

- SITE MAP LEGEND:**
- Studied plot property line
 - Other property lines and elements
 - Existing fence or gate on the property
 - Trees
 - Entrance of Existing structures
 - Existing structures on studied plot
 - LON: / LAT:** Coordinates from ACT MAPI

NOTE:
- Site map was completed based on the Building File Search documentation, including an old survey, on site measurements and ACT MAPI

NOTE:**
BOUNDARY SETBACK
- MAKE YOUR NOTES HERE

EASEMENT ACCESS
- MAKE YOUR NOTES HERE

SOLAR BUILDING ENVELOPE
- MAKE YOUR NOTES HERE

TREE MANAGEMENT
- MAKE YOUR NOTES HERE

POS - (Private Open Space)
- MAKE YOUR NOTES HERE

- EASEMENT MAP LEGEND:**
- Studied plot property line
 - Other property lines and elements
 - Existing fence on front boundary
 - Trees
 - Existing structures on studied plot
 - Electrical easement
 - Stormwater overlapping Electrical easement
 - Sewer overlapping Electrical easement

NOTE:
Each entity has different requirements for access to their easements on a block for maintenance

ELECTRICITY - EVO ENERGY
1.50m wide and min 2.40m high machinery access to any pole location on your block

STORMWATER - TCCS
In new suburbs access is via the spine (along the easement). In the other locations access of 2.50m x 2.50m is required

SEWERAGE - ICON WATER
If Depth to Pipe Inverter <2.2m - most cases:
1.80m wide x 2.65m high clearance is required
If Depth to Pipe Inverter 2.2m - 3.0m:
2.50m wide x 2.85m high clearance is required

CANBERRA GRANNY FLAT BUILDERS
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PROJECT DETAILS
Customer Name: Andrew Wallace
Project Address: 22 Horne Place, Canberra ACT 2606
Block No 34
Section No 44

AREAS

Proposed Secondary Residence GFA	52.00 m ²
Proposed Garage GFA	66.51 m ²
Proposed Roof Area	138.09 m ²
Block Area	940.00 m ²
Actual Block Ratio	26.47 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area]	673.14 m ²
Minimum Private Open Space [(Block area x 0.60) - 50]	514.00 m ²

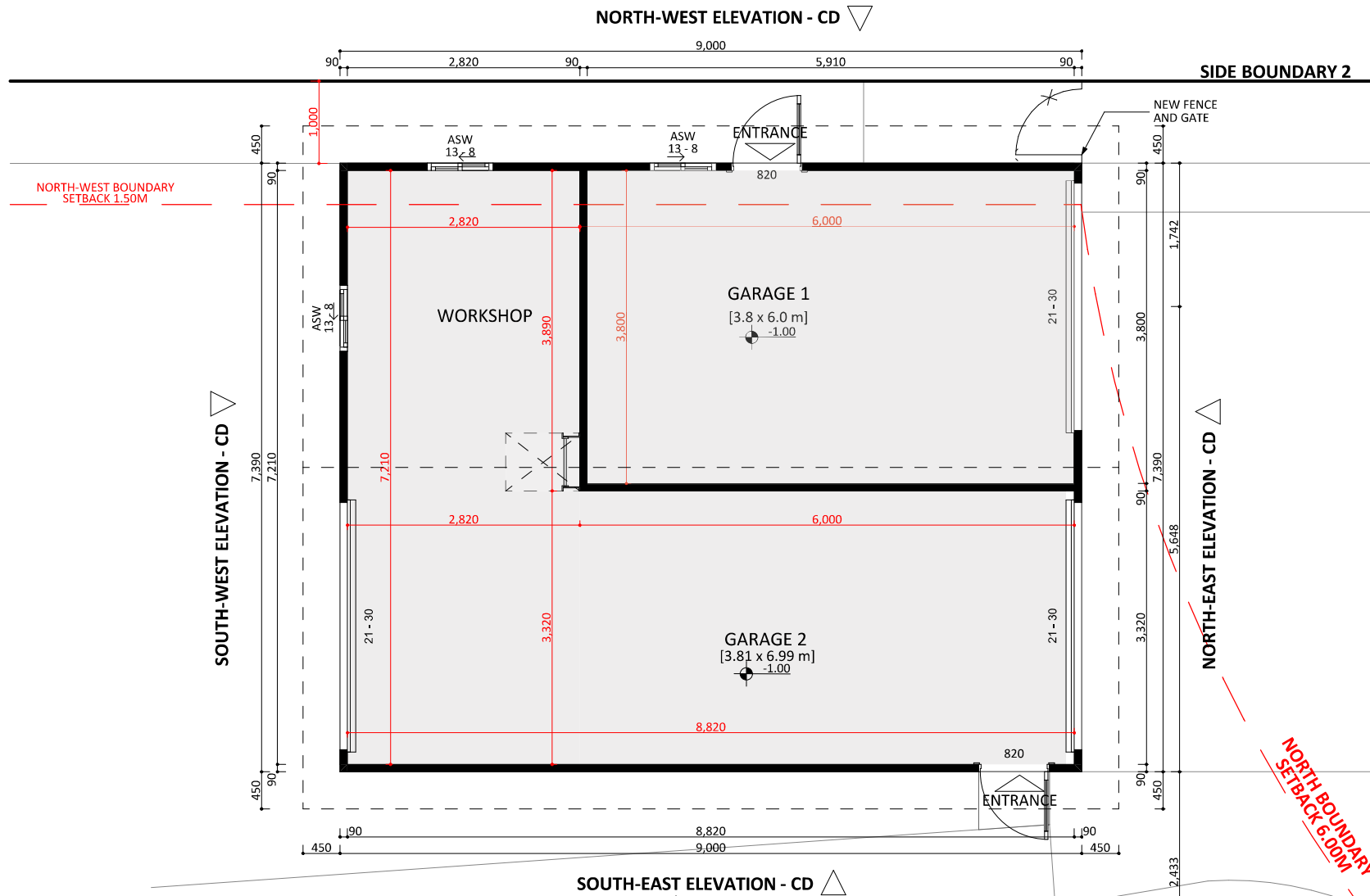
REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE
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DRAWING NAME
SITE MAP - NEW

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:200	A3	2	0687



PROJECT DETAILS

Customer Name: Andrew Wallace
 Project Address: 12 Home Place, Lutlum ACT 2615
 Block No 34
 Section No 44

AREAS

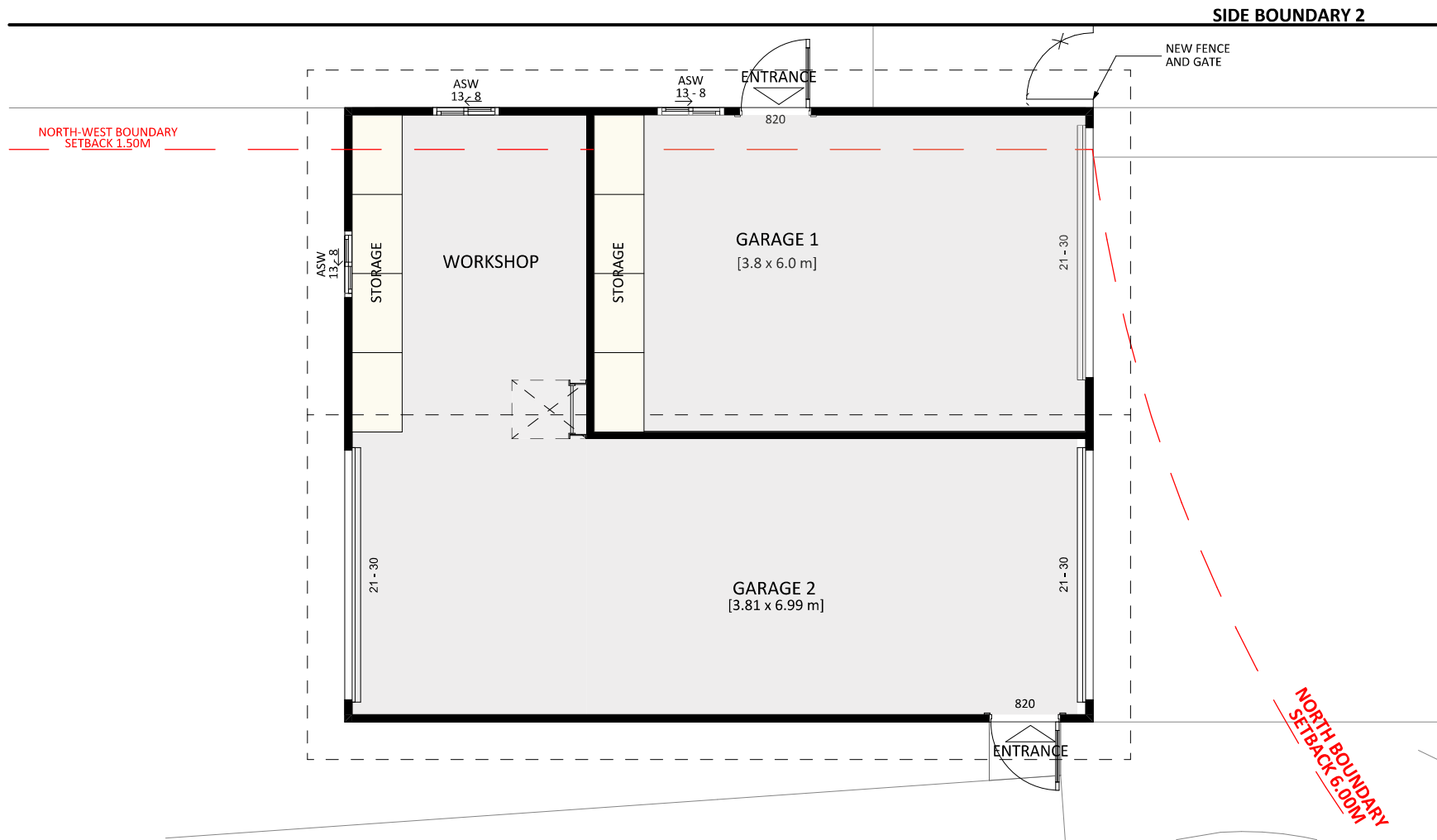
Proposed Secondary Residence GFA	52.00 m ²
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REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME
FLOOR PLAN - DIMENSIONS - GARAGE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	6	0687



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PROJECT DETAILS

Customer Name: Andrew Wallace
 Project Address: 12 Morris Place, Latham ACT 2615
 Block No 34
 Section No 44

AREAS

Proposed Secondary Residence GFA	52.00 m ²
Proposed Garage GFA	66.51 m ²
Proposed Roof Area	138.09 m ²
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C3.3	CONCEPT DESIGN	14 Sep 2021	LL

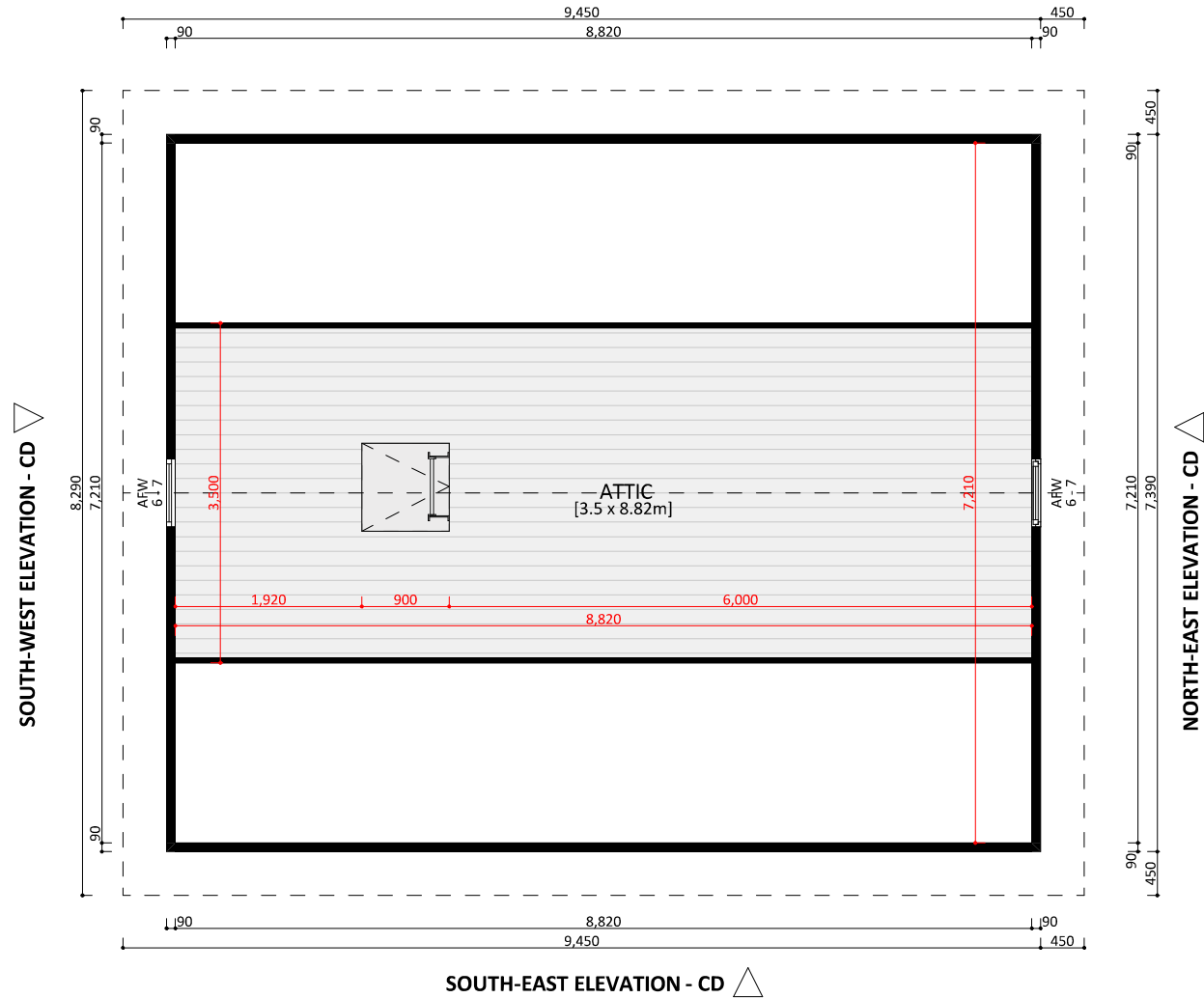
NAME	SIGNATURE	DATE

DRAWING NAME

FLOOR PLAN - FURNITURE - GARAGE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	7	0687

NORTH-WEST ELEVATION - CD ▽



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PROJECT DETAILS

Customer Name: Andrew Wallace
 Project Address: 12 Home Place, Lutahm ACT 2615
 Block No 34
 Section No 44

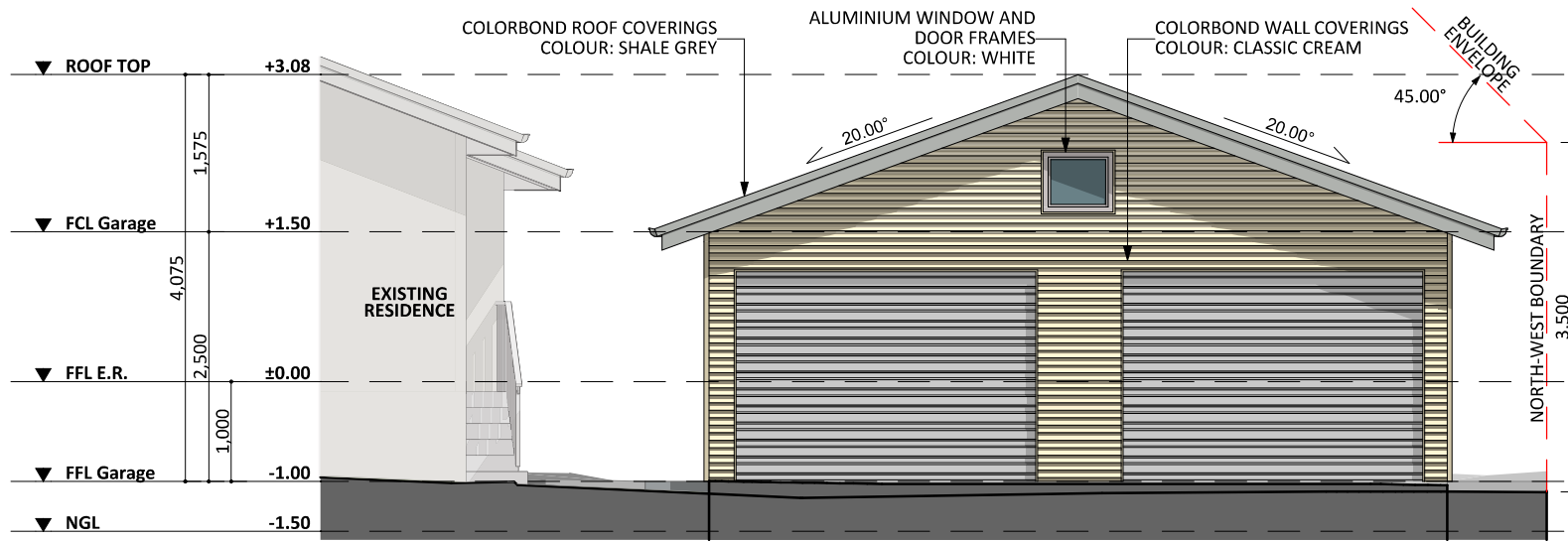
AREAS

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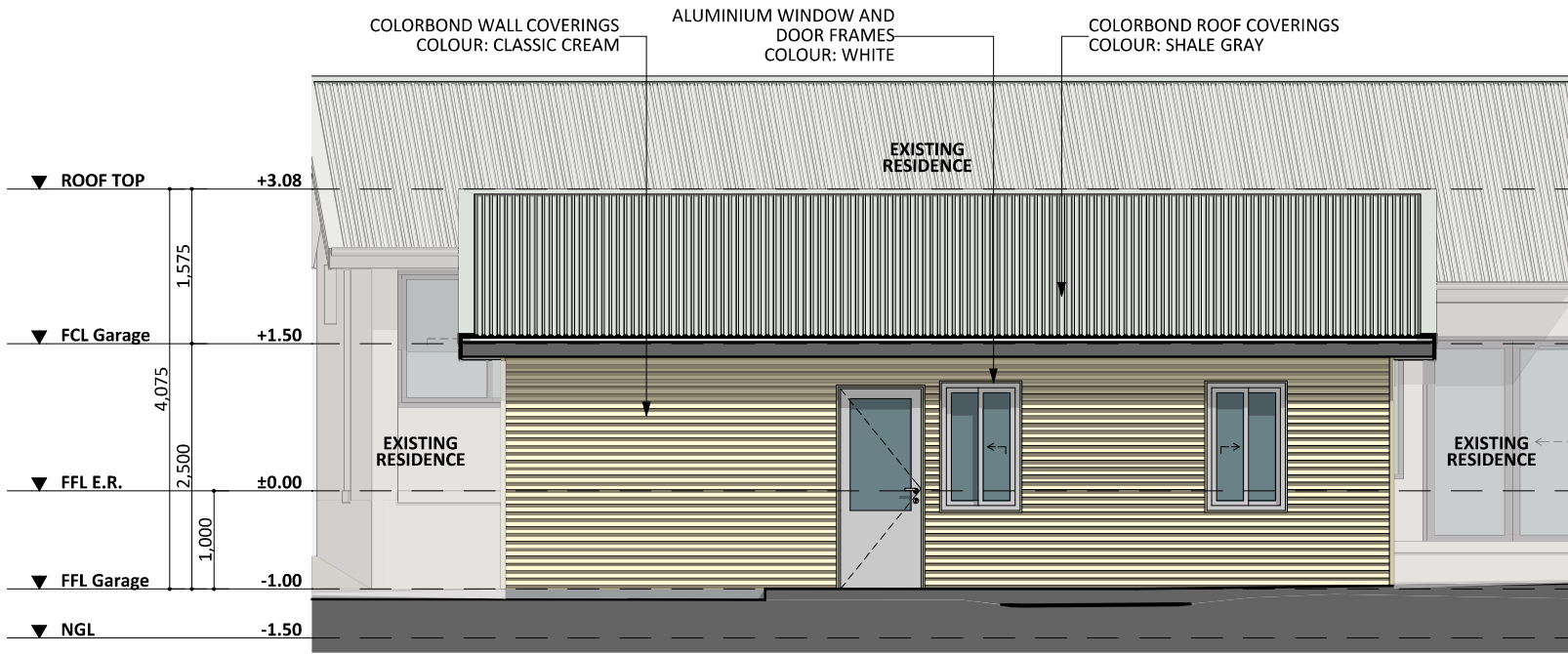
REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

NAME	SIGNATURE	DATE

DRAWING NAME			
FLOOR PLAN - DIMENSION - GARAGE			
ATTIC			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	8	0687



NORTH-EAST ELEVATION - CD



NORTH-WEST ELEVATION - CD



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GRANNY FLAT
BUILDERS**

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PROJECT DETAILS

Customer Name: Andrew Wallace
 Project Address: 12 Morris Place, Latham ACT 2604
 Block № 34
 Section № 44

AREAS

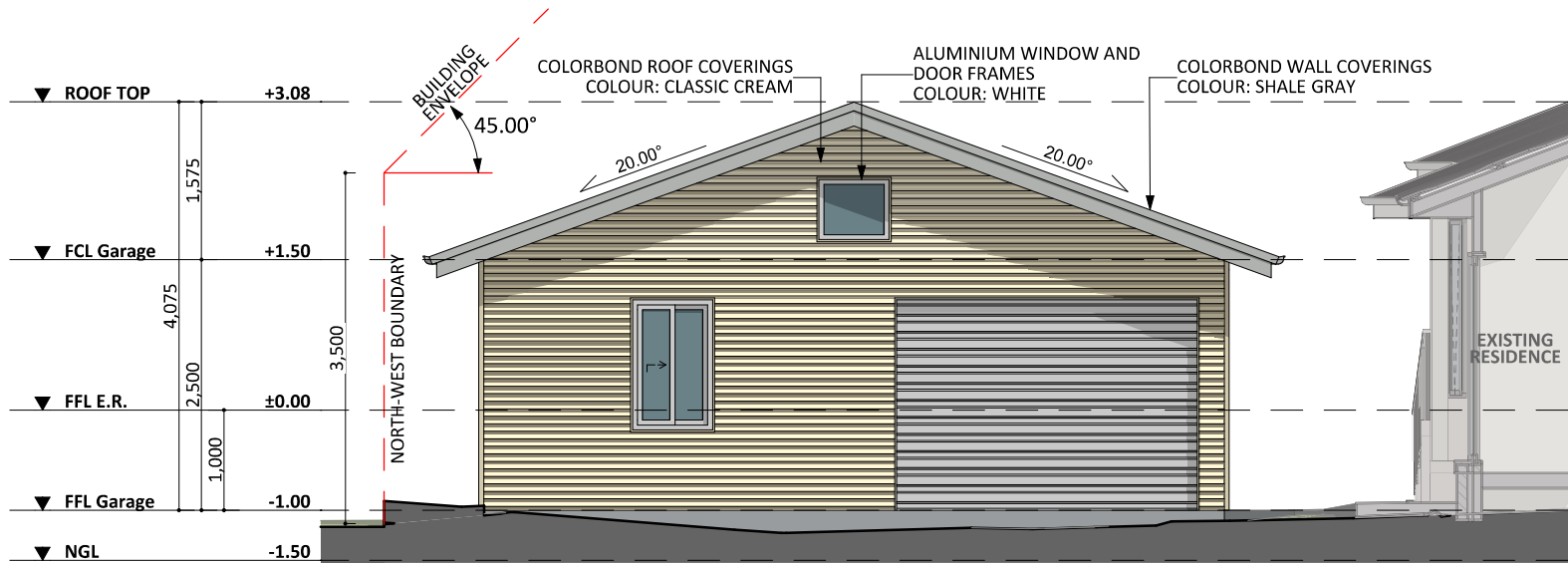
Proposed Secondary Residence GFA	52.00 m ²
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REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

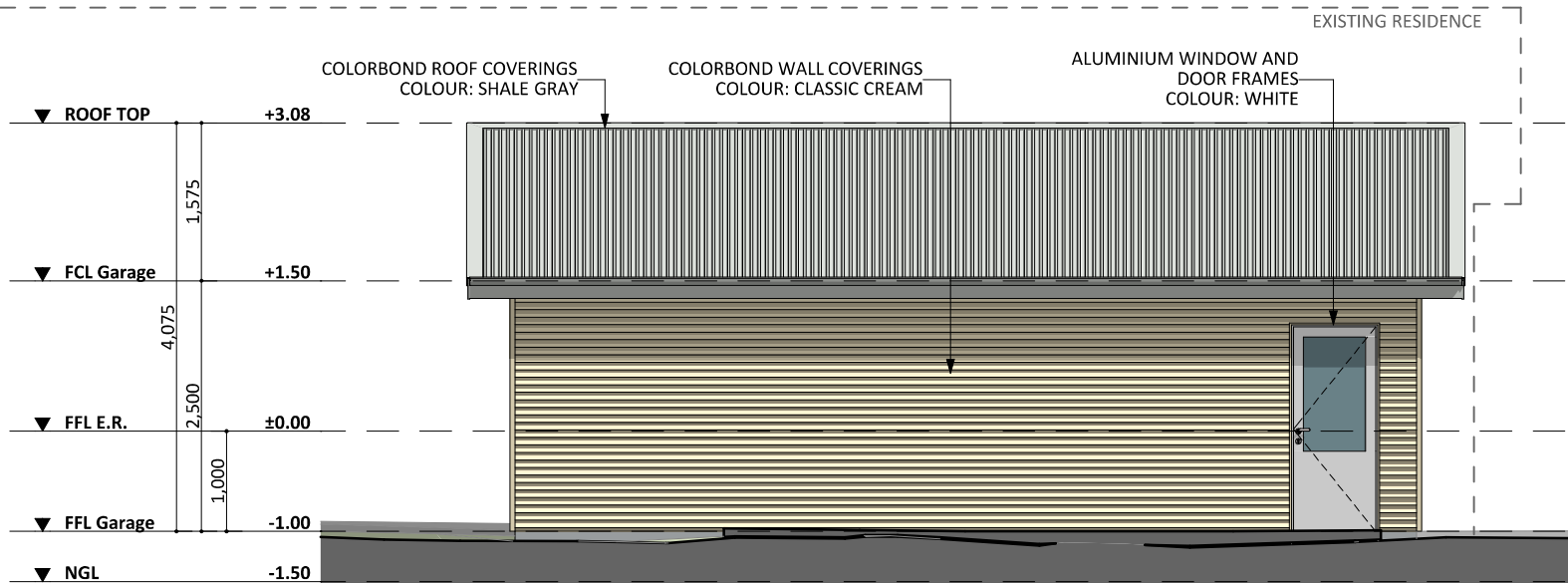
CUSTOMER APPROVAL

NAME	SIGNATURE	DATE
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DRAWING NAME			
ELEVATIONS 1 - GARAGE			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	12	0687



SOUTH-WEST ELEVATION - CD



SOUTH-EAST ELEVATION - CD

PROJECT DETAILS

Customer Name: Andrew Wallace
Project Address: 12 Morris Place, Latham ACT 2615
Block No 34
Section No 44

AREAS

Proposed Secondary Residence GFA	52.00 m ²
Proposed Garage GFA	66.51 m ²
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REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

CUSTOMER APPROVAL

NAME SIGNATURE DATE

DRAWING NAME

ELEVATIONS 2 - GARAGE

DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
1:50	A3	13	0687



PROJECT DETAILS

Customer Name: Andrew Wallace
Project Address: 12 Morris Place, Eucumb, ACT 2615
Block No 34
Section No 44

AREAS

Proposed Secondary Residence GFA 52.00 m²
Proposed Garage GFA 66.51 m²
Proposed Roof Area 138.09 m²
Block Area 940.00 m²
Actual Block Ratio 26.47 %
Actual POS [(GFA + Gar. GFA + Dr'way) - Block area] 673.14 m²
Minimum Private Open Space [(Block area x 0.60) - 50] 514.00 m²

REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

CUSTOMER APPROVAL		
NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOTS 3			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
A3		16	0687



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PROJECT DETAILS

Customer Name: Andrew Wallace
 Project Address: 12 Morris Place, Lutlum ACT 2615
 Block No 34
 Section No 44

AREAS

Proposed Secondary Residence GFA 52.00 m2
 Proposed Garage GFA 66.51 m2
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52.00 m2
 66.51 m2
 138.09 m2
 940.00 m2
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 514.00 m2

REV	DESIGN PHASE	DATE	INITIALS
C3.3	CONCEPT DESIGN	14 Sep 2021	LL

CUSTOMER APPROVAL

NAME	SIGNATURE	DATE

DRAWING NAME			
SNAPSHOTS 4			
DRAWING SCALE	SHEET SIZE	DRAWING NUMBER	CHECKLIST NUMBER
A3	17	0687	