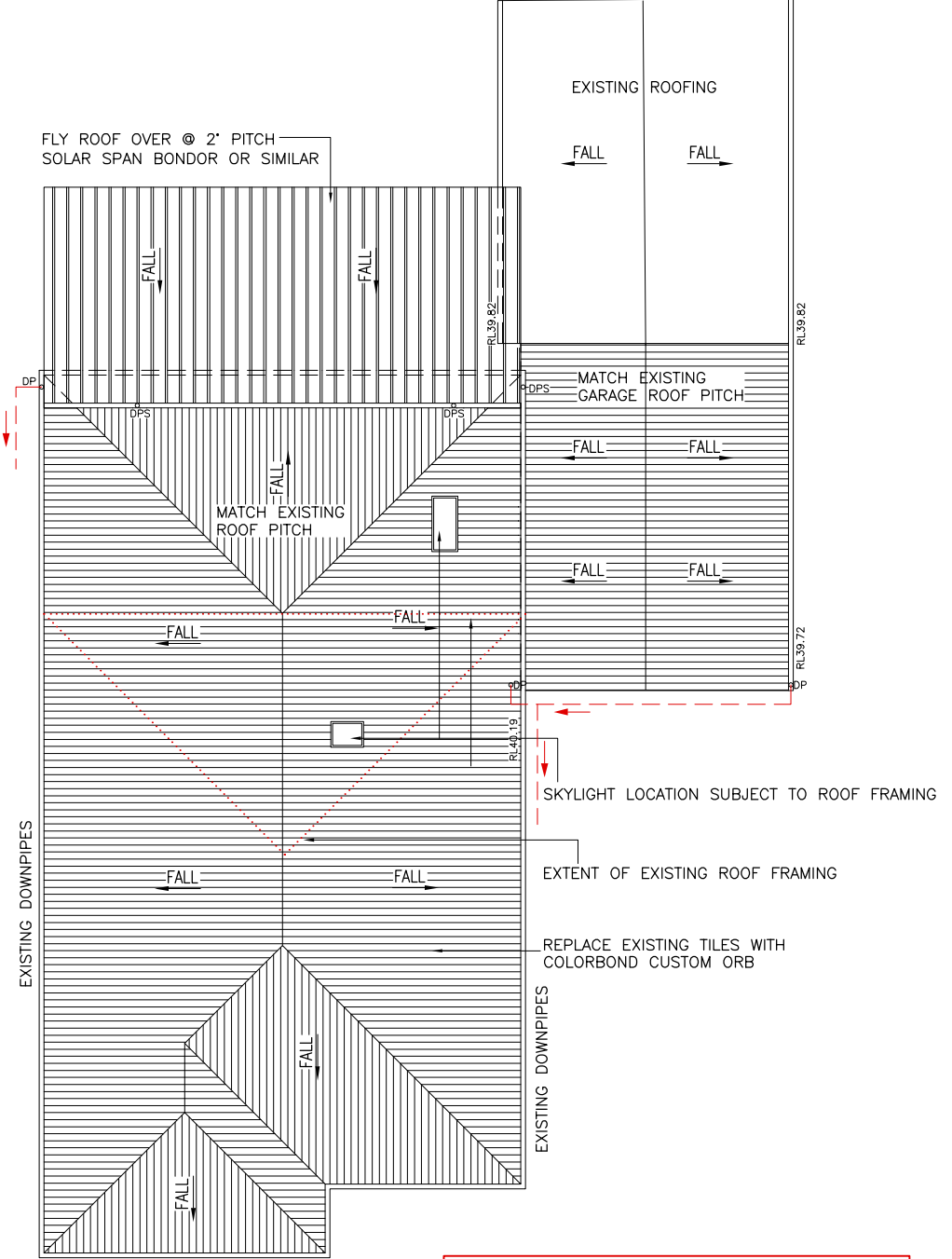
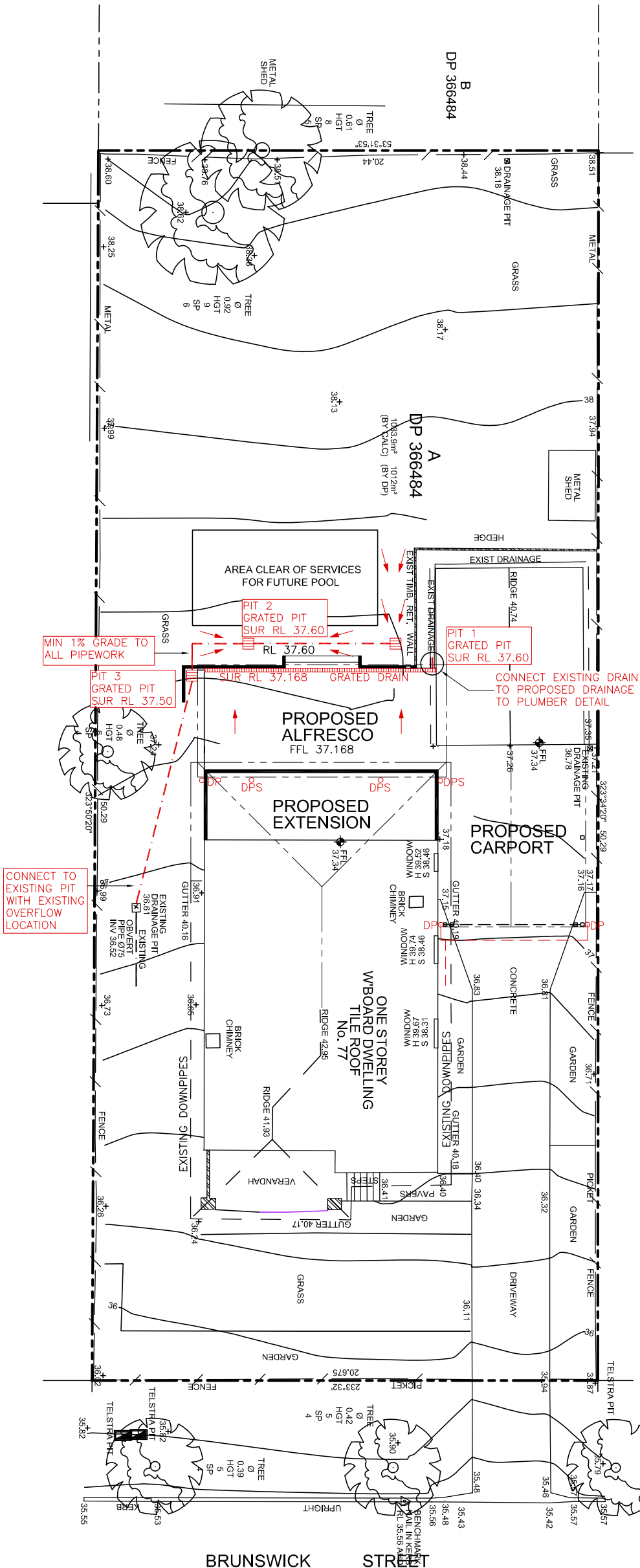
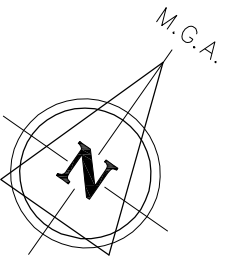
BRUNSWICK STREET



REV.	DRAWN	DATE	DESCRIPTION
1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE

CLIENT JENNIFER PARKER	DESIGN CUSTOM
SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MAITLAND	JOB No. 18/086
	SCALE 1:200
	REV. 1 SHEET S02

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



ROOF PLAN
SCALE 1:150

ADDITIONAL STORMWATER TO EXISTING COUNCIL STORMWATER INFRASTRUCTURE

STORMWATER PLAN

SCALE 1:200



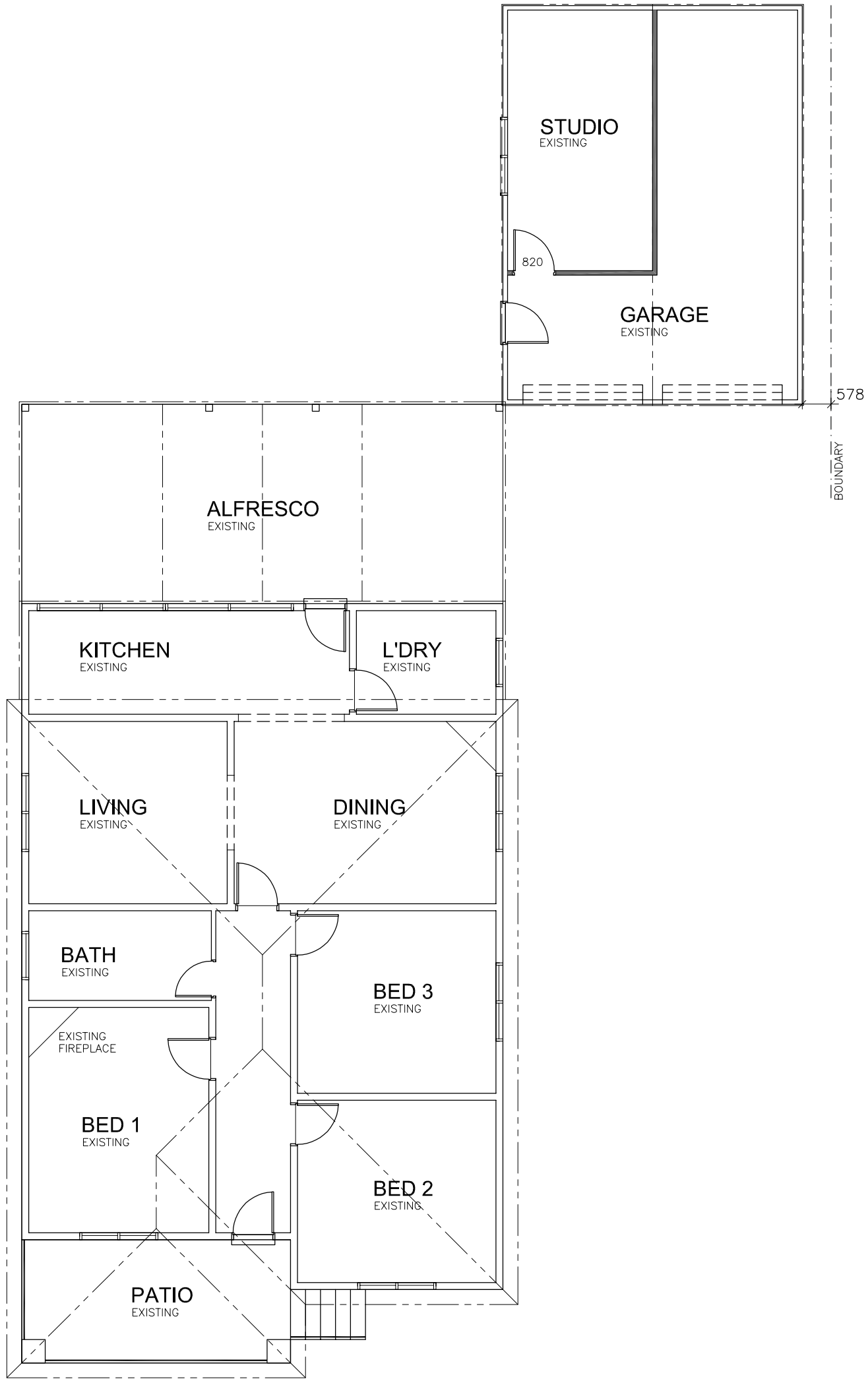
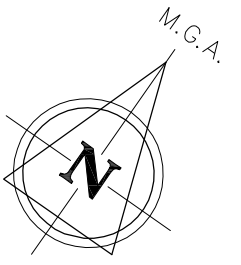
PLANS BY

1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE
REV.	DRAWN	DATE	DESCRIPTION

CLIENT JENNIFER PARKER
SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MAITLAND


DESIGN CUSTOM	
JOB No. 18/086	SCALE AS NOTED
REV. 1	SHEET S03

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



HOUSE:	127.39 m2
PATIO:	13.31 m2
ALFRESCO:	38.60 m2
GARAGE:	48.00 m2
TOTAL:	227.30 m2

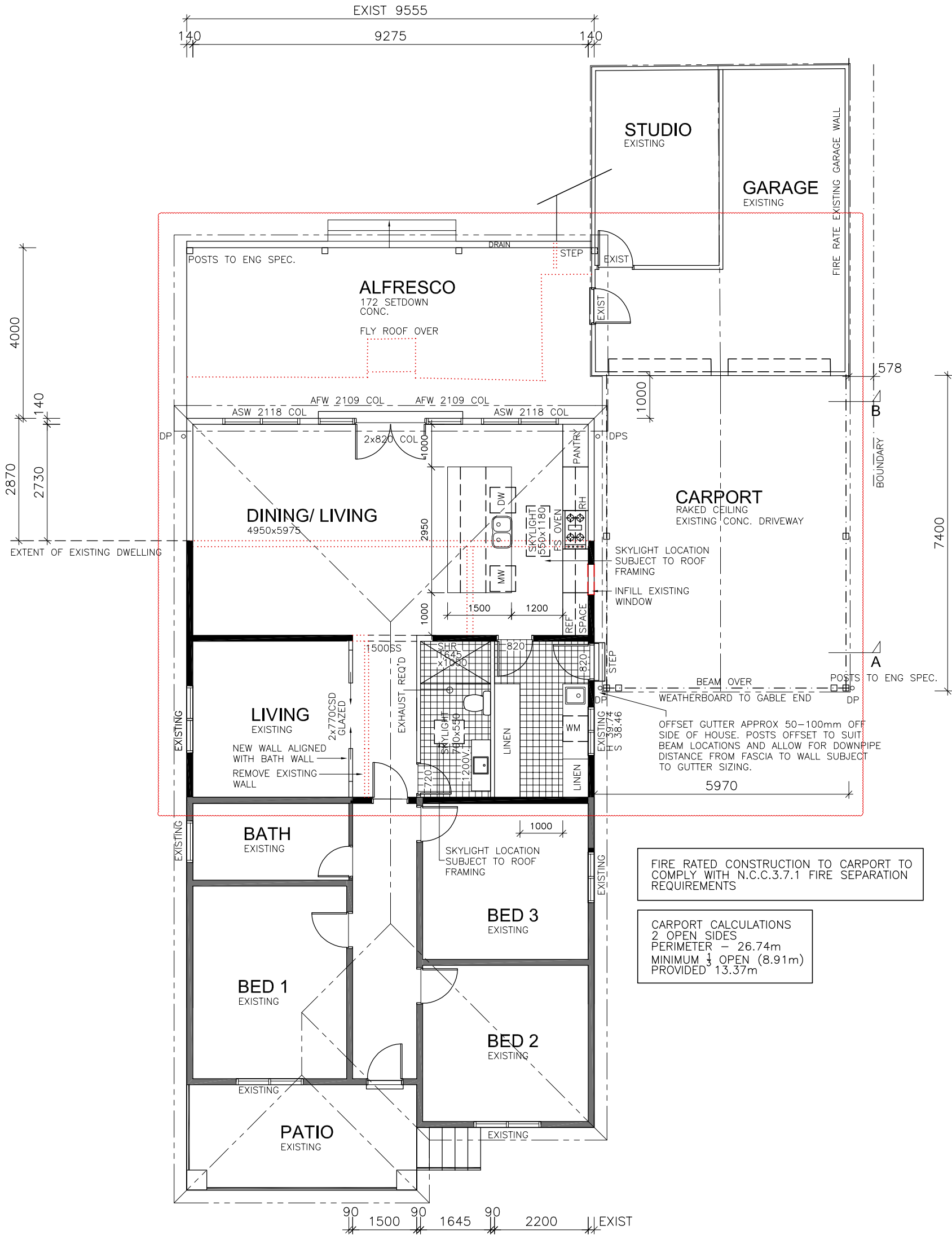
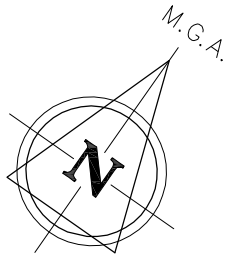
EXISTING FLOOR PLAN

 <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanliving.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT</p>	PLANS BY				CLIENT	DESIGN	
					JENNIFER PARKER	CUSTOM	
	1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE	SITE ADDRESS	JOB No.	SCALE
REV.	DRAWN	DATE	DESCRIPTION	77 BRUNSWICK STREET EAST MAITLAND	18/086	1:100	
					REV. 1	SHEET S04	

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

EXAMPLE FIRE RATING WALL OR SIMILAR

	EXTERNAL WALL SIDE	60 Gold Ballo R1.0	3827	1.0/1.7	40/29	1.0/1.7
	INTERNAL WALL SIDE	60 Gold Ballo R2.0	-	-	40/29	2.0/2.4
	EXTERNAL WALL SIDE	30 Gold Ballo R2.5	-	-	41/20	2.5/2.9
	INTERNAL WALL SIDE	Min. WSB (Fiberglass mat)	1.0	-	-	1.0



FIRE RATED CONSTRUCTION TO CARPORT TO COMPLY WITH N.C.C.3.7.1 FIRE SEPARATION REQUIREMENTS

CARPORT CALCULATIONS
 2 OPEN SIDES
 PERIMETER - 26.74m
 MINIMUM 1/3 OPEN (8.91m)
 PROVIDED 13.37m

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION

PROPOSED FLOOR PLAN

EXISTING WALLS
 PROPOSED NEW WALLS
 EXISTING WALLS TO BE REMOVED

HOUSE:	154.79 m ²
PATIO:	13.31 m ²
ALFRESCO:	37.90 m ²
GARAGE:	48.0 m ²
TOTAL:	254.0 m ²
CARPORT:	44.0m ²

PLANS BY

PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au
 ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

REV.	DRAWN	DATE	DESCRIPTION
1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE

CLIENT
JENNIFER PARKER

SITE ADDRESS
 LOT A DP 366484
 77 BRUNSWICK STREET
 EAST MAITLAND

DESIGN
CUSTOM

JOB No.
18/086

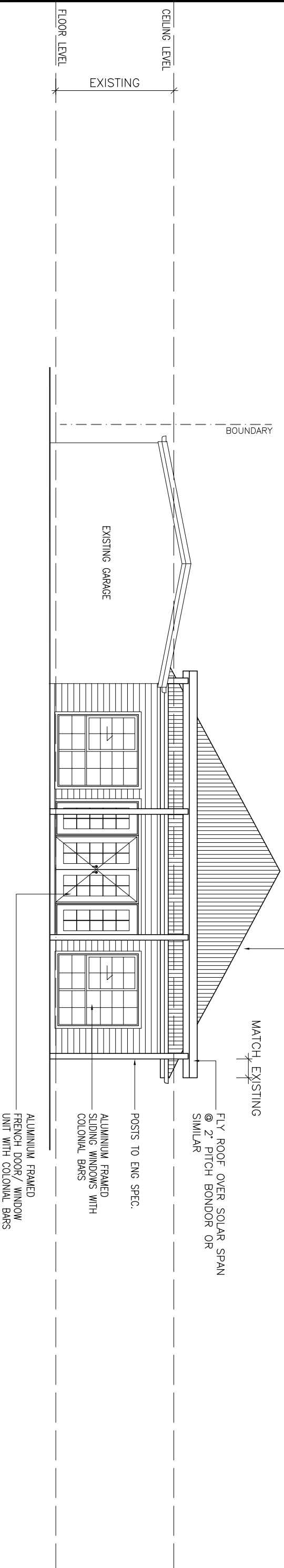
SCALE
 1:100

REV.
1

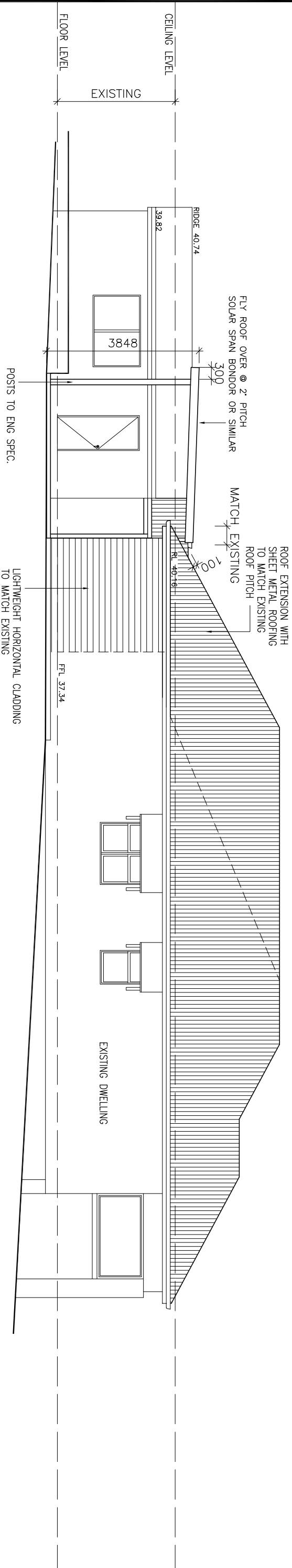
SHEET
S05

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

REFER TO BASIS TABLE FOR CONSTRUCTION REQUIREMENTS





REAR (NORTH-WEST) ELEVATION



LEFT (SOUTH-WEST) ELEVATION

ELEVATIONS

			PLANS BY		
PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT			CLIENT JENNIFER PARKER		
REV. 1 DRAWN HW DATE 11.10.21 DESCRIPTION S4.55 / S148 ORIGINAL ISSUE			SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MAITLAND		
REV. DRAWN DATE DESCRIPTION			DESIGN CUSTOM		
REV. DRAWN DATE DESCRIPTION			JOB No. 18/086		
REV. DRAWN DATE DESCRIPTION			SCALE 1:100		
REV. DRAWN DATE DESCRIPTION			REV. 1		
REV. DRAWN DATE DESCRIPTION			SHEET S07		

		<p>SUMMARY OF BASIS COMMITMENTS</p> <p>This is a summary of the BASIS Commitments as detailed in the BASIS Certificate. Refer to the CURRENT BASIS Certificate for Complete details. For definitions refer to best.nsw.gov.au</p> <p>The following specification details the requirements to achieve BASIS Compliance as indicated in the BASIS Certificate. Once the construction is approved by the relevant authority, the construction must be in accordance with the condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact eCORATE Australia immediately.</p>
<p>WATER COMMITMENTS</p> <p>New or altered fixture requirements:</p> <p>Shower Heads must have a flow rate no greater than 9 L per minute or a 3Star Rating</p> <p>Toilets must have a flow rate no greater than 4L per avg flush or a min 3Star Rating</p> <p>Taps must have a flow rate no greater than 9 L per minute or a 3Star Rating</p>		
<p>LIGHTING COMMITMENTS</p> <p>A min of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps</p> <p>Hot Water: Using existing</p>		
<p>CONSTRUCTION AND INSULATION REQUIREMENTS</p> <p>External Wall Construction Insulation Framed: (weatherboard/fibro, similar) R1.30/ or R1.70 (nd construction)</p> <p>Roof and Ceiling Construction Insulation Colour flat ceiling, pitched roof ceiling: R2.50 (up), roof: fullsarking Medium</p> <p>Floor Construction Insulation Existing NI</p> <p>Windows Glass and frame type U/SHGC Area sq m Generic Single clear Aluminium U - 1.83 SHGC - 0.78 As drawn</p> <p>U and SHGC values are according to NFRC. Alternate products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.</p> <p>Fixed shading Eaves - Other Eaves (and gutters, Verandahs, Pergolas (type and description)) Shaded areas and shade devices as drawn</p>		

BASIX Building Sustainability Index

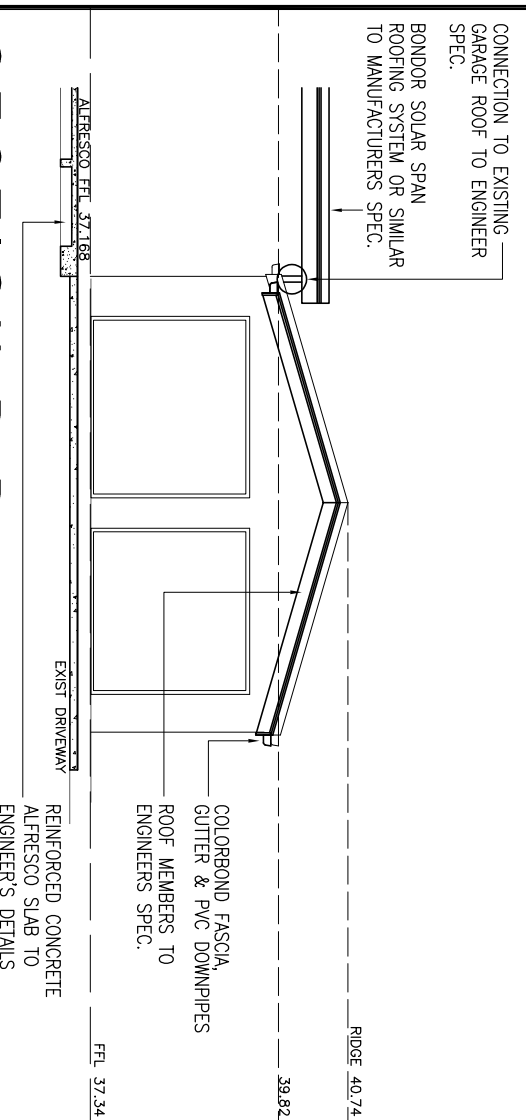
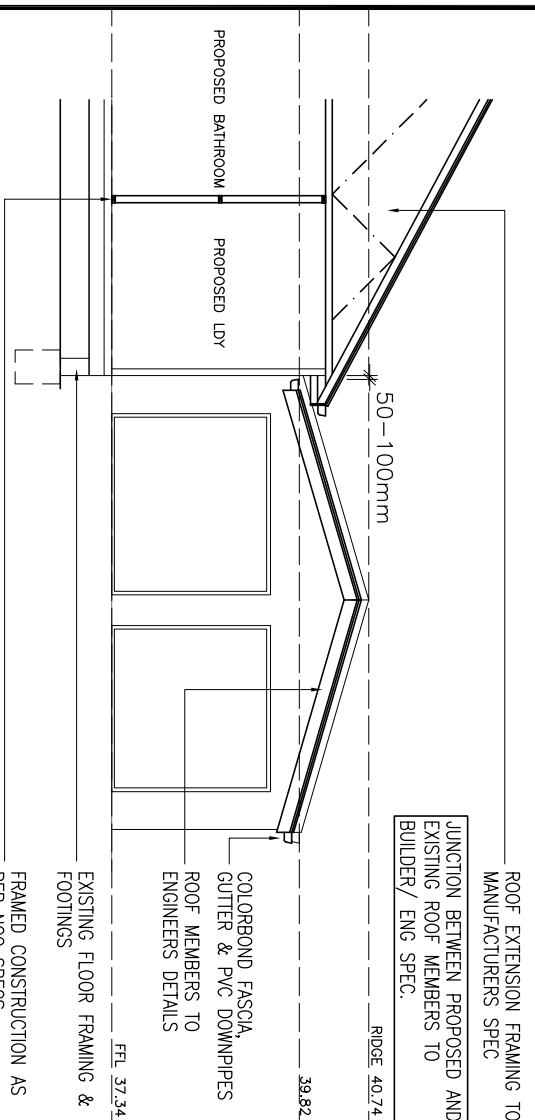
BASIX Help Line: 1300 650 918
 Headoffice: 200pm - 600pm
 23/33 Bridge Street, Sydney NSW 2000
 Email: basix@urbanliving.com.au

Department of Planning & Environment
 23/33 Bridge Street, Sydney NSW 2000
 GPO Box 96 Sydney NSW 2007
 Email: basix@urbanliving.com.au

TO BE UPDATED


MECHANICAL VENTILATION DISCHARGE TO EXTERNAL WALL/ EAVE

BASIX REQUIREMENTS

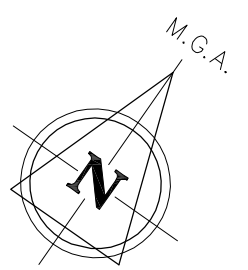


SECTIONS

REFER TO BASIS TABLE FOR CONSTRUCTION REQUIREMENTS

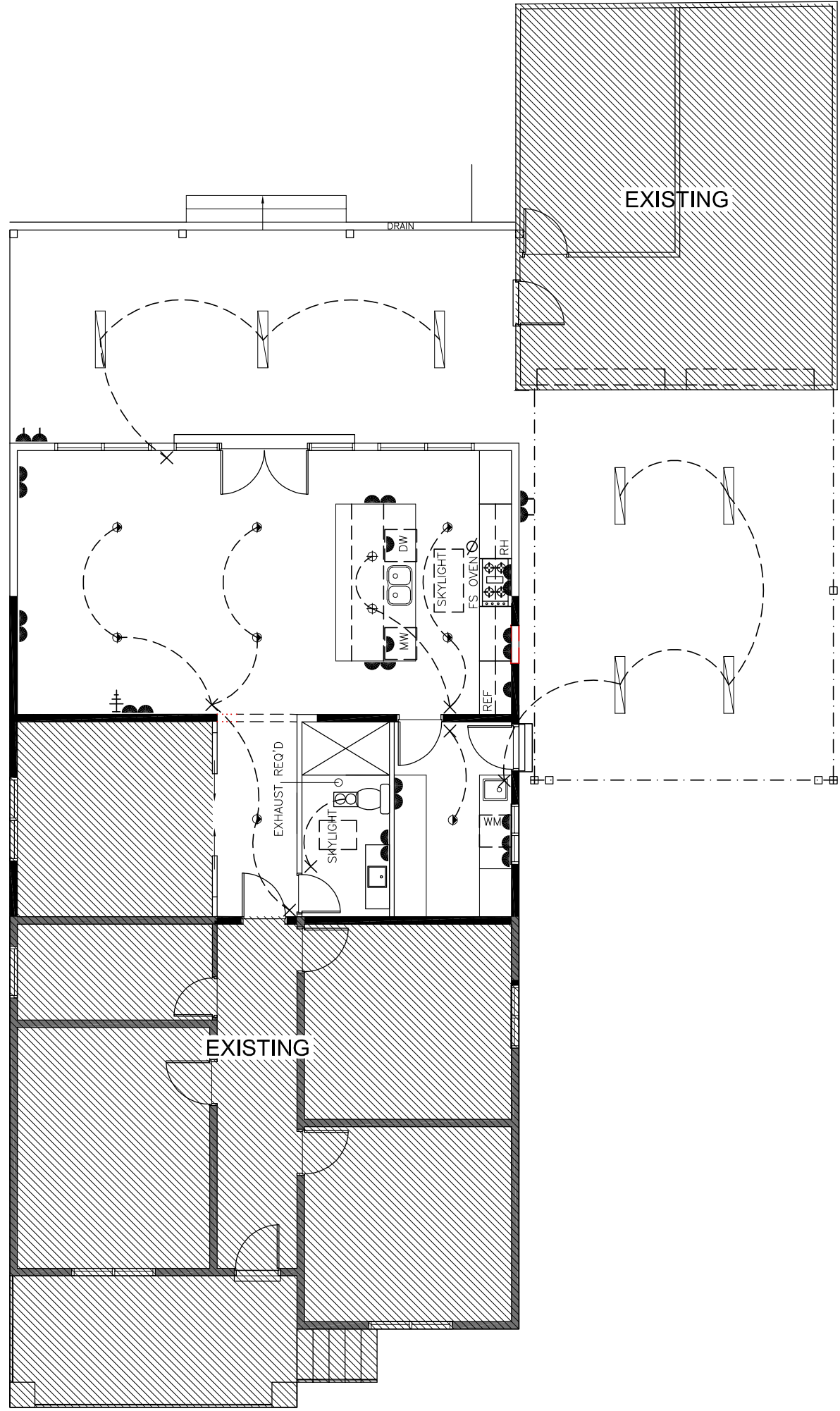
		PLANS BY	
PO Box 648 Maitland NSW 2320 - M: 0401 002 089 - E: info@urbanlivingdesign.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT		CLIENT JENNIFER PARKER SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MATTLAND	
REV. DRAWN DATE DESCRIPTION		DESIGN CUSTOM JOB No.	
1 HW 11.10.21 S4.55 / S148 ORIGINAL ISSUE		18/086	
		REV. SHEET 1 S08	

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE



ELECTRICAL LEGEND

- BATTEN HOLDER – CEILING
- BATTEN HOLDER – WALL
- ∅ PERMANENT POWER
- ▭ FLUORESCENT LIGHT
- × SWITCH POSITION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- WEATHERPROOF DOUBLE POWER POINT
- ⊙ EXHAUST FAN/LIGHT
- ⊗ FLOOD LIGHT
- Ⓢ SMOKE ALARM (HARD WIRED)
- PHONE PHONE/FAX POINT
- TV TV POINT
- I.X.L. I.X.L. TASTIC FAN/LIGHT/HEATER
- I.X.L. I.X.L. TASTIC FAN/LIGHT/HEATER
- DOWNLIGHT
- ⊕ FEATURE PENDANT
- ✻ CEILING FAN
- A/C AIR CONDITIONING
- METER METER BOX

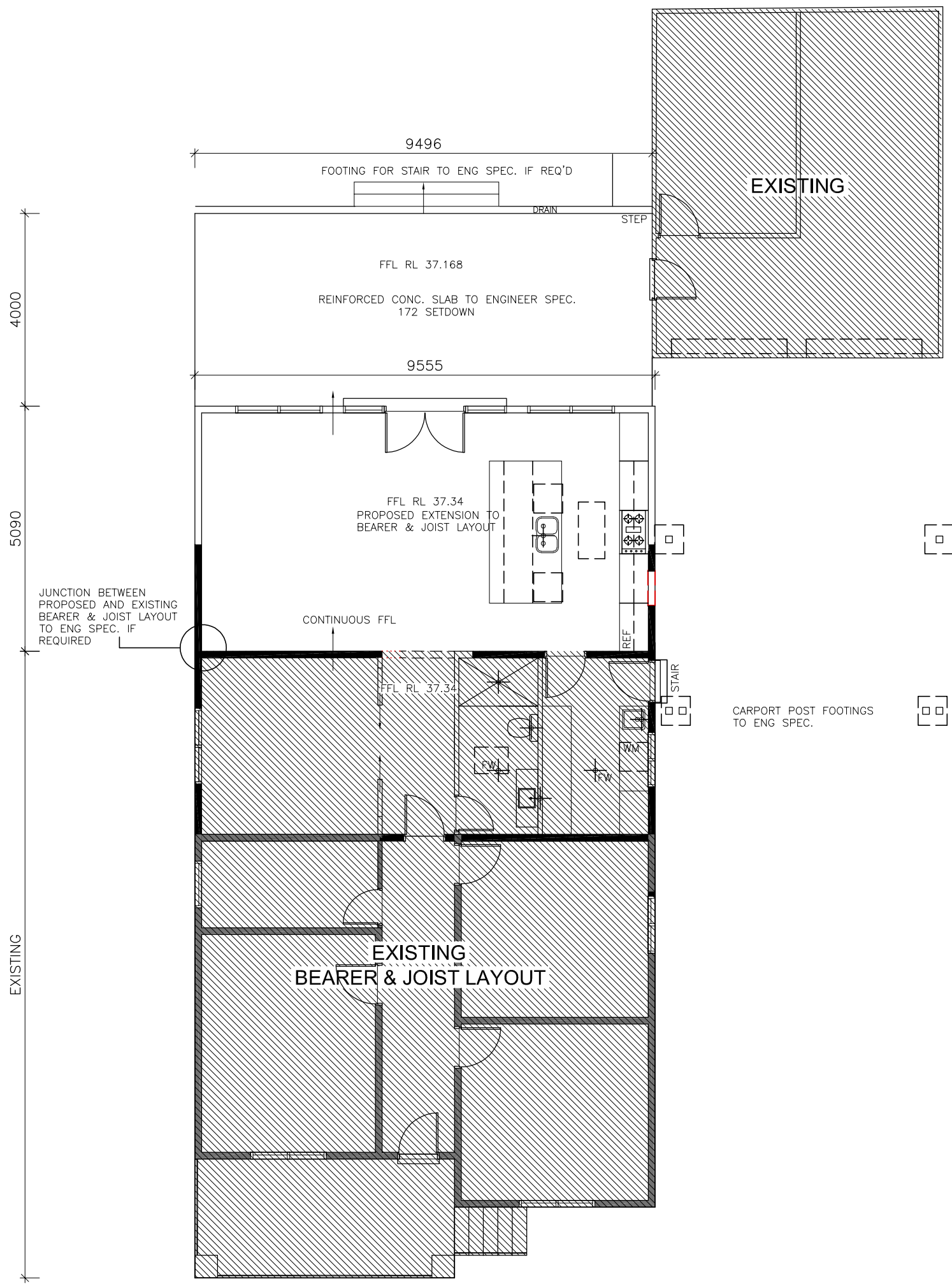
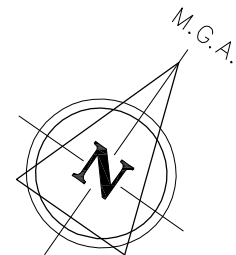


DUCTED AC UNIT
GAS COOKTOP
ELECTRIC OVEN

ELECTRICAL PLAN

 <p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT</p>	PLANS BY			CLIENT JENNIFER PARKER	DESIGN CUSTOM	
	1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE	SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MAITLAND	JOB No. 18/086
				REV. DRAWN DATE DESCRIPTION		

* WRITTEN DIMENSIONS TO TAKE PREFERENCE OVER SCALE

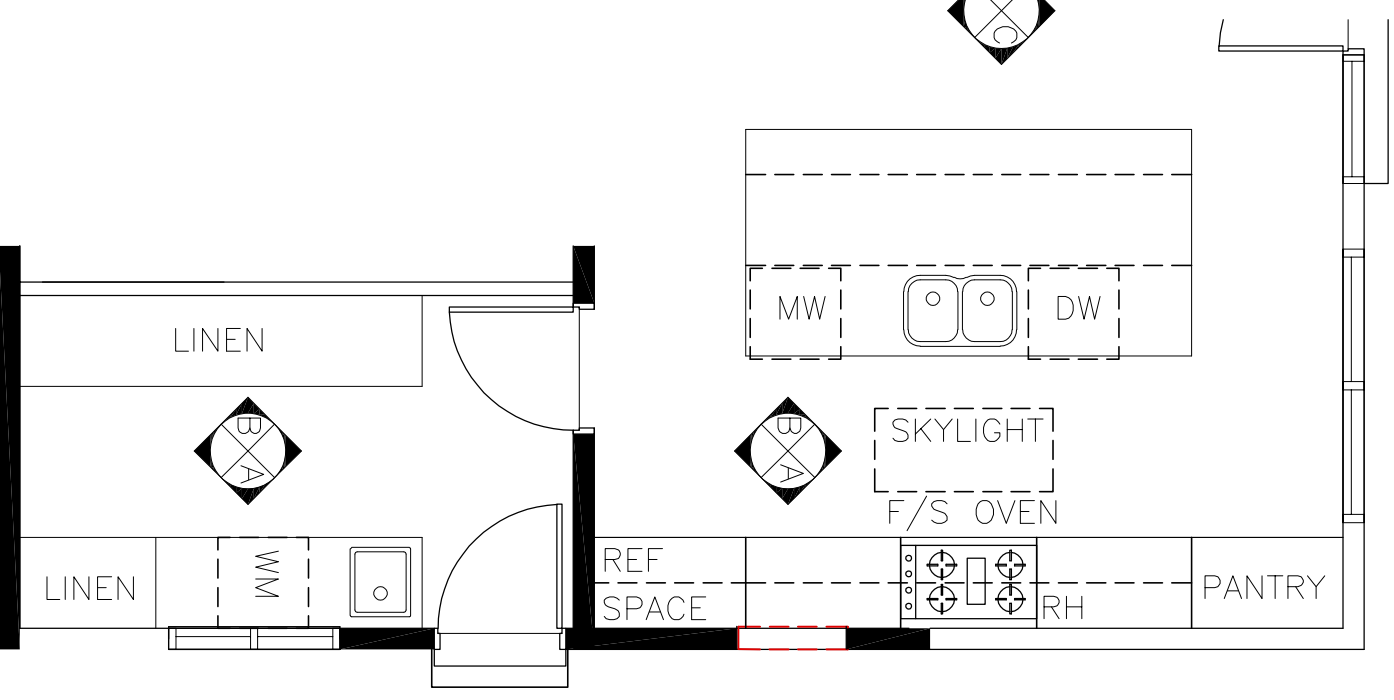
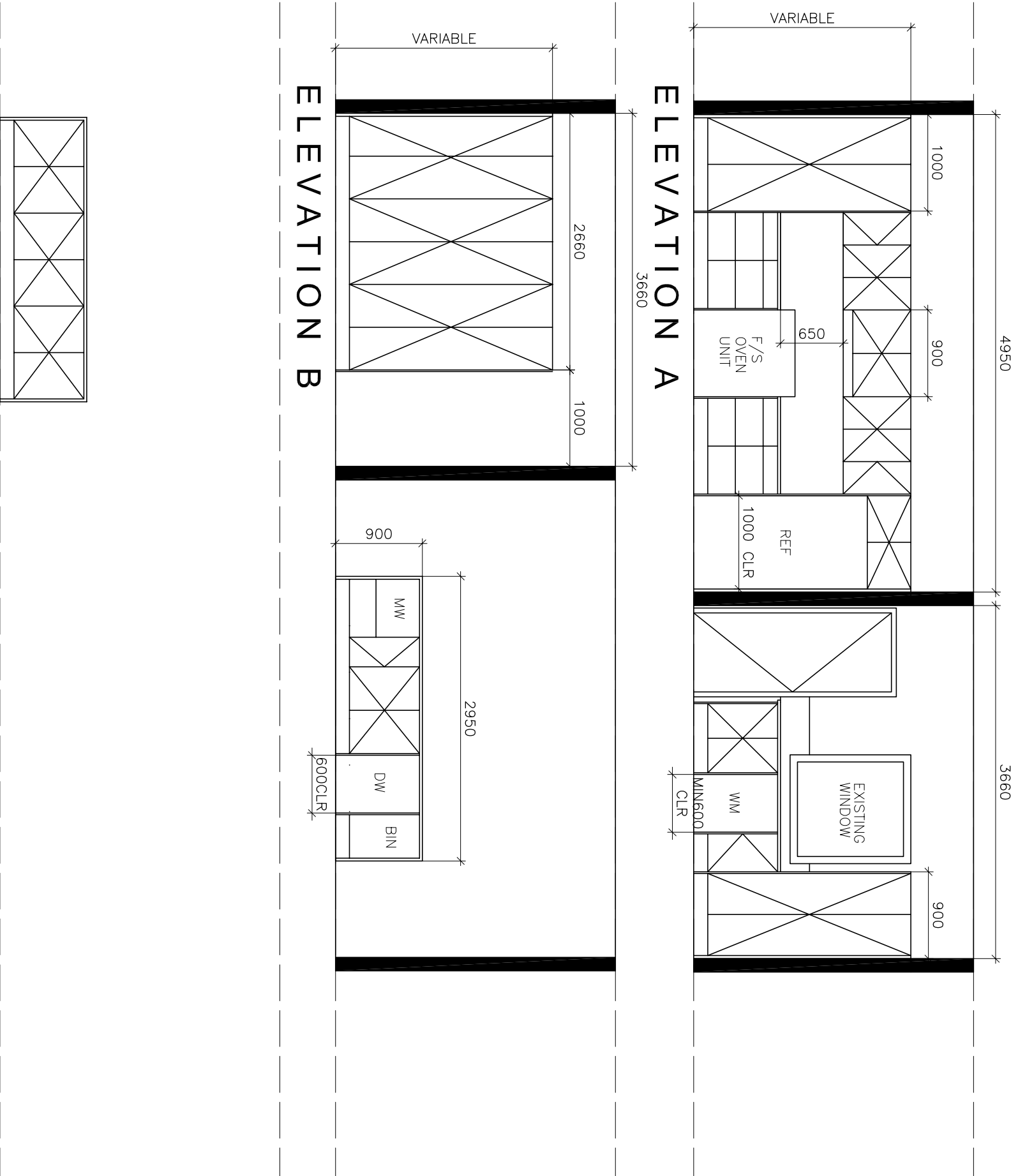


✦ PLUMBING POINT LOCATIONS TO BE CONFIRMED ON SITE

ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION

FOOTING / PLUMBING PLAN

<p>PO Box 648 Maitland NSW 2320 - M: 0401 002 099 - E: info@urbanlivingsolutions.com.au ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT</p>	PLANS BY		CLIENT JENNIFER PARKER		DESIGN CUSTOM								
	<table border="1"> <tr> <td>1</td> <td>HW</td> <td>11.10.21</td> <td>S4.55 / S148 ORIGINAL ISSUE</td> </tr> <tr> <th>REV.</th> <th>DRAWN</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </table>		1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE	REV.	DRAWN	DATE	DESCRIPTION	SITE ADDRESS LOT A DP 366484 77 BRUNSWICK STREET EAST MAITLAND		JOB No. 18/086
1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE										
REV.	DRAWN	DATE	DESCRIPTION										
					REV. 1	SHEET S10							



WET AREA ELEVATIONS

ELEVATION C

ELEVATION A

ELEVATION B

PLANS BY



PO Box 648 Maitland NSW 2320 - M: 0401 002 089 - E: info@urbanlivingsolutions.com.au
ENERGY SMART DESIGN, DEVELOPMENT & ASSESSMENT

REV.	DRAWN	DATE	DESCRIPTION	REV.	DRAWN	DATE	DESCRIPTION
1	HW	11.10.21	S4.55 / S148 ORIGINAL ISSUE				

CLIENT
JENNIFER PARKER

SITE ADDRESS
LOT A DP 366484
77 BRUNSWICK STREET
EAST MAITLAND

DESIGN
CUSTOM

JOB No.
18/086

SCALE
1:100

REV. **1**

SHEET **S11**