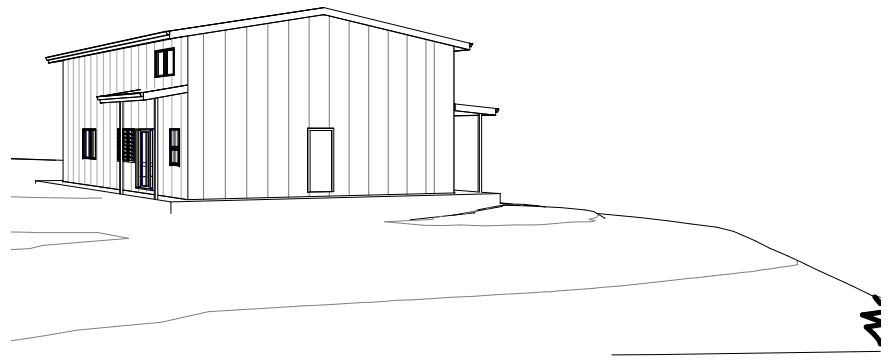




2 3D View 2



1 3D View 4

BOAT GARAGE FOR ANDREW AND BELINDA TALBOT LOT 206 PRINGLE ROAD

Sheet List	
Sheet Number	Sheet Name
A00-0	COVER SHEET
A01-1	WPHS
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CLIENT;
ANDREW AND BELINDA TALBOT

PROJECT;
**PROPOSED BOAT GARAGE
 LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;
COVER SHEET

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale

DRAWING NO;	No.	REVISION DESCRIPTION	Date
A00-0	A	FOR DA	21.07.21
Project number		00392-20 A	
Date		JUL 2021	
Drawn by		NF	
Checked by		NF	

WHS Report Notes

The following notes make up the recommended minimum report required under the Work Health and Safety Act 2011. Under the Act designers are required to “provide adequate information to each person who is provided with the design” and also to “any person who carries out activities in relation to the structure if requested”. (*Draft Code of Practice: Safe Design of Building and Structures*) Specifically, the designer is required to provide “the person commissioning the design on the health and safety aspects of the design”. (*Draft Code of Practice: Safe Design of Building and Structures*) These notes have been prepared based on the *Draft Code of Practice: Managing Risks in Construction Work* and discussing the risks which the Code identifies as common in the construction of buildings. It follows that most are also the risks associated with maintenance and demolition. If the building has been designed as a workplace and the end-use is known at the time of design, additional operational health and safety issues must be identified and addressed by the designer through consultation with clients, workers and/or other safety consultants. Notes on operational issues must be added to the report.

To ensure that all relevant persons are made aware of the report provisions, it is recommended that the report be part of the drawings but the “person commissioning the design” should also be made aware that the report applies not only to the construction stage but also to maintenance, renovation, demolition and, if applicable, to the operation of the building as a workplace. It should be retained and displayed or kept in a prominent location during the operation of the building.

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

(for houses or other low-rise buildings where scaffolding is appropriate)

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

(for buildings where scaffold, ladders, trestles are not appropriate)

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment should be used in accordance with relevant codes of practice, regulations or legislation.

(if appropriate, add this note)

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any persons engaged to work on the building after completion of construction work should be informed about the anchorage points.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES

(have you considered slippery surfaces in the selection of surface finishes?)

Specified finishes have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

(if you have not been involved in the selection of surface finish)

The owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment.

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

(for building on a major road, narrow road or steeply sloping road)

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

(for building where on-site loading/unloading is restricted)

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

(for all buildings)

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

(in locations with underground power)

Underground power lines are located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

(in locations with overhead power lines)

Overhead power lines are near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer’s specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer’s specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

(for alterations to a building constructed prior to 1990) -This building was constructed prior to 1990 and therefore may contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

(for alterations to a building constructed prior to 1986) - This building was constructed prior to 1986 and therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. The builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building includes provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer’s recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building contains timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer’s recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

(for buildings with enclosed spaces where maintenance or other access may be required) Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

(for buildings with small spaces where maintenance or other access may be required) Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

(for residential buildings) This building has been designed as a residential building. If it, at a later date, is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

(for non-residential buildings where the end-use has not been identified) This building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end-user.

(for non-residential buildings where the end-use is known) (please note that additional notes may need to be added specific to the use)

This building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with *Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012* and all licensing requirements.

All work using Plant should be carried out in accordance with *Code of Practice: Managing Risks of Plant at the Workplace*.

All work should be carried out in accordance with *Code of Practice: Managing Noise and Preventing Hearing Loss at Work*.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

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PROJECT:

**PROPOSED BOAT GARAGE
 LOT 206 PRINGLE ROAD WOODWARK**

WPHS

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale

Drawn by NF

Checked by NF

JUL 2021

No.	REVISION DESCRIPTION	Date
A	Code of Practice: Managing Noise and Preventing Hearing Loss at Work.	21.07.21
	Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.	

GENERAL NOTES:

- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ENGINEERS SPECIFICATION & DESIGN DRAWINGS
- ALL WORK SHALL COMPLY WITH NCC, BUILDING ACT, AUSTRALIAN STANDARDS AND LOCAL BUILDING BY-LAWS.
- ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE.
- ANY DISCREPANCIES, OMISSIONS OR ERRORS ARE TO BE REPORTED IMMEDIATELY TO THE OFFICE OF TROPICCOOL BUILDING & HOME DESIGN FOR RECTIFICATION.
- TERMITE PROTECTION SHALL COMPLY WITH AS 3660 AND NCC VOLUME 2 3.1.3.
- TIMBER FRAMING IS TO COMPLY WITH AS 1684. OR AS SPECIFIED BY CERTIFYING ENGINEER.
- DESIGN WIND SPEED TO BE CALCULATED BY CERTIFYING ENGINEER.
- ALL LAMINATED BEAMS TO HAVE FULL WIDTH BEARING AT EACH END
- MASONARY CONSTRUCTION TO AS 3700.
- ALL HAND RAILS TO BE A MIN 1000 MM. ABOVE FINISHED FLOOR (CARPET, TILES ETC) AND WITH 124MM MAX SPACING BETWEEN BALUSTRADING.
- W.C.'S TO HAVE A MIN CLEAR WIDTH OF 900 AND THE DOOR TO W.C.'S TO HAVE LIFT OFF HINGES.
- SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS 3786 & BCA 3.72
- ALL LEVELS TO BE VARIFIED ON SITE .CERTIFIED ENGINEER TO BE NOTIFIED IF ANY VARIATION TO THAT DRAWN.
- ALL STAIRS TO HAVE 190MM MAXIMUM RISERS AND 250 GOINGS.
- VENTILATION TO INTERNAL WC/BATH TO BE AN EXHAUST FAN IN ACCORDANCE WITH NCC F5.4 & AS1668.2.

PLUMBING & DRAINAGE & STORMWATER:

- ALL PLUMBING & DRAINAGE WORK IS TO COMPLY WITH THE CURRENT QUEENSLAND PLUMBING & DRAINAGE ACT AND TO LOCAL GOVERNMENT REQUIREMENTS.
- ALL DOWNPIPES TO BE INSTALLED IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODE OF AUSTRALIA 3.5.25 EACH DOWNPIPE MUST NOT SERVE MORE THAN 9.0M OF GUTTER LENGHT
- THE BUILDER IS TO ENSURE THAT THERE NO STORM-WATER RUNOFF OCCURS TO ADJOINING PROPERTIES, BACK ONTO ANY STRUCTURE & NO PONDING UNDER SUB FLOOR AREAS.
- STORMWATER TO BE RETICULATED TO THE LEGAL POINT OF DISCHARGE.

STAIRS & BALUSTRADE:

ALL STAIR CONSTRUCTION AND STAIR BALUSTRADE SHALL COMPLY WITH NCC AND AUSTRALIAN STANDARDS. MIN TREAD 240mm, MIN RISER 115mm, MAX RISER 190mm. MAX SPACE BETWEEN HEIGHT OF OPEN TREADS IS 124mm BALUSTRADES MIN 1.0M HIGH ABOVE LANDINGS, WITH MIN 124mm OPENINGS IN ACCORDANCE WITH NCC 3.9.2. NON SLIP SURFACE TO TREADS.

BUSHFIRE PRONE LOCATIONS:

IF THIS BUILDING IS SUBJECT TO A BUSHFIRE OVERLAY A BUSHFIRE REPORT IS REQUIRED. CONSTRUCTION METHODS AND MATERIALS MUST COMPLY TO THE BAL RATING GIVEN. IT IS THE BUILDERS RESPONSIBILITY TO BE FAMILIAR WITH THE REQUIREMENTS OF AS 3959 WHICH DETAILS THE REQUIREMENTS FOR EACH BAL RATING

WET AREAS:

- ALL TIMBER FRAMED WALLS TO WET AREAS TO BE LINED WITH F.C.
- FLOORS TO ALL WET AREAS TO HAVE A FALL TO A FLOOR WASTE.
- ALL WET AREAS TO BE IN ACCORDANCE TO THE CURRENT NATIONAL CONSTRUCTION CODE OF AUSTRALIA 3.8.1

REQUIREMENTS FOR SUSTAINABLE BUILDING:

TO COMPLY WITH NCC 3.12 (UNLESS OTHERWISE STATED)

- ALL TOILETS SHALL BE DUAL FLUSH (6 LTR/3 LTR)
- SHOWER ROSES SHALL BE AAA OR 3 STAR RATED TO COMPLY WITH AS 6400 (2005)
- WATER PRESSURE (IF MAINS RETICULATED) SHALL BE LIMITED TO 500 KPA WITHIN THE SITE.
- 40% OF THE TOTAL FLOOR AREA SHALL BE TOTALLY ENERGY EFFICIENT OR COMPACT FLOURESCENT.
- HEATED WATER SERVICES TO COMPLY WITH BCA PART 3.12.5 AND AS 4552.
- RAINWATER TANK CAPACITY AS PER QDC PART 25 AND LOCAL GOVT REQUIREMENTS. REQUIREMENTS FOR RURAL AREAS MAY DIFFER TO TOWN REQUIREMENTS.

SITING & SITE NOTES:

- BUILDER TO VERIFY ALL BOUNDARY CLEARANCES AND SITE SET-OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION
- LEVELS AND CONTOURS ARE TO BE VERIFIED BY THE BUILDER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- RETAINING WALLS GREATER THAN 1.0M HIGH ARE TO BE ENGINEER DESIGNED AND CERTIFIED
- SCRAPE AWAY VEGETATION & CUT & FILL TO PROVIDE A LEVEL BUILDING PLATFORM
- SURFACE WATER TO BE CHANNELED TO COUNCIL STORMWATER DRAINAGE SYSTEM OR TO LEGAL POINT OF DISCHARGE
- FINISH SURFACE TO BE GRADED AWAY FROM THE RESIDENCE AT A MINIMUM GRADE OF 1:20 FOR AT LEAST 1.0M.
- DRIVEWAY CROSSOVERS FOR VEHICULAR ACCESS TO BE CONSTRUCTED AS PER LOCAL GOVERNMENT REQUIREMENTS.

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PROJECT;

**PROPOSED BOAT GARAGE
 LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;

NOTES

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale

DRAWING NO;

A02.1

Project number 00392-20 A

Date JUL 2021

Drawn by NF

Checked by NF

No.	REVISION DESCRIPTION	Date
A	FOR DA	21.07.21

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DRAWING SCALE

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STRUCTURAL DESIGN:

THIS DRAWING IS NOT FOR CONSTRUCTION UNLESS A STRUCTURAL DESIGN HAS BEEN PREPARED BY A CERTIFIED RPEQ AND DOCUMENTATION PROVIDED.

ALL STRUCTURAL MEMBERS ARE TO BE IN ACCORDANCE WITH THE CERTIFYING ENGINEER DESIGN AND SPECIFICATION PROVIDED.

DRAWING ISSUE:

THE ONLY DRAWING THAT SHOULD BE USED FOR CONSTRUCTION IS THE REVISION MARKED FOR DA APPROVAL AND SUBSQUNT REVISIONS. IT IS UP TO THE BUILDER TO ENSURE THAT HE/SHE ALONG WITH ALL TRADES ARE USING THE CORRECT REVISION OF DRAWINGS

AUSTRALIAN STANDARDS THAT MAY BE RELEVANT:

- TERMITE PROTECTION & TREATMENT & DETECTION - AS3660
- RESIDENTIAL CONCRETE SLABS & FOOTINGS - AS2870
- MASONARY CONSTRUCTION - AS3700
- TIMBER FRAMING - AS1684
- PLUMBING & DRAINAGE - AS3500
- WATERPROOFING - AS3740
- INSTALLATION OF ROOF SHEETING - AS1562
- RETAINING WALLS - AS4678
- BALUSTRADE & STAIRS - AS1170
- GLASS BALUSTRADE - AS1170 & 1288
- WINDOWS - AS2047 & 1288
- GLASS IN BUILDINGS - AS1288
- SMOKE DETECTORS -AS 3786
- TERMITE MANAGEMENT - AS3660
- WIND LOADS FOR HOUSING - AS 4055
- CONSTRUCTION IN BUSHFIRE AREAS - AS3959
- SMOKE ALARMS - AS3786

NOTE: FOR OWNER BUILDERS

PLEASE NOTE THAT THESE PLANS ARE NOT A SET OF INSTRUCTIONS FOR HOUSE BUILDING. THIS OFFICE RECOMMENDS THAT OWNER BUILDERS HIRE AND SEEK THE ADVISE OF QUALIFIED BUILDERS AND TRADESMEN TO HELP THEM NAVIGATE THE BUILDING PROCESS, PROCEEDURES AND BUILDING REQUIREMENTS. THIS OFFICE WILL NOT TAKE RESPONSIBILITY FOR THE OWNER BUILDERS LACK OF KNOWLEDGE, KNOW HOW OR UNDERSTANDING OF RESIDENTIAL CONSTRUCTION.

**ABBREVIATION LEGEND:
(IF IN DOUBT ASK)**

GENERAL

- NCC NATIONAL CONSTRUCTION CODE
- AS AUSTRALIAN STANDARD
- T.B.C. TO BE CONFIRMED
- U.N.O. UNLESS OTHERWISE NOTED

COLUMNS & BEAMS

- SHS STEEL POST
- RHS RECTANGLE STEEL BEAM
- CHS CIRCULAR STEEL POST
- UB UNIVERSAL BEAM

WINDOWS & DOORS

- SGD SLIDING GLASS DOOR
- BFD BIFOLD DOOR
- CSD CAVITY SLIDING DOOR
- MSD MIRRORED SLIDING DOOF
- VSD VINYL SLIDING DOOR
- BD BARN DOOR
- FG FIXED GLASS
- S SLIDING WINDOW
- A AWNING WINDOW
- L LOUVRE WINDOW
- C CASEMENT WINDOW
- DH DOUBLE HUNG
- SL SIDE LIGHT
- SV SLIDING VINYL ROBE DOOR
- SG SLIDING GLASS ROBE DOOR

NOTE: ALUMINIUM FRAMED WINDOWS AND SLIDING GLASS DOORS UNLESS OTHERWISE NOTED

SITE

- FGL FINISHED GROUND LEVEL
- NGL NATURAL GROUND LEVEL
- NS NATURAL SURFACE
- RL RELATIVE LEVEL
- ABF ABOVE FLOOR LEVEL

ELECTRICAL

- MSB MAIN SWITCH BOARD
- ACE AIRCONDIONING EXTERNAL UNIT
- ACI AIRCONDITIONING INTERNAL UNIT

ROOMS

- WIR WALK IN ROBE
- PTY PANTRY
- LDY LAUNDRY
- CBD CUPBOARD
- WC WATER CLOSET (TOILET)
- ENS ENSUITE

APPLIANCES

- WM WASHING MACHINE
- MW MICROWAVE OVEN PROVISION
- DW DISHWASHER
- F REFRIGERATOR PROVISION
- UBO UNDER BENCH OVEN
- HWS HOT WATER SERVICE
- WO WALL OVEN

NOTE : MICROWAVE OVEN AND REFRIGERATOR ARE NOT SUPPLIED BY THE BUILDER UNLESS OTHER WISE STATED

MISCELLANEOUS

- FW FLOOR WASTE GRATE
- OHC OVERHEAD CUPBOARD
- BH BULKHEAD
- EL EAVE LINE
- O/H OVERHANG
- C/L CENTRELINE

RAIN WATER TANK NOTES:

1. RAINWATER TANK CAPACITY TO BE AT LEAST 5000L WHERE USED FOR INTERNAL AND EXTERNAL USE UNLESS SPECIFIED DIFFENTLY BY THE LOCAL GOVERNMENT AUTHORITY - REFER TO LOCAL GOVERNMENT AUTHORITY FOR THE REQUIREMENT ON RURAL PROPERTY (70,000L WITH 20,000 DEDICATED FOR FIRE FIGHTING)
2. RAIN WATER TANKS ARE TO BE INSTALLED TO RECEIVE A MINIMUM CATCHMENT OF 100M2 OR AT LEAST ONE HALF OF THE TOTAL ROOF AREA, WHICH EVER IS THE LESSOR.
3. A SCREENED DOWNPIPE RAINHEAD DESIGNED TO SHED LEAVES SHALL BE PROVIDED TO ALL DOWN-PIPES THAT CONNECT TO THE TANK(S), WITH OPENINGS NO SMALLER THAN 4MM OR NO LARGER LARGER THAN 6MM.
4. MOSQUITO PROOF SCREENS SHALL BE PROVIDED AT EVERY OPENING OF THE RAINWATER TANK.
5. WHERE A MANHOLE IS PROVIDED WITH THE TANK IT MUST HAVE A DIAMETRE OF NO MORE THAN 400MM AND MUST HAVE A VERMIN TRAP.
6. RAIN WATER TANKS MUST BE CONNECTED FOR EXTERNAL USE AND CONTINUOUS INTERNAL USE FOR (i) EXTERNAL HOSE TAP (ii) TOILET CISTERNS AND WASHING MACHINE COLD WATER TAPS.
7. RAIN WATER TANKS MUST BE FITTED WITH (i) AN AUTOMATIC OR TRICKLE TOP UP DEVICE TO ENSURE A CONTINUOUS SUPPLY OF WATER (ii) A BACKFLOW PREVENTION DEVICE (TESTABLE) TO BIN INSTALLED IN ACCORDANCE WITH AS/NZS 3500:2003
8. RAIN WATER TANKS MUST BE POSITIONED SO THAT OVERFLOW DOES NOT ALLOW WATER TO POND UNDER, OR AROUND BUILDINGS AND THEIR FOOTING.
9. OVERFLOW SHALL BE CONNECTED TO THE STORM WATER DRAINAGE SYSTEM.

NOTE:
THE TYPE OF RAINWATER TANK INSTALLED MUST MEET AUSTRALIAN STANDARDS.

RAINWATER TANK STANDS
THE RAINWATER TANK STAND OR OTHER SUPPORTING STRUCTURE MUST COMPLY WITH AS/NZS1170.1:2002 AND AS/NZS 1170.2:2002



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Scale

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A02.2	A	FOR DA	21.07.21
Project number	00392-20 A		
Date	JUL 2021		
Drawn by	Author		
Checked by	Checker		

SITE NOTES:

- * ENSURE ADEQUATE SEDIMENT EROSION MEASURES ARE IN PLACE.
- * DRIVEWAY CROSS OVER TO COMPLY WITH LOCAL GOVT. REQUIREMENTS
- * ALL EXCAVATION WORK (CUT AND FILL) NEEDS TO BE INDICATED ON THIS SITE PLAN. IF ANY VARIES FROM THAT SHOWN, THIS OFFICE ALONG WITH THE STRUCTURAL ENGINEER NEED TO BE NOTIFIED.
- * MAINTAIN ALL MIN DISTANCES FROM BOUNDARIES AS REQUIRED BY THE QDC LEGISLATION AND LOCAL GOVERNMENT BY LAWS.
- * THE FINAL POSITION OF DOWNPIPES, METERBOX, TAPS, AC EU, WATER TANK, HOT WATER SYSTEM, GAS BOTTLES ETC MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

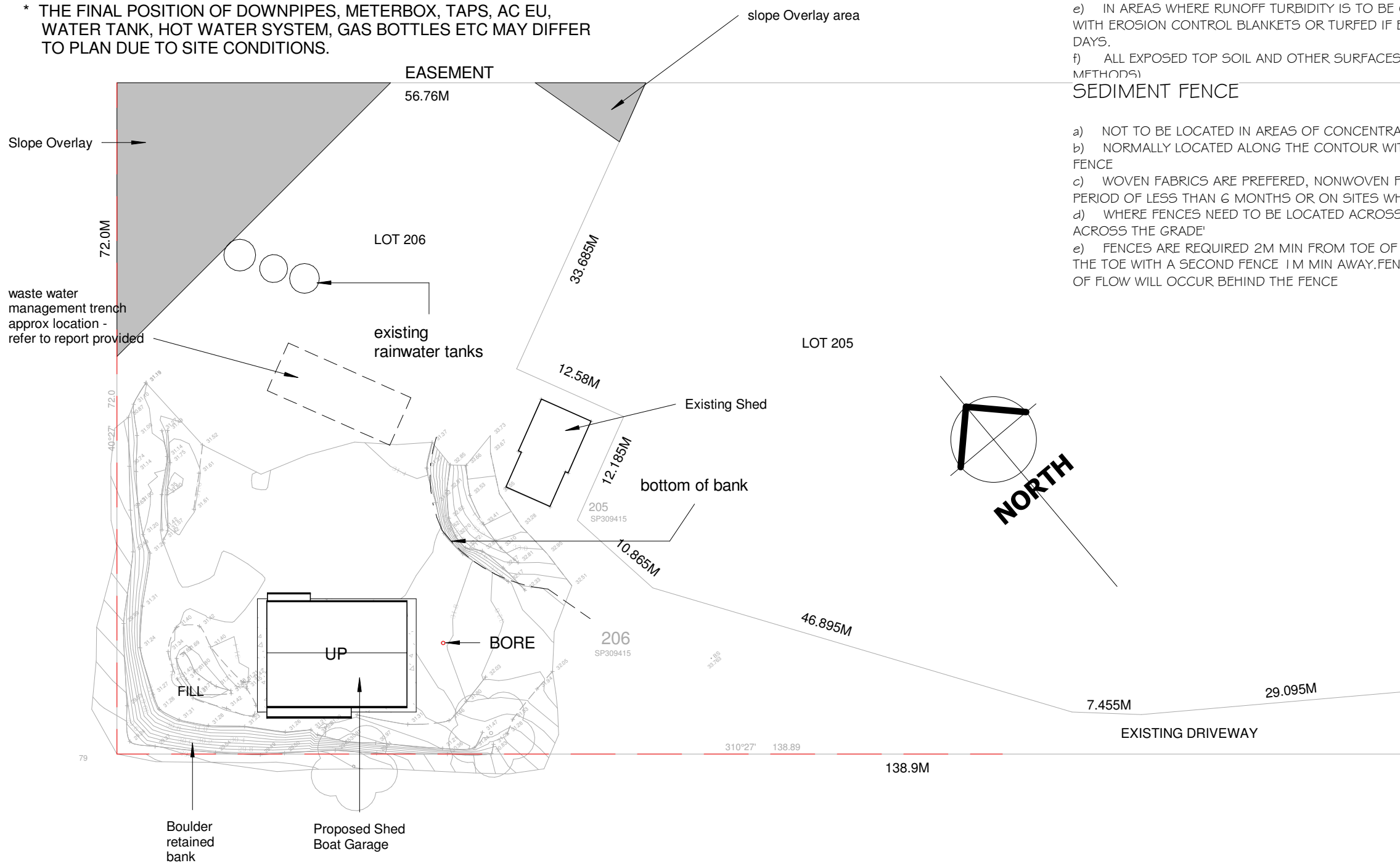
SEDIMENT CONTROL

GENERAL;

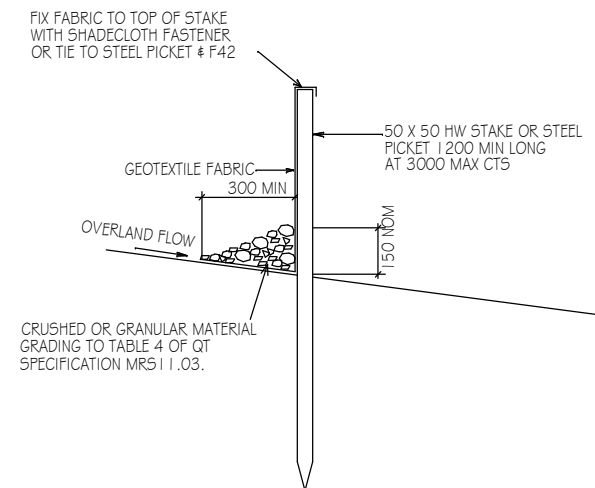
- a) TEMPORARY DRAINAGE CONTROL. FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE
- b) ALL DRAINAGE EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND OPERATIONAL BEFORE COMENCING UP-SLOPE EARTHWORKS.
- c) ALL CONTROL MEASURES MAY BE REMOVED WHEN ONSITE EROSION IS CONTROLLED AND 70% PERMANENT SOIL COVERAGE IS OBTAINED OVER ALL UPSTREAMDISTURBED LAND.
- e) IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE EITHER MULTCHED, COVERED WITH EROSION CONTROL BLANKETS OR TURFED IF EARTHWORKS ARE EXPECTED TO BE DELAYED FOR MORE THAN 14 DAYS.
- f) ALL EXPOSED TOP SOIL AND OTHER SURFACES ON GRADES LESS THAN 1.0% TO BE MULTCHED (OR OTHER APPROVED MPTHODS)

SEDIMENT FENCE

- a) NOT TO BE LOCATED IN AREAS OF CONCENTRATED FLOW
- b) NORMALLY LOCATED ALONG THE CONTOUR WITH A MAXIMUM CATCHMENT AREA 0.6 HA PER 100M LENGTH OF FENCE
- c) WOVEN FABRICS ARE PREFERED, NONWOVEN FABRICS MAY BE USED ON SMALL WORK SITES .I.E. OPERATIONAL PERIOD OF LESS THAN 6 MONTHS OR ON SITES WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
- d) WHERE FENCES NEED TO BE LOCATED ACROSS THE CONTOUR THE LAYOUT SHALL CONFORM TO 'TYPICAL LAYOUT ACROSS THE GRADE'
- e) FENCES ARE REQUIRED 2M MIN FROM TOE OF CUT OR FILL BATTERS ,WHERE NOT PRACTICAL FENCE CAN BE AT THE TOE WITH A SECOND FENCE 1M MIN AWAY. FENCE SHOULD NOT BE LOCATED PARALLEL WITH TOE IF CONCENTRATION OF FLOW WILL OCCUR BEHIND THE FENCE



PRINGLE ROAD



SEDIMENT FENCE

TO BE LOCATED DOWNHILL OF SITEWORKS WITH EXTENT OF FENCE TO ENABLE COLLECTION OF ALL SEDIMENT RUN-OFF

1 SITE PLAN
1 : 500

LOT 206
ON SP309415
LOCALITY - WOODWARK
LAND AREA : 4460M²
SITE COVERAGE - 3.6%

TJ & NJ FARMER T/AS

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CLIENT;
ANDREW AND BELINDA TALBOT

PROJECT;
**PROPOSED BOAT GARAGE
LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;
SITE PLAN

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale _____ As indicated

DRAWING NO;	No.	REVISION DESCRIPTION	Date
A03-1	A	FOR DA	21.07.21
Project number		00392-20 A	
Date		JUL 2021	
Drawn by		NF	
Checked by		NF	

EXTERIOR FINISHES

GLAZED WINDOWS AND DOORS:
 White Powdercoated Aluminium Frames
 ROOF: Colorbond Custom Orb 'Windspray'
 FASCIA: 'Shale Grey'
 GUTTER: 'Windspray'
 SHED WALL COLOUR: Colorbond 'Shale Grey'
 SHED FLOOR - Tiles where indicated, concrete elsewhere
 BEAMS - Box in with FC sheet
 VERANDA CEILING - FC sheet
 POSTS- Painted White
 CONCRETE PATHS - Broomed finish

FLOOR PLAN LEGEND

WINDOWS

SGD - SLIDING GLASS DOOR
 DH - DOUBLE HUNG
 L - LOUVRES
 SW - SLIDING WINDOW

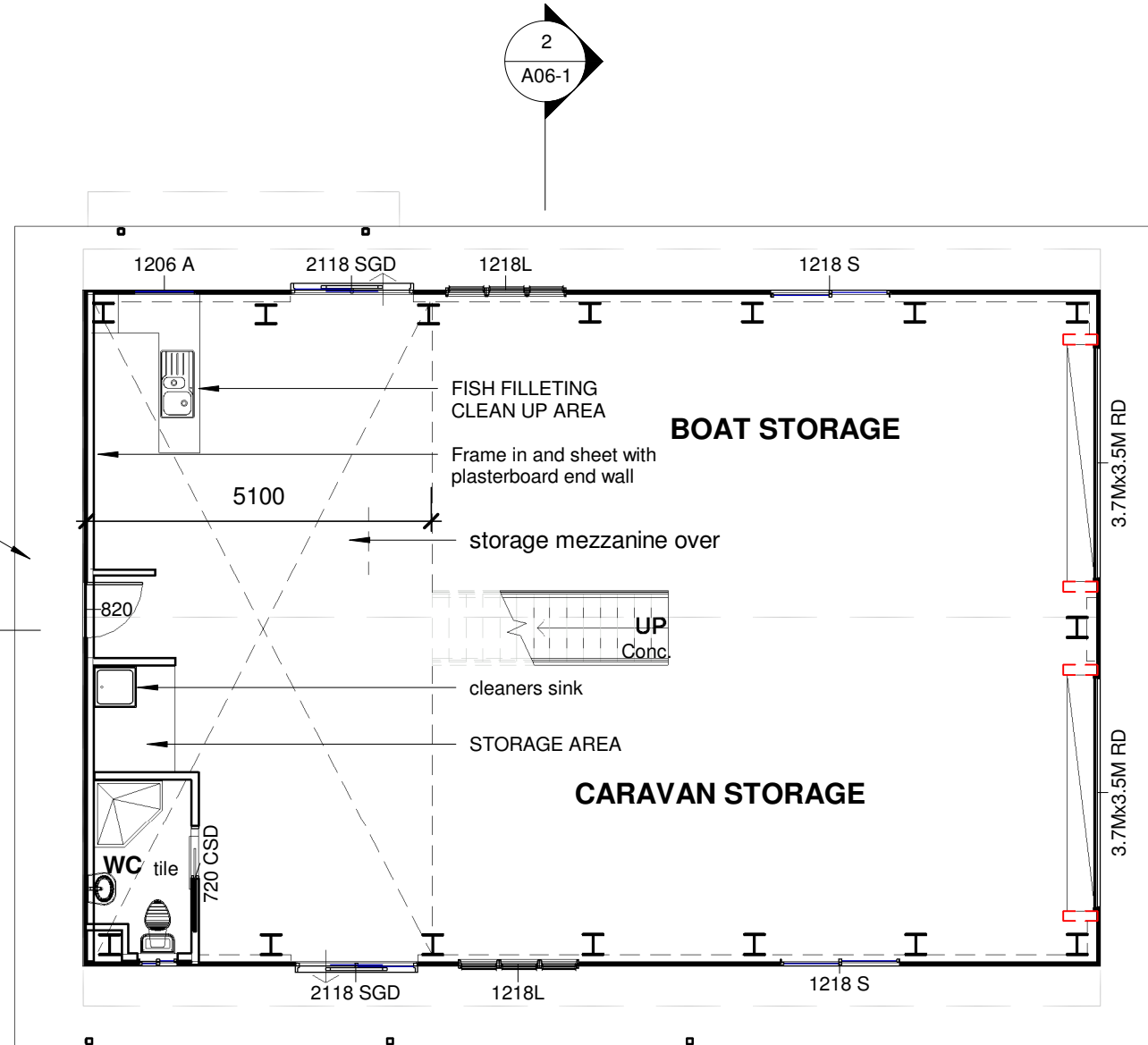
DOORS

MSD - MIRRORED SLIDING DOOR
 SGD - SLIDING GLASS DOOR
 FD - FEATURE DOOR
 BF - BI FOLD DOOR

FLOOR PLAN NOTES

- * ALL CABINERY DESIGNED BY OTHERS
- * SANITARY DRAINAGE DESIGNED BY OTHERS
- * REFER TO DIMENSION PLAN - OMITTED FROM THIS PLAN FOR CLARITY
- * SMOKE ALARMS FITTED TO COMPLY WITH AS3786 - DENOTED AS

OPTIONAL
 CONCRETE PATH
 OR LANDING
 WITH STEPS
 DOWN TO GROUND
 SURFACE



1 FLOOR PLAN
 1 : 100

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DRAWING;
FLOOR PLAN

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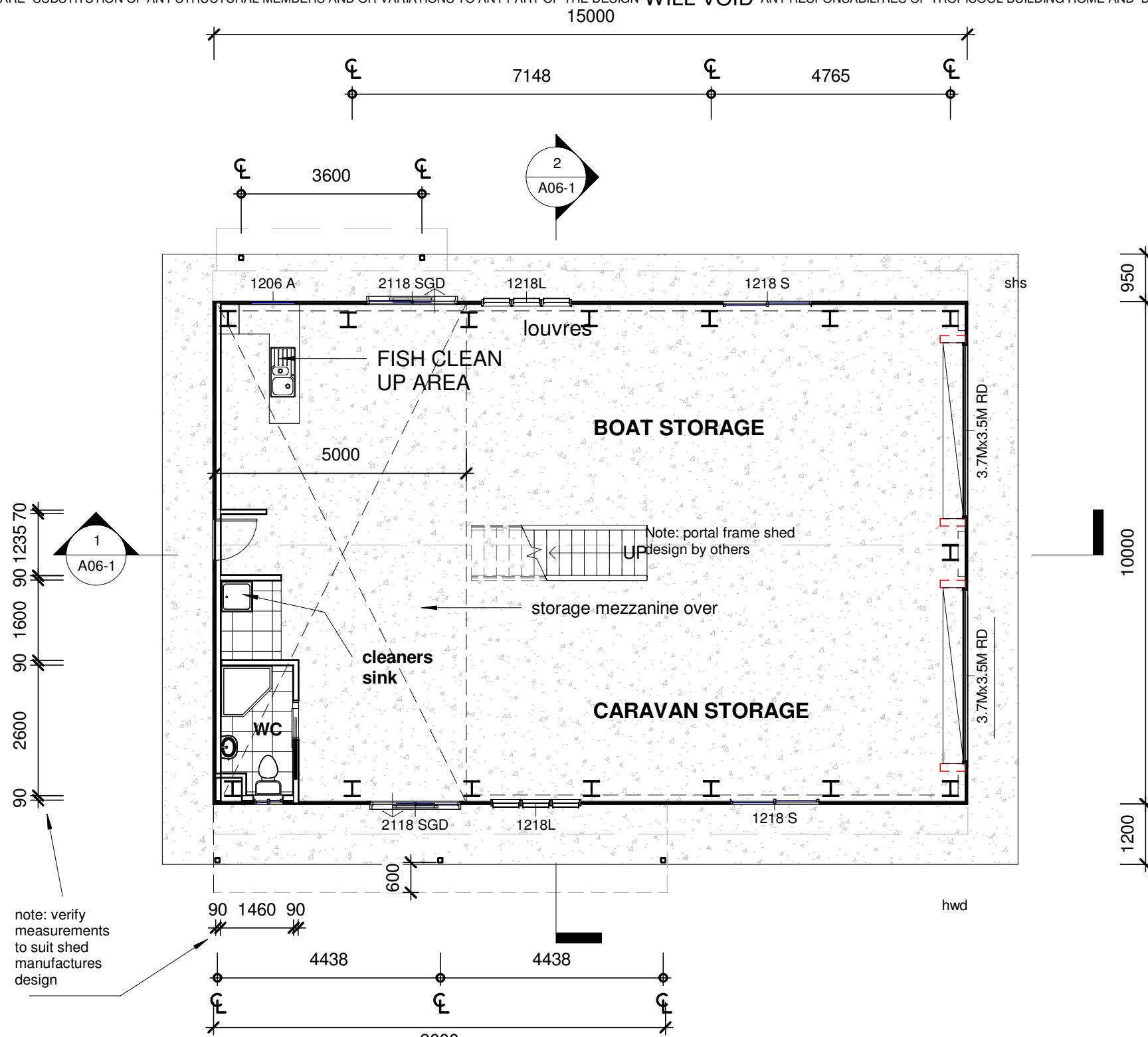
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A	FOR DA	21.07.21



DIMENSION PLAN

1
1 : 100

NOTE: THIS PLAN IS INTENDED AS A GUIDE ONLY - SUBJECT TO SHED MANUFACTURERS DESIGN REQUIREMENTS, DIMENSIONS OF THE INTERIOR AREAS MAY NEED TO BE ADJUSTED TO SUIT THE SHED DESIGN

AREA	
Name	Area
GARAGE FLOOR	149.84 m ²
PATIO 1	11.06 m ²
PATIO 2	3.37 m ²
TOTAL COMBINED AREA	164.27 m²

Excluding exterior concrete paths outside of patio area & Excludes Mezzanine

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LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;

FLOOR PLAN

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale 1 : 100

DRAWING NO;

A04-2

Project number 00392-20 A

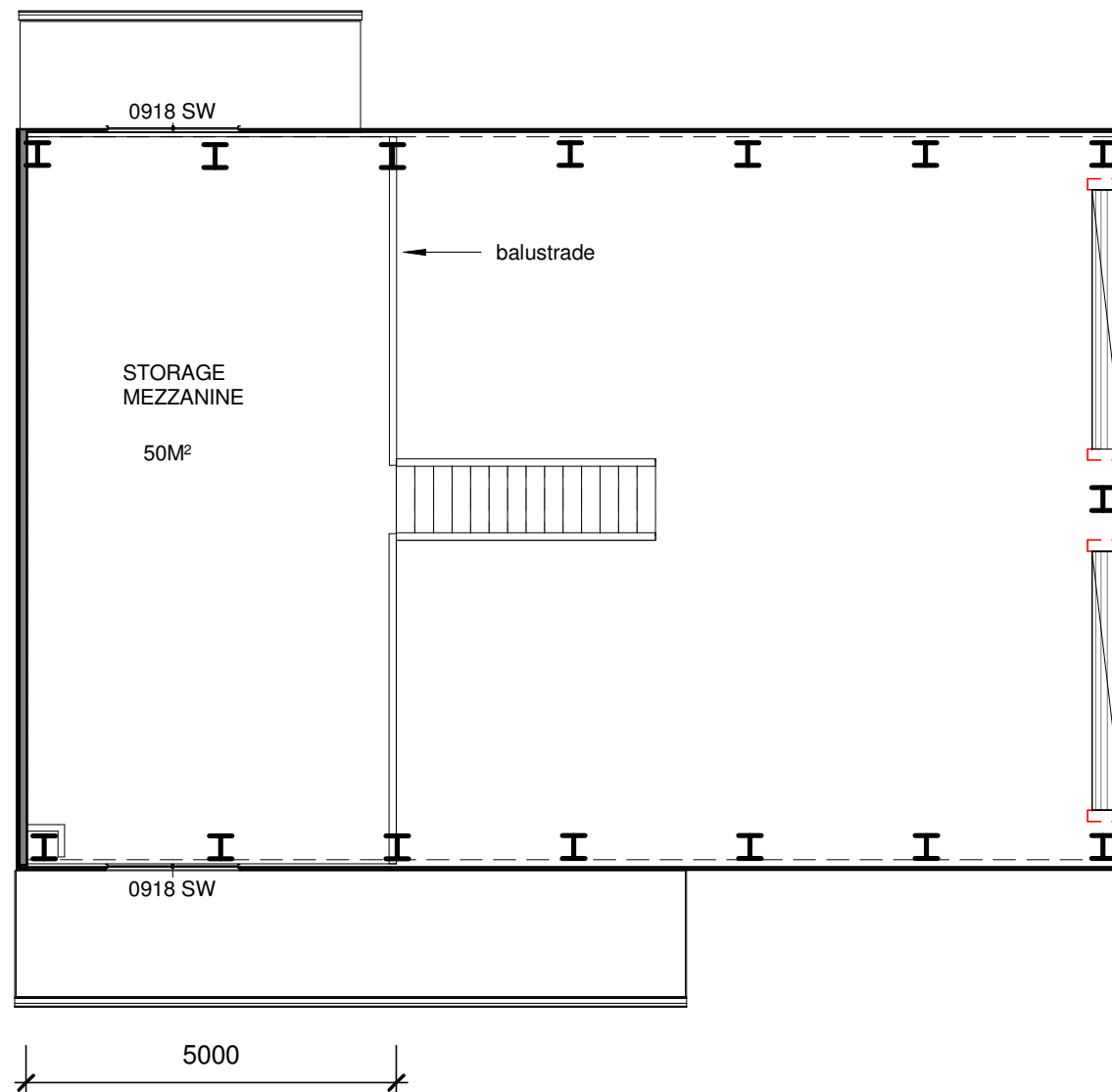
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1 MEZZANINE PLAN
1 : 100



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**PROPOSED BOAT GARAGE
 LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;
MEZZANINE PLAN

CERTIFYING ENGINEER: **Designer**

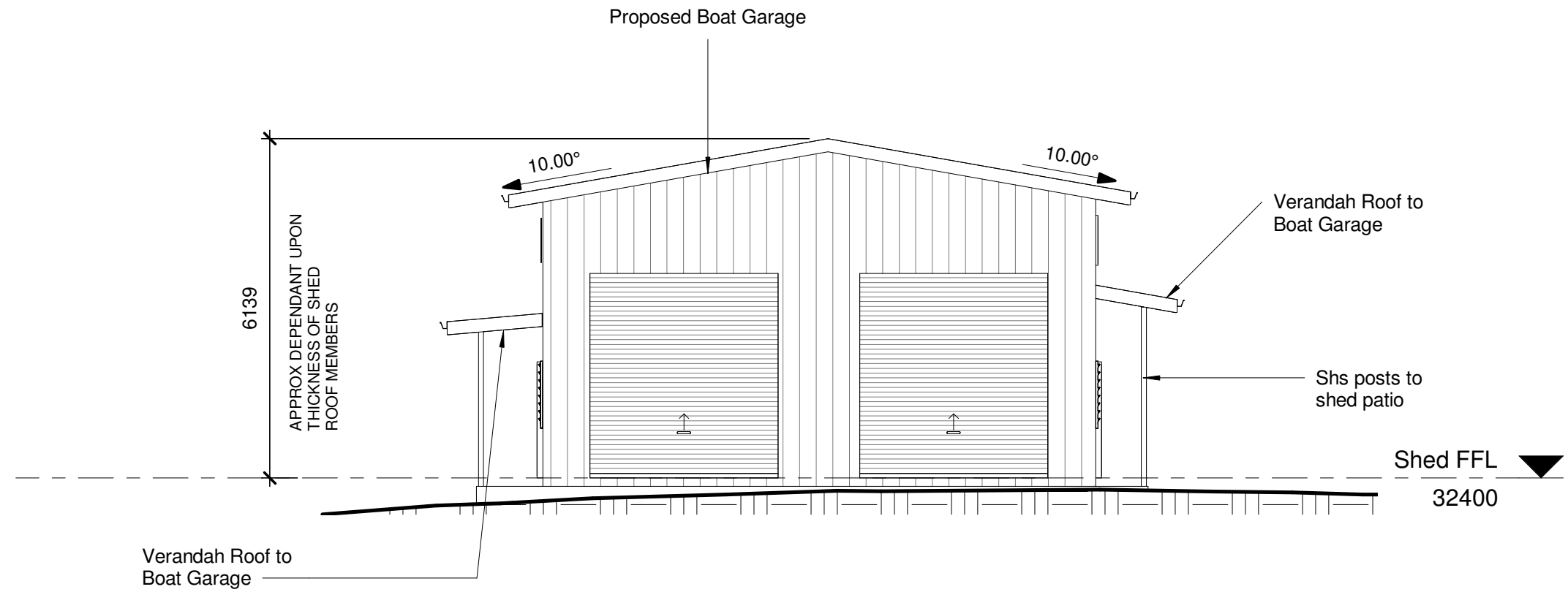
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DRAWING NO;
A04-3

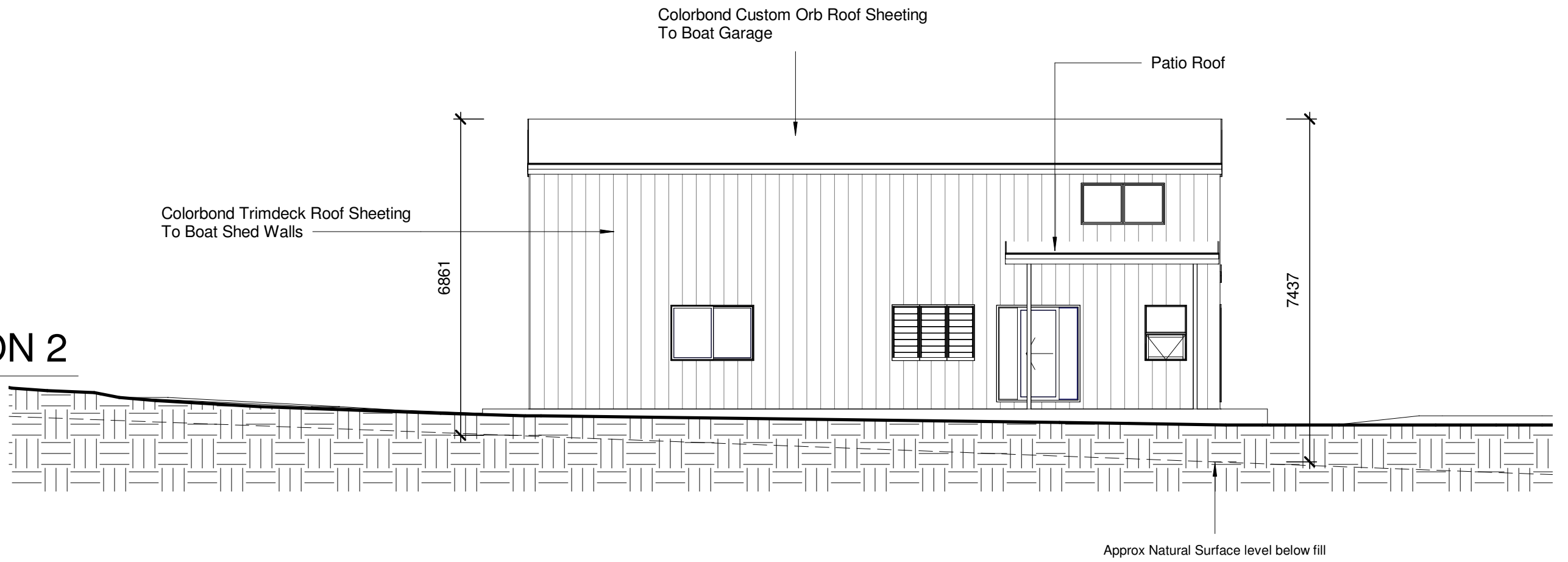
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A	FOR DA	21.07.21

1 ELEVATION 1
1 : 100



2 ELEVATION 2
1 : 100



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DRAWING;
ELEVATIONS 1 & 2

CERTIFYING ENGINEER: **STP CONSULTANTS**

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DRAWING NO;
A05-1

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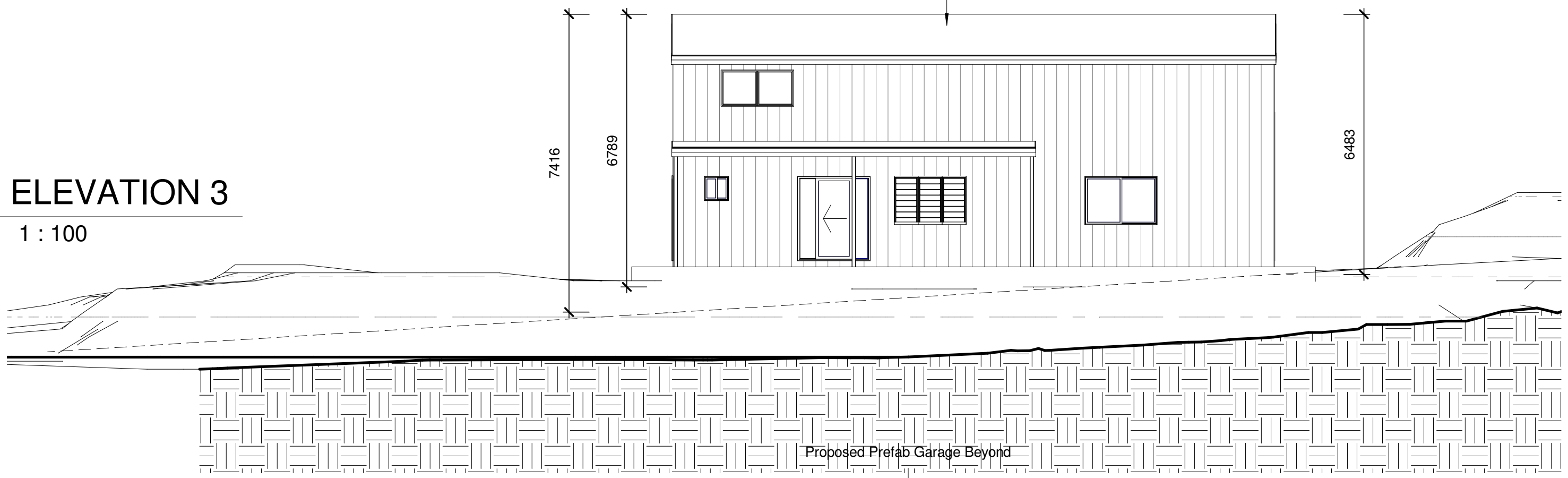
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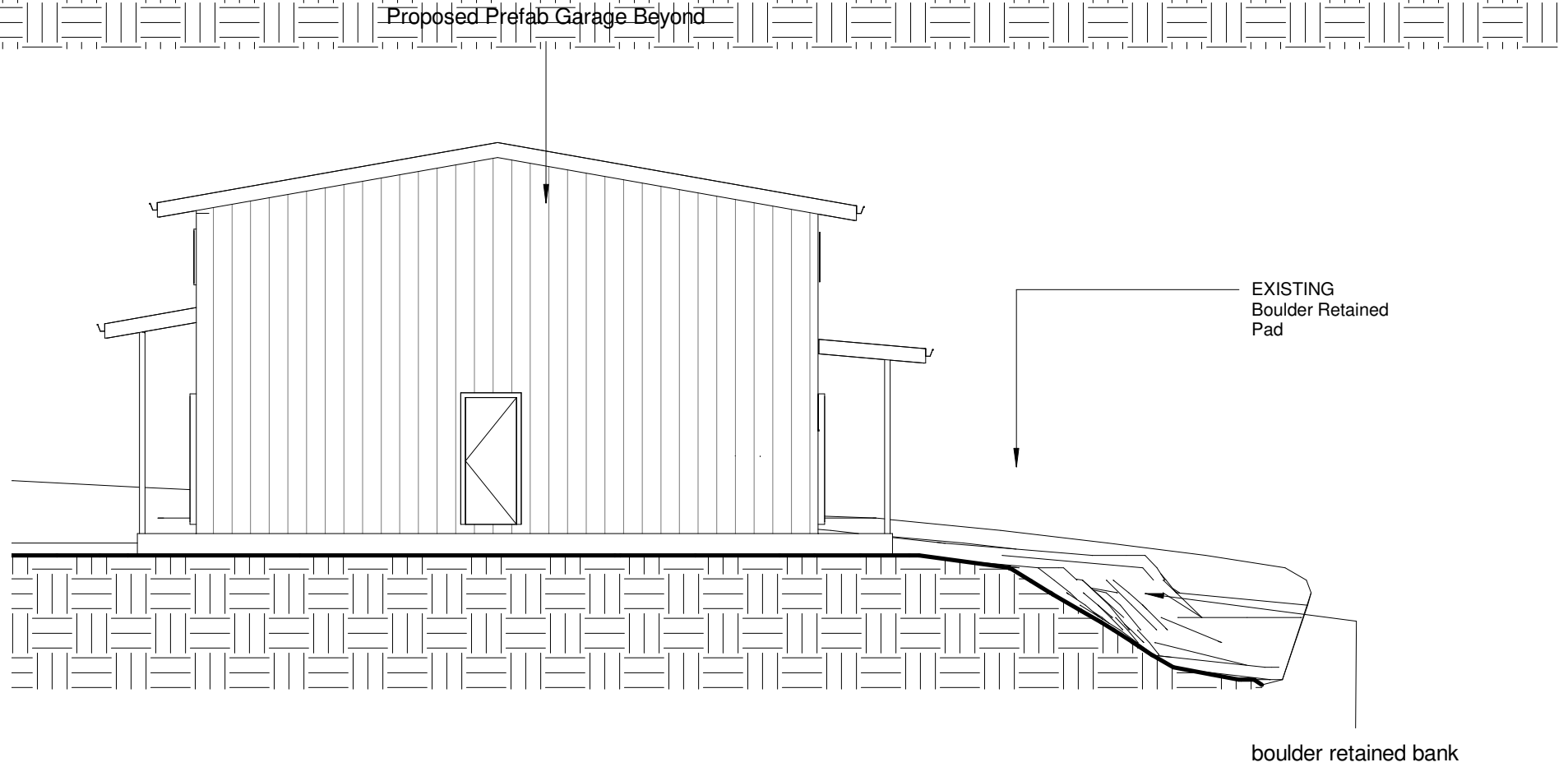
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Proposed Boat Garage

1 ELEVATION 3
1 : 100



2 ELEVATION 4
1 : 100



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LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;
ELEVATIONS 3 & 4

CERTIFYING ENGINEER: **STP CONSULTANTS**

Scale 1 : 100

DRAWING NO;
A05-2

Project number 00392-20 A

Date JUL 2021

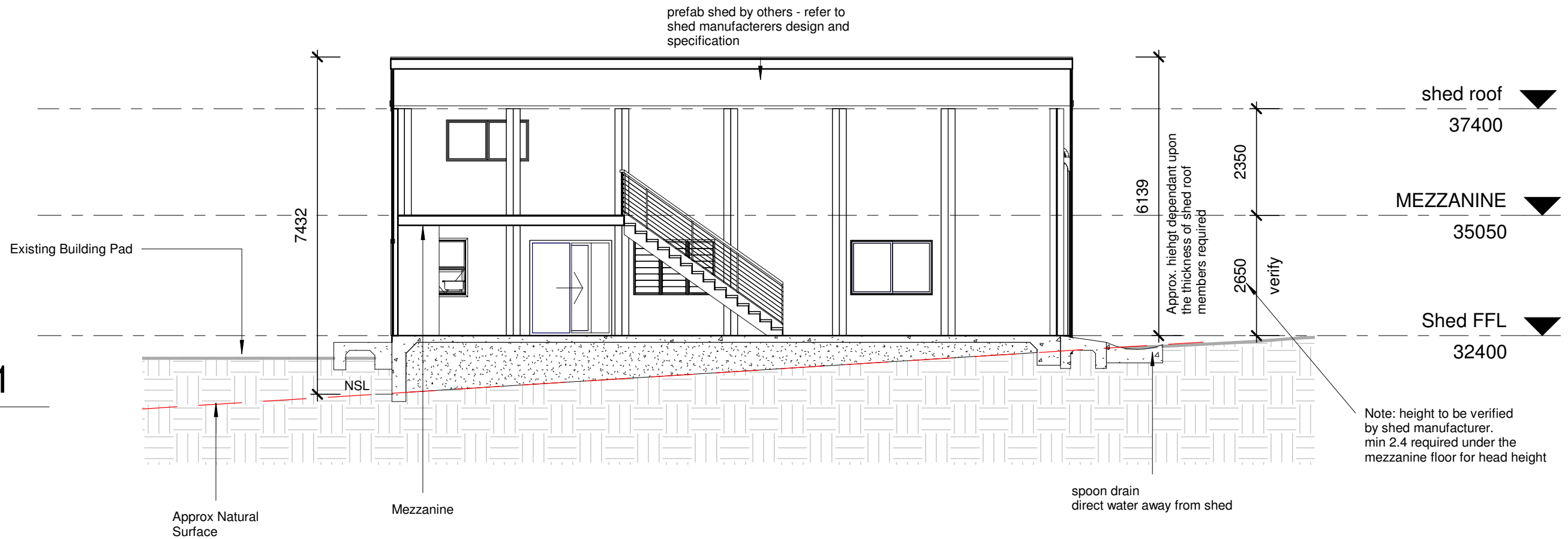
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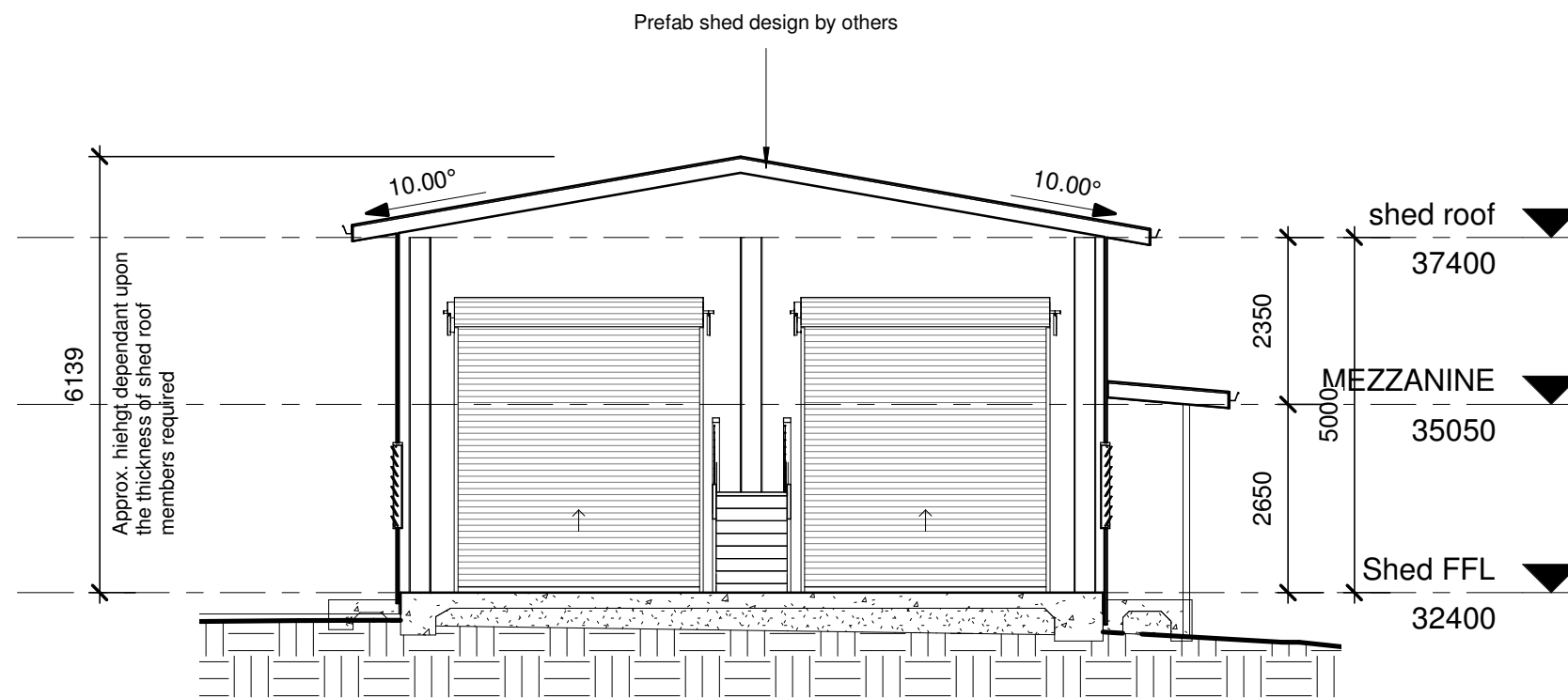
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1 Section 1
1 : 100



2 Section 2
1 : 100



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DRAWING;
SECTIONS

CERTIFYING
ENGINEER: **STP CONSULTANTS**

Scale 1 : 100

DRAWING NO;
A06-1

Project number 00392-20 A
Date JUL 2021
Drawn by NF
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NOTES:

THIS ROOF PLAN HAS BEEN PROVIDED AS A GUIDE ONLY

DIRECT ALL STORMWATER TO LEGAL POINT OF DISCHARGE AS REQUIRED BY THE LOCAL GOVERNMENT AUTHORITY.

CALCULATED ROOF CATCHMENT AREA IS TO BE INSTALLED AS PER AS/NZS3500.3

OVERFLOW MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH NCC VOL 2 TABLE 3.5.2.4

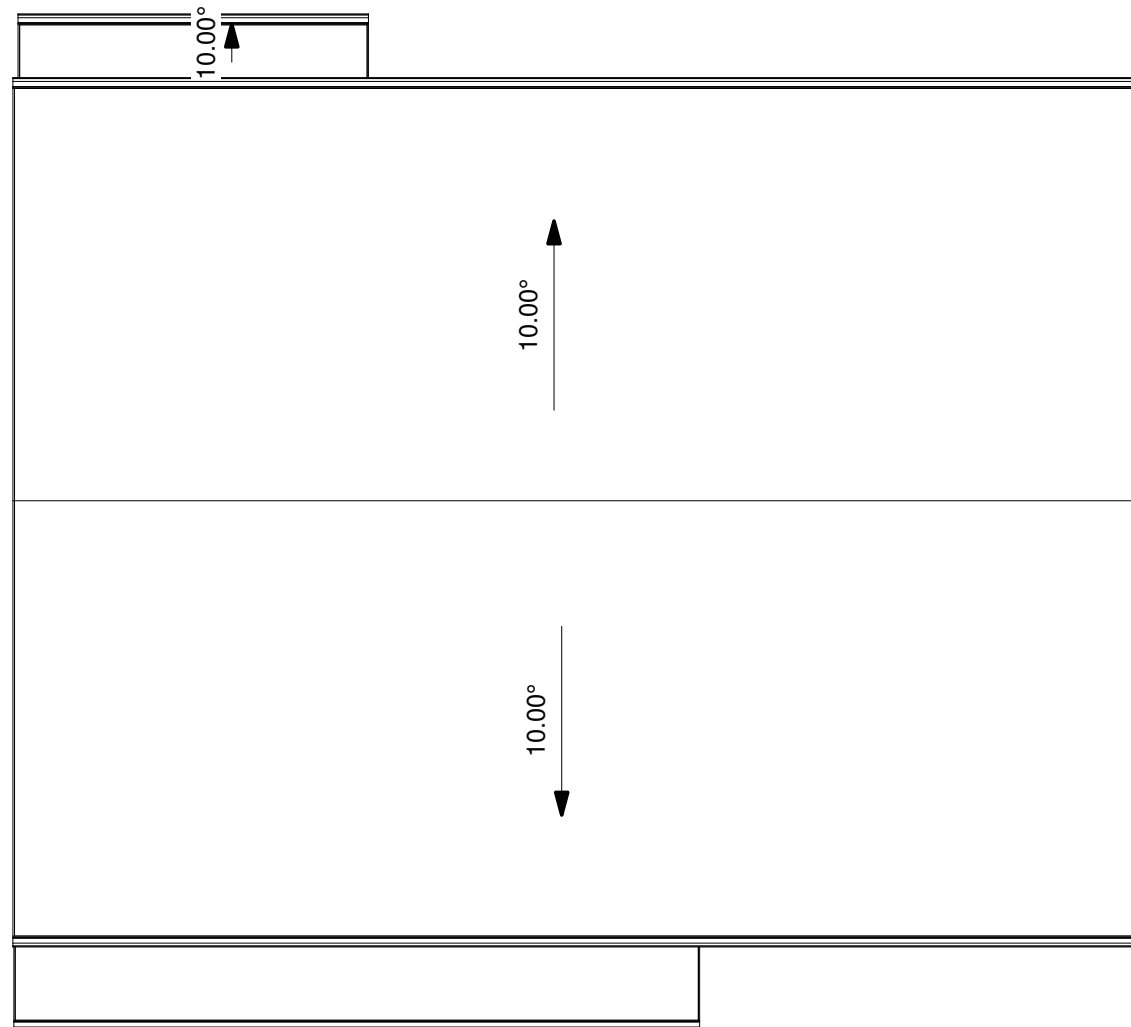
FINAL LOCATION OF DOWNPIPES MAY DIFFER DEPENDING UPON SITE CONDITIONS OR THE QUALIFIED ROOF PLUMBERS DESIGN INPUT

DOWNPIPES ARE TO SERVICE A 12M MAXIMUM GUTTER LENGTH AND BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES / GUTTER SELECTION AS SHOWN IN NCC VOL 2 TABLE 3.5.2.2

DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE, BE INSTALLED NO LESS THAN 100MM FROM ELECTRICAL CABLES AND GAS PIPES AND NO LESS THAN 50MM FROM OTHER SERVICES AS PER AUSTRALIAN STANDARD AS/NZS3500.3.4 S 4.11

ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATION AND INSTALLATION INSTRUCTIONS.

ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES.



1 **ROOF PLAN**
1 : 100

NOTE: DIRECT ALL STORMWATER TO LEGAL POINT OF DISCHARGE

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 LOT 206 PRINGLE ROAD WOODWARK**

DRAWING;
ROOF PLAN
 CERTIFYING ENGINEER: **STP CONSULTANTS**
 Scale 1 : 100

DRAWING NO: A07-1		No.	REVISION DESCRIPTION	Date
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