

Dear HAYLEY JAMES,

Thank you for your enquiry. We are pleased to present our quote for your new steel building.

QUOTE NUMBER

47773

Valid for 7 days

19/01/2023

Customer Details:

HAYLEY JAMES BERWICK JUNIOR FC
 17-35 BUCHANAN ROAD
 BERWICK 3806

Tel: 0457798707
 Mobile:
 Email: v pops@bjfc.com.au

Quotation Overview:

Building code Australia - class 10a building

Dimensions:

Span: 4.4m
 Length: 8.8m
 Eave Height: 3m
 Bay Width: Side bays 2.65m, 3.5m and 2.65m x 3. End bays are 2.2m each
 Roof Pitch: 5Deg with the apex height being 3.38m

Preliminary Design Factors:

Importance Level:	2	Topography:	1.15
Wind Region:	Reg A	Shielding Factor:	0.95
Terrain Category:	TCat 3	Int Pressure Co-efficient:	-0.3, 0.01
		Site wind speed in m/s:	40.8 (ultimate limit state)

Building Details:

Walls	Corrugated 0.42 CB,	Orientation - Vertical
Roof	Corrugated 0.42 CB 5Deg	
Skylights	3 x Skylights of Polycarb	
Roller Doors	1 x 2.48mH approx. X 3mW approx. CB *Series A # 2 x 2.48mH approx. X 2.71mW approx. CB *Series A #	

Preliminary frame specification (Subject to final engineering). These can be reduced in some cases to suit your budget or increased to meet your structural requirements

Columns:	C15019 INT, C15012 EW	Purlins:	TS06410
Rafters:	C15024 INT, C15012 EW	Side Girts:	TS06410
Knee/Apex Brace:		End Girts:	TS06410

Preliminary foundation design, subject to engineering: SLAB -

Min 100mm Slab thickened locally under each column by BORED footing
 Concrete in Vertical Bored hole locally under each column 300mm x 300mm Diameter x Depth
 The above foundation details are only suitable for soil classification A.S. or M and S.B.V. 100 kPa min. For other soil types refer to a registered structural engineer.

Inclusions:

- NO ALLOWANCE IN QUOTE FOR PLANNING PERMIT IF REQUIRED
- BUILDING PERMIT APPLICATION FEE (\$1750) – platinum option – class 10A storage only

Includes title & subdivision download

Includes basic site plan

- DOMESTIC WARRANTY INSURANCE - Not required
- MELBOURNE GARAGES MANAGEMENT FEE (\$1,554)
- SHED KIT (\$12,727)

3 x Merlin mr655 remote unit & 2 handsets (\$1800 total)

- CONCRETE FLOOR 38.72 SQM (\$4259)

Machine cartage to site (\$220)

Roller door rebates to reduce water entry under door (\$300)

Concrete pump (\$1100)

SL82 mesh upgrade (\$311)

Poly membrane under slab (\$179)

subject to site fall and access

Excess soil, grass and concrete to remain onsite. Concrete amount to be no more than 0.1m3 and easily picked up.

- CONSTRUCTION FEE (\$2,905)

Includes fitting 100x50 downpipes vertically to ground level if supplied. PVC fitted by plumber completing SWD. construction rubbish removal (\$300)

Roof plumbing compliance certificate (\$55)

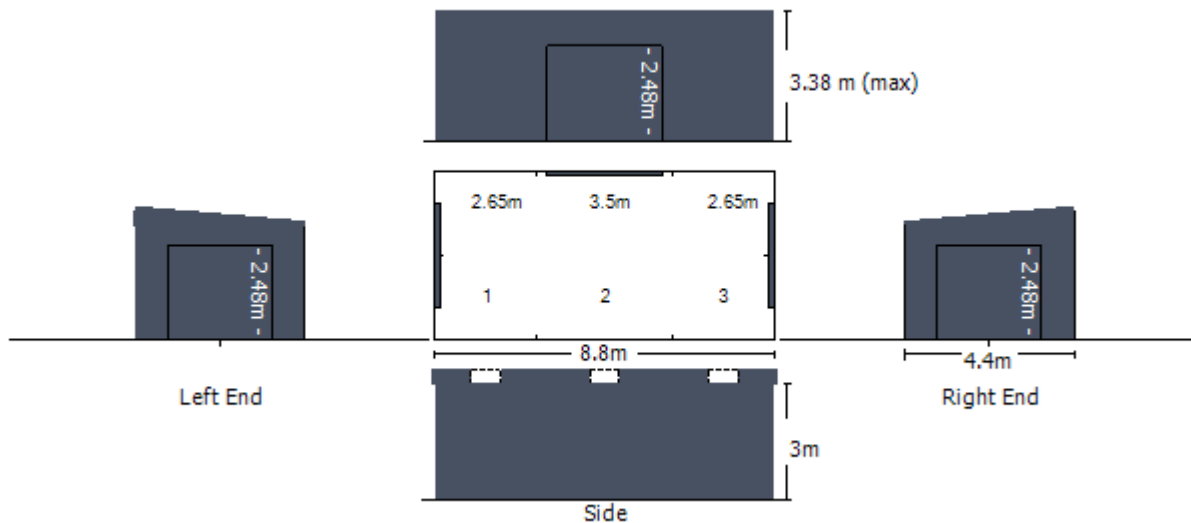
- **STORMWATER TO BE ORGANISED & COMPLETED BY OWNER WITHIN 2 WEEKS OF SHED COMPLETION**
- CLASS 10A STORAGE ONLY
- **QUOTE SUBJECT TO SITE INSPECTION**

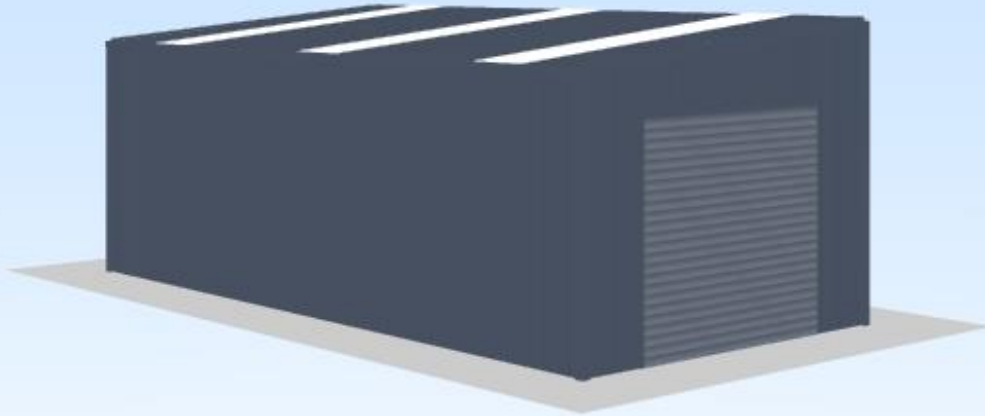
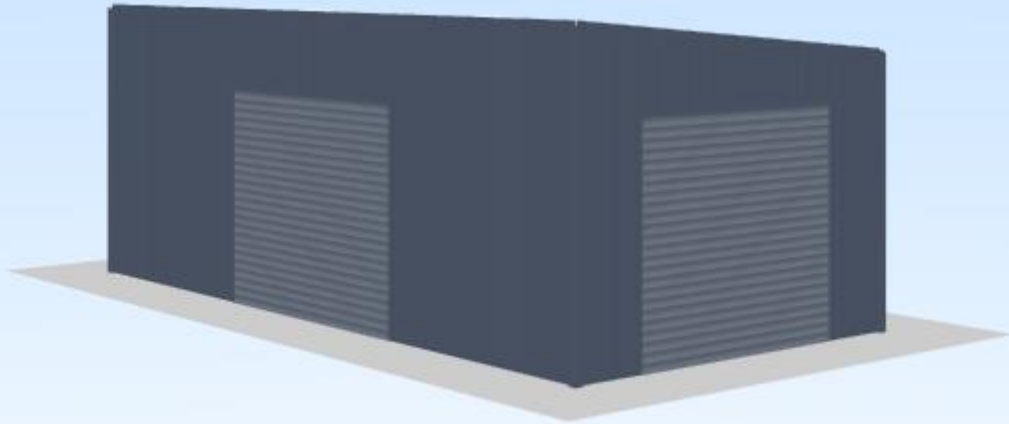
QUOTATION FOR COMPLETED PROJECT

Amount is for completed project, inclusions are in box above.

**Total Including
GST**

\$27,460.00





1917 Frankston Flinders Road, HASTINGS VIC 3915
P: 03 5979 3677 E: sales@melbournegarages.com.au
www.melbournegarages.com.au

Rest assured
we are



We use
genuine



Australian steel
provided by



Usual Platinum Cost additions to a Gold Quote

- Add domestic warranty insurance of \$1090 if the project is over \$16000. Not required under \$16000
- Add \$300 for construction rubbish removal
- Add 6% builders' margin to project cost if project is over \$16000 or 8% builders margin for projects under \$16000
- Add roller door rebates (\$100 per door)
- Add plumbing compliance certificate (\$55)

What does it mean in simple terms?

Have the work completed by a registered builder. A domestic building contract is completed with a total project cost. All payments are paid through Melbourne Garages who pays the relevant trades. The site works are warranted by Melbourne Garages.

What's the benefit?

A professional builder is managing the works to the contracted terms.



Potential Gold package savings compared to a Platinum quote

- Remove management fee
- Remove domestic warranty insurance if included
- Remove construction rubbish removal
- Remove roller door rebates
- Remove plumbing compliance certificate

What does it mean in simple terms?

The homeowner is managing the project. The trades are working for and paid by the property owner. Melbourne Garages has supplied a kit to site and possibly permits. The site works are warranted by the person who completes the work.

What's the risk?

If the property is sold within 6½ years, a building report & the balance of owner builders insurance is required. No fixed price for trades onsite.



Important items to note:

- Council asset protection permit if required is not included in this quote and is payable by the property owner.
- Build over easement costs are based on South east water & Mornington shire cost plus our nominal fee. Additional Council or utility costs for other areas if any will be passed onto the client.
- Stramit m-panel and Lysaght weatherboards are prone to being slightly bowed across the trough/ crown at each fixing point which will result in variations in the reflected light angle. This is more common in high gloss and darker colours. Sheet length is limited to 6m.
- Glass doors & windows are single glazed aluminium framed. Glass doors & windows are not supplied with fly screens.
- Roller doors do not include wind locks as a standard option but are available for windy sites. Discuss with staff if required.
- Roller doors are manually operated, unless stated otherwise in the quote.
- If roller door motors are included in the quote, the power point is not included. Required power point by owner.
- The FDS concrete slab design is engineered and designed to experience some cracking. This cracking is not considered to be a structural flaw or design issue, and is simply cosmetic in nature.
- The cladding used in our buildings is standard colorbond steel. For marine environments consider colorbond ultra or colorbond stainless steel
- Concrete slabs are quoted as flat / level. Slab rebates to reduce water entry under doors, slabs with falls or various heights is additional cost
- Downpipes are supplied vertically to ground level only and need to be connected to the legal point of discharge to receive a certificate of final inspection. Downpipe connection to the LPD is organised by the building owner unless stated otherwise.
- No Bushfire attack level has been applied to this building. See MG for advice on requirements if applicable.
- There is potential for existing asset damage from machinery and deliveries such as concrete driveways, no asset protection is included or repaired if damaged. Please discuss alternatives with MG if req.
- All underground services are to be located by the owner and any damage is repaired by the owner at their expense.
- Any permit applications listed are not guaranteed to be approved. Application fees are non-refundable.
- Roller door and open bays in walls are designed for maximum clearance. Sometimes plans will show header sheeting but this will be removed with our focus being max clearance. Please let our staff know at quoting to add any specific opening requirements to the quote.
- Mg recommends the shed area is sprayed and mown as low as possible 4 weeks prior to concreters starting to reduce the grass stockpile size, which remains onsite unless arranged otherwise.
- Landscaping and ground reinstatement around the building is by the owner, including diverting surface water away from the building to comply with the BCA and increase the life of the building. This also includes erosion management to the disturbed surface area.
- Any additional roof loading applied only increases the strength of supplied shed structure to allow for any extra weight to be added to the building by the owner such as plaster or solar. If plastering, MG do not include furring channel / plaster battens for the plaster installation.
- This quote is only for domestic or rural properties, A commercial building site will incur additional build costs
- Colorbond Matt is additional cost unless stated in quote.
- Building permit amendments cost approximately \$500-\$1750 depending on changes required. Amendments are required for any changes.
- **WHAT IS OIL CANNING?** Oil Canning can be defined as a perceived waviness in the flat areas of metal roofing and metal cladding panels. Generally, the period and amplitude of the wave depend on the continuous width of the flat section of the profile. Oil canning is an inherent part of light gauge cold formed metal products, particularly those with broad flat areas. Profiles having wide flat surfaces are often referred to as "architectural" roofing and cladding panels. Such panels are distinguished from corrugated shapes as the latter are more fluted in design, have much narrower flats, and are less like to exhibit oil canning. Oil canning can be more apparent during certain times of day and in certain seasons based upon the angle at which sunlight hits the roof or wall and based upon the temperature differential.

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